FOR SUTTON, MASSACHUSETTS

SITE DEVELOPMENT PLAN NORTHEAST GREAT DANE **100 WORCESTER-PROVIDENCE TURNPIKE**

APPLICANT:

EASTLAND PARTNERS, INC.

997 MILLBURY STREET, WORCESTER, MA 01607 P: 508-647-1919

OWNER:

SUTTON MOTOR-IN TRUST

ONE MERCANTILE STREET, SUITE 540, WORCESTER, MA 01608

CIVIL ENGINEERING & LAND SURVEYING: TURNING POINT ENGINEERING

P.O. BOX 757, SUTTON, MA 01590 P: 508-381-1515

TRAFFIC:

GREENMAN-PEDERSEN, INC. 181 BALLARDVILLE STREET, SUITE 202 WILMINGTON, MA 01887

P: 978-570-2999

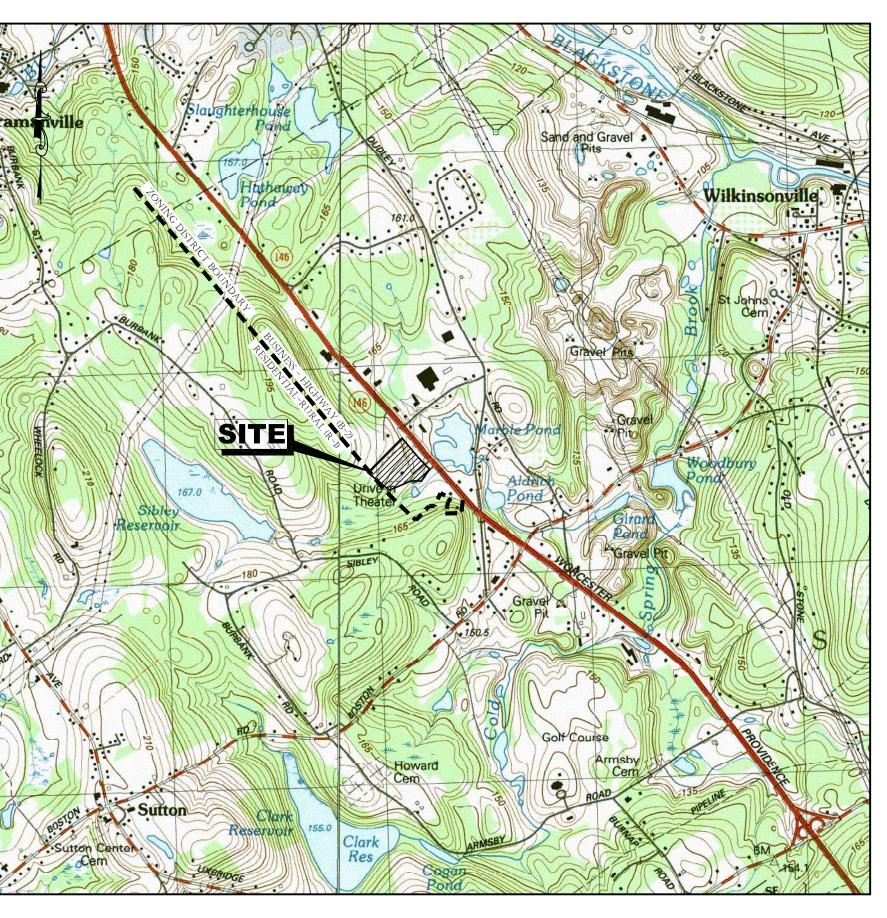
WETLANDS CONSULTANT:

B&C ASSOCIATES, INC. 2 RICE STREET, HUDSON, MA 01749 P: 978-568-0135

LANDSCAPE ARCHITECT:

EARTHDESIGN LANDSCAPE ARCHITECTURE LLC

280 BEVERLY ROAD, WORCESTER, MA 01605 P: 508-852-2644



U.S.G.S MAP SCALE: 1" = 1,500'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0
GENERAL NOTES, ABBREVIATIONS & LEGEND	C-1.1
LOCATION PLAN	C-1.2
EXISTING CONDITIONS & DEMOLITION PLAN	C-2.1
LAYOUT & MATERIALS PLAN	C-3.1
UTILITY PLAN	C-4.1
GRADING & DRAINAGE PLAN	C-5.1
EROSION CONTROL PLAN, NOTES & DETAILS	C-6.1 - C-6.3
CONSTRUCTION DETAILS	C-7.1 - C-7.5
OPEN SPACE PLAN	C-8.1
SITE LIGHTING PHOTOMETRIC PLAN	C-9.1
CONDITIONS OF APPROVAL	C-10.1
LANDSCAPE PLAN	L-1.0
LANDSCAPE SCHEDULE & DETAILS	L-2.0
LANDSCAPE NOTES	L-3.0

OWNER OF RECORD: SUTTON MOTOR-IN TRUST ONE MERCANTILE STREET, SUITE 540 WORCESTER, MA 01608

DEED REFERENCE: BK. 9774, PG. 388

PLAN REFERENCES: P.B. 138, PL. 52 P.B. 509, PL. 84 1936 STATE HIGHWAY LAYOUT

PROPERTY INFORMATION

SUTTON ASSESSORS INFORMATION: MAP 10, PARCEL 18 9.41± ACRES SUTTON ZONING INFORMATION: ROUTE 146 OVERLAY DISTRICT UNDERLYING ZONE: BUSINESS-HIGHWAY (B-2) MINIMUM AREA: 40,000 S.F. MINIMUM LOT WIDTH & FRONTAGE: 200' SETBACKS: FRONT 50', SIDE 20', REAR 40' OPENSPACE: 35% (MIN.)

DRAWING LIST





TURNING POINT ENGINEERIN(

CIVIL SITE DESIGN

P.O. Box 757 • Sutton, MA 0159 508) 381-1515 F:(508) 647-018

APPROVAL UNDER SITE PLAN REVIEW SUTTON PLANNING BOARD EING A MAJORLI

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Eastland 997 Millbury

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P.L.S.

THIS PLAN IS INTENDED TO SHOW CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

C - 0.0

COVER SHEET

SHEET NO.

DRAWING ISSUED FOR: PERMIT

P.E. SHEET TITLE

GENERAL NOTES

PART 1 - PROPERTY INFORMATION

1. NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

2. PROPERTY LINE AND TOPOGRAPHY:

- EXISTING PROPERTY BOUNDARY INFORMATION TAKEN FROM PLAN BOOK 509, PLAN 84, 1936 STATE HIGHWAY LAYOUT AND ON THE GROUND SURVEY PERFORMED FOR FIELD VERIFICATION.
- EXISTING TOPOGRAPHIC INFORMATION BASED UPON LIDAR TOPOGRAPHY PROVIDED BY NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION AND ON THE GROUND SURVEY PERFORMED FOR FIELD VERIFICATION.
- DEED REFERENCE: BK. 9774, PG. 388.
- 3. WETLAND DELINEATION BY B&C ASSOCIATES, INC. ON FEBRUARY 15, 2023
- 4. DATUM: NAVD 88
- 5. COORDINATE SYSTEM: MASSACHUSETTS STATE PLANE 83

6. FLOODPLAIN: THE PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA OR 100-YEAR FLOODPLAIN ACCORDING TO THE MOST RECENT FLOOD INSURANCE RATE MAP #25027C0836E, EFFECTIVE 7/4/11.

PART 2 – GENERAL

A. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED AND THE CONSTRUCTION SPECIFICATIONS. BLASTING IS PROHIBITED ON THE PROJECT SITE.

B. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.

C. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED AS SUCH ON THESE DRAWINGS.

D. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).

E. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

F. THE MATERIALS AND METHODS USED IN THE CONSTRUCTION OF ROADWAYS SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN CONSTRUCTION STANDARDS AND SPECIFICATIONS. WHEN NO CITY SPECIFICATION IS PROVIDED THE MATERIALS AND METHODS USED IN THE CONSTRUCTION OF ROADWAYS SHALL CONFORM TO THE REQUIREMENTS OF "THE COMMONWEALTH OF MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, STANDARDS & SPECIFICATIONS FOR HIGHWAYS & BRIDGES," LATEST EDITION.

PART 3 - STORM DRAINS

- STORM DRAIN PIPING (INDICATED BY LETTER "D") SHALL BE CORRUGATED POLYETHYLENE PIPE (HDPE) AS INDICATED, PER AASHTO M294 AND M252 MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC. HDPE SHALL BE ADS N–12 PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL.
- B. STORM DRAIN MANHOLES (INDICATED BY LETTERS "DMH") SHALL BE PRECAST 4', 5' OR 6' DIAMETER CONCRETE PER ASTM C478 (AS CALLED FOR ON DRAWINGS OR FIELD CONDITIONS REQUIRE) WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443. PIPE TO MANHOLE CONNECTIONS SHALL BE MORTARED PIPE OPENINGS.
- C. CATCH BASINS (INDICATED BY LETTERS "CB") SHALL BE PRECAST 4' DIAMETER CONCRETE PER ASTM C478, (ALTERNATE TOP SLAB WHERE NECESSARY) AND RUBBER GASKET JOINTS CONFORMING TO ASTM C443, WITH 4 FOOT SUMPS AND GAS TRAP OUTLET ELBOW. PIPE TO STRUCTURE CONNECTIONS SHALL BE MORTARED PIPE OPENINGS.
- D. COORDINATES OF MANHOLES REFER TO CENTERS OF STRUCTURES AND CATCH BASINS REFER TO THE CENTER BACK OF THE FRAME AND GRATE.
- E. FLARED END SECTIONS (FES) SHALL BE CORRUGATED POLYETHYLENE PIPE AS INDICATED, MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC. HDPE SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL.

PART 4 – UTILITIES

4.1 - WATER DISTRIBUTION AND FIRE PROTECTION

A. WATER MAINS 3" DIA. AND LARGER SHALL HAVE 5'-0" MINIMUM COVER AND SHALL BE CEMENT LINED DUCTILE IRON (CLDI). CLASS 52 MINIMUM, CONFORMING TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A21.50, A21.4, A21.10 AND A21.51, JOINTS AT FITTINGS, VALVES AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT PER ANSI A21.11, WITH GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH GASKETS PER ANSI A21.11. ALL FITTINGS, VALVES, HYDRANTS AND CAPS SHALL BE CLASS 350 PROVIDED WITH THRUST RESTRAINTS (THRUST BLOCKS AND RETAINING RODS) IN CONFORMANCE WITH THE DETAILS. B. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE

CONTRACTOR IS ADVISED THAT NOT ALL FITTINGS AND SUPPLY LINES ARE NOTED, SHOWN, OR INDICATED.

ALL HYDRANTS SHALL BE INSTALLED WITH A 6" CLDI LATERAL AND SHALL BE INSTALLED WITH A 6" GATE VALVE, BOX, AND TEE FITTING. ALL HYDRANTS SHALL MEET AND BE INSTALLED IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS.

D. ALL WATER MAIN APPURTENANCES, MATERIALS, AND METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.

E. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTIONS WITH UTILITY TESTS, FLUSHING, AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.

F. EXISTING SERVICES SHALL BE CUT AND A WATERTIGHT PLUG SHALL BE INSTALLED. EXISTING GATE VALVES TO BE ABANDONED SHALL BE PERMANENTLY CLOSED AND CAPPED, AND WATER SERVICES SHOULD BE SHUT OFF AT THE MAIN CORPORATION. <u>4.2 – UTILITY SEPARATION</u>

A. A MINIMUM 10 FEET CLEAR HORIZONTAL DISTANCE SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

B. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER MAINS CROSS STORM DRAIN LINES.

C. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST TWO FEET BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE CONTRACTOR SHALL DO THE FOLLOWING:

THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, THE WATER MAIN SHALL BE ENCASED IN CONCRETE.

D. PRIMARY ELECTRICAL ENCASED CONDUIT MUST BE SEPARATED FROM GAS BY 3' MIN. AND FROM OTHER UTILITIES BY 2' MINIMUM.

E. TELEPHONE AND FIRE ALARM WHICH SHARE THE SAME TRENCH MUST HAVE A 1' VERTICAL SEPARATION.

F. GAS MAINS MUST BE SEPARATED FROM OTHER UTILITIES BY 2' MINIMUM.

4.3 - ELECTRIC AND COMMUNICATIONS

A. INSTALLATION OF COMMUNICATIONS (TELEPHONE, CABLE AND FIRE ALARM) SYSTEMS SHALL BE COORDINATED AND SCHEDULED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.

B. COORDINATES REFER TO THE CENTER OF STRUCTURES UNLESS OTHERWISE NOTED OR DETAILED. CONTRACTOR SHALL COORDINATE LIGHT BASE LOCATIONS WITH PROPOSED CURBING AND PARKING LOT STRIPING.

C. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ELECTRICAL SERVICE PRIOR TO ORDERING ANY EQUIPMENT.

PART 5 - PAVEMENT AND CURBING

A. JOINTS BETWEEN NEW BITUMINOUS CONCRETE PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDED.

- B. ALL CURBING SHALL BE INSTALLED AS FOLLOWS: • VERTICAL GRANITE CURB (VGC) WITH 6" REVEAL AT DRIVEWAY ENTRANCE ROUNDINGS • MODIFIED CAPE COD BERM (CCB) ALONG DRIVEWAY AND PERIMETER OF PAVEMENT.
- PRECAST CONCRETE CURB (PCC) WITHIN PARKING AREAS IN THE SITE C. DIMENSIONS REFER TO FACE OF CURB UNLESS NOTED OTHERWISE.

PART 6 - TRAFFIC CONTROL

A. INCLUDING, BUT NOT LIMITED TO, ALL CROSSWALKS, STOP LINES AND LEGENDS.

•LEGENDS SHALL BE PREFORMED PERMANENT PLASTIC. PAVEMENT MARKINGS SHALL BE THERMO PLASTIC (ALKYD). THE MARKINGS, LEGENDS SHALL BE INSTALLED IN ACCORDANCE WITH THE THE RELEVANT PORTIONS OF MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS. THE CONTRACTOR'S ATTENTION ALSO IS DIRECTED TO THE STANDARD SPECIFICATIONS, FOR REQUIREMENTS REGARDING THE AMBIENT AIR TEMPERATURE AT THE TIME OF APPLICATION.

PART 7 – QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY. WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 8 - EROSION AND SEDIMENT CONTROL

A. SEE SHEETS C-6.1 THRU C-6.3 FOR EROSION CONTROL PLAN, NOTES AND DETAILS.

PART 9 – GENERAL NOTES

- A. FORBID THE USE OF FILL CONTAINING HAZARDOUS MATERIALS OR WASTE.
- THEREAFTER.

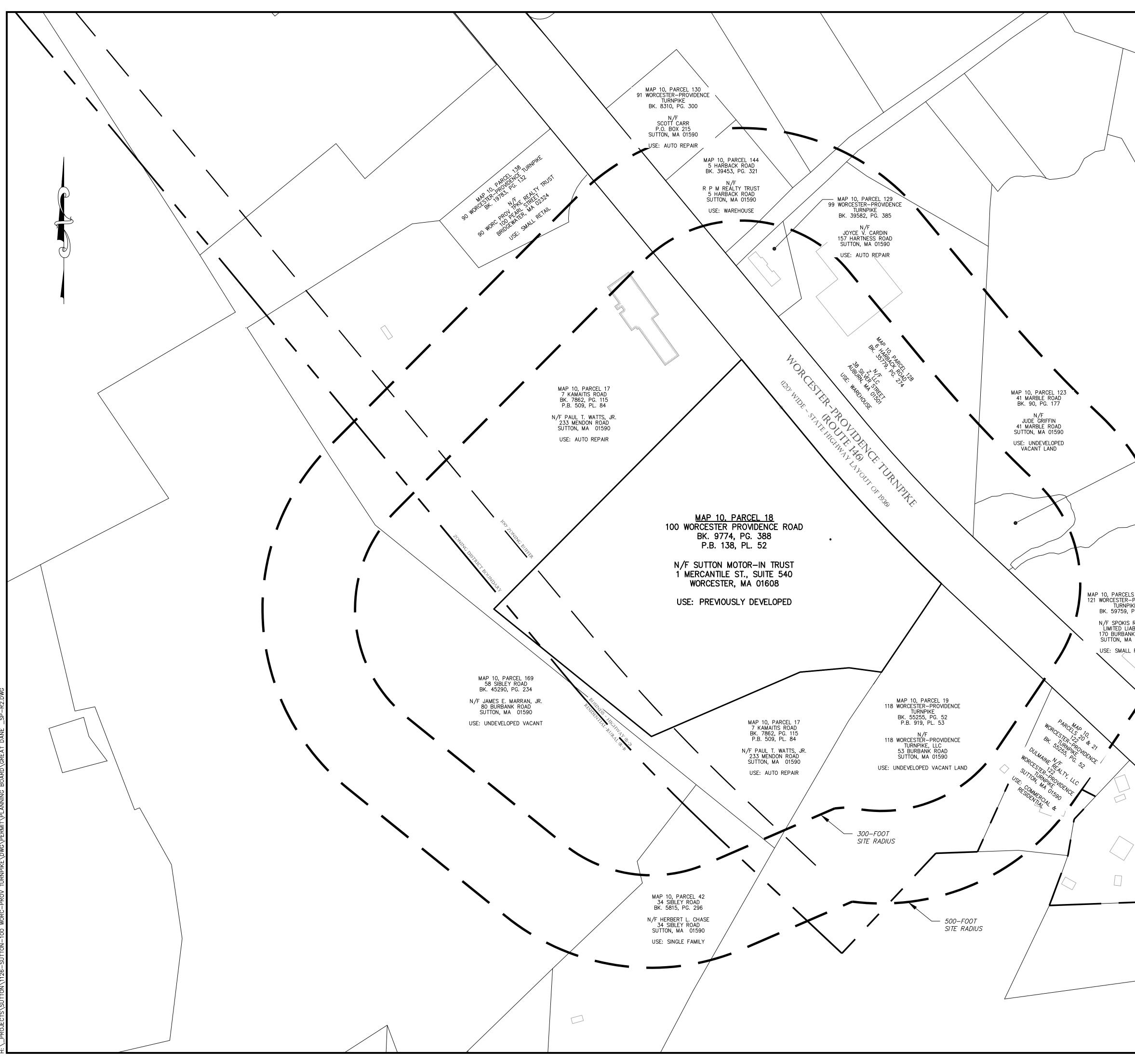
D. ALL LIMITS OF PAVING SHALL BE CURBED UNLESS NOTED OR DETAILED OTHERWISE.

B. REQUIRE THE MARKING OF LIMITS OF WORK IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.

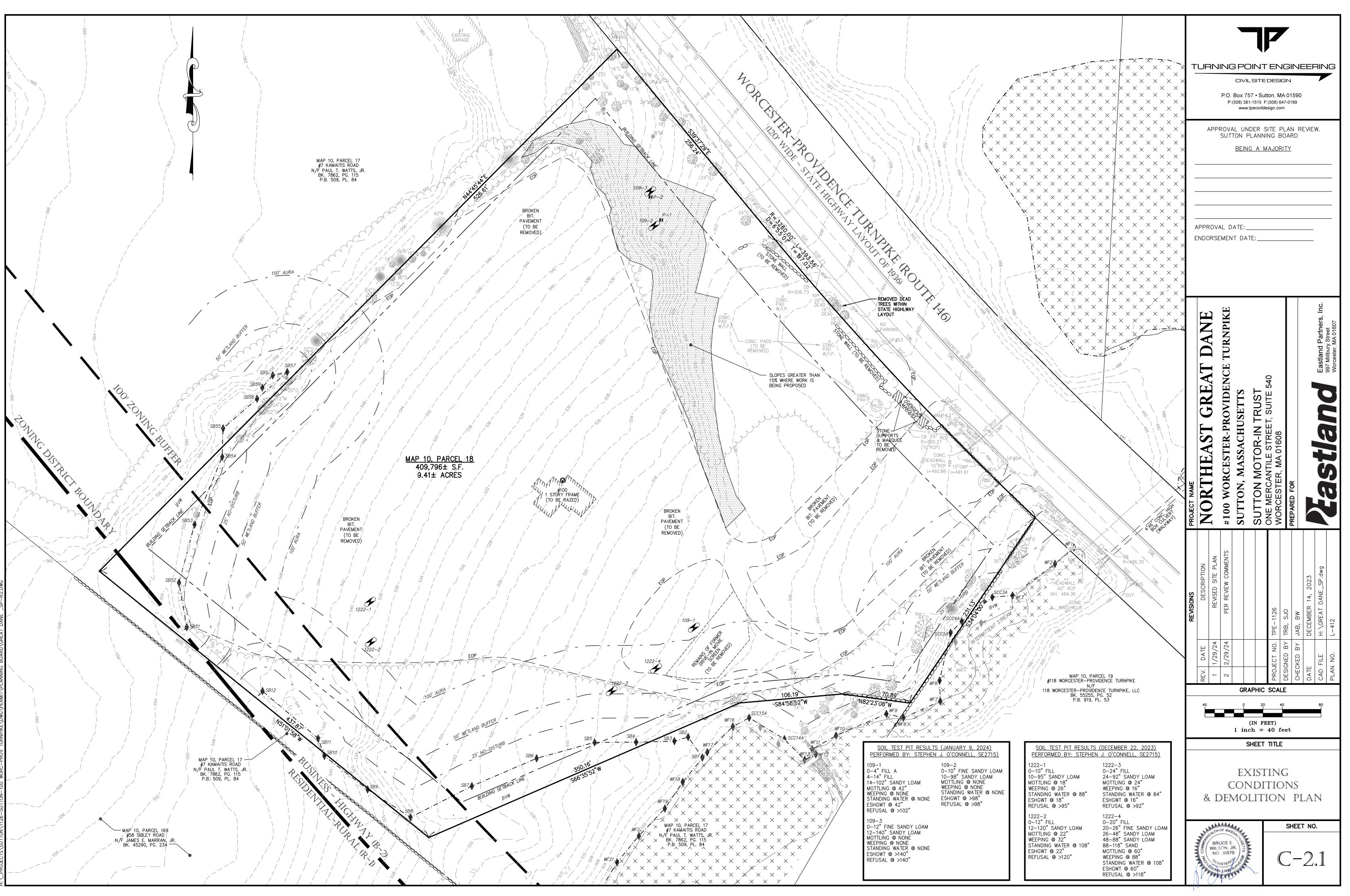
C. REQUIRE THE CLEANING OF CATCH BASIN SUMPS AND STORM WATER BASINS FOLLOWING CONSTRUCTION AND ANNUALLY

D. RESTRICT THE HAULING OF EARTH OR CONSTRUCTION DEBRIS TO OR FROM THE SIT TO THE HOURS BETWEEN 9 AM AND 4 PM ON WEEKDAYS IF SUCH MATERIALS ARE INTENDED TO BE REMOVED FROM OR BROUGHT TO THE SITE.

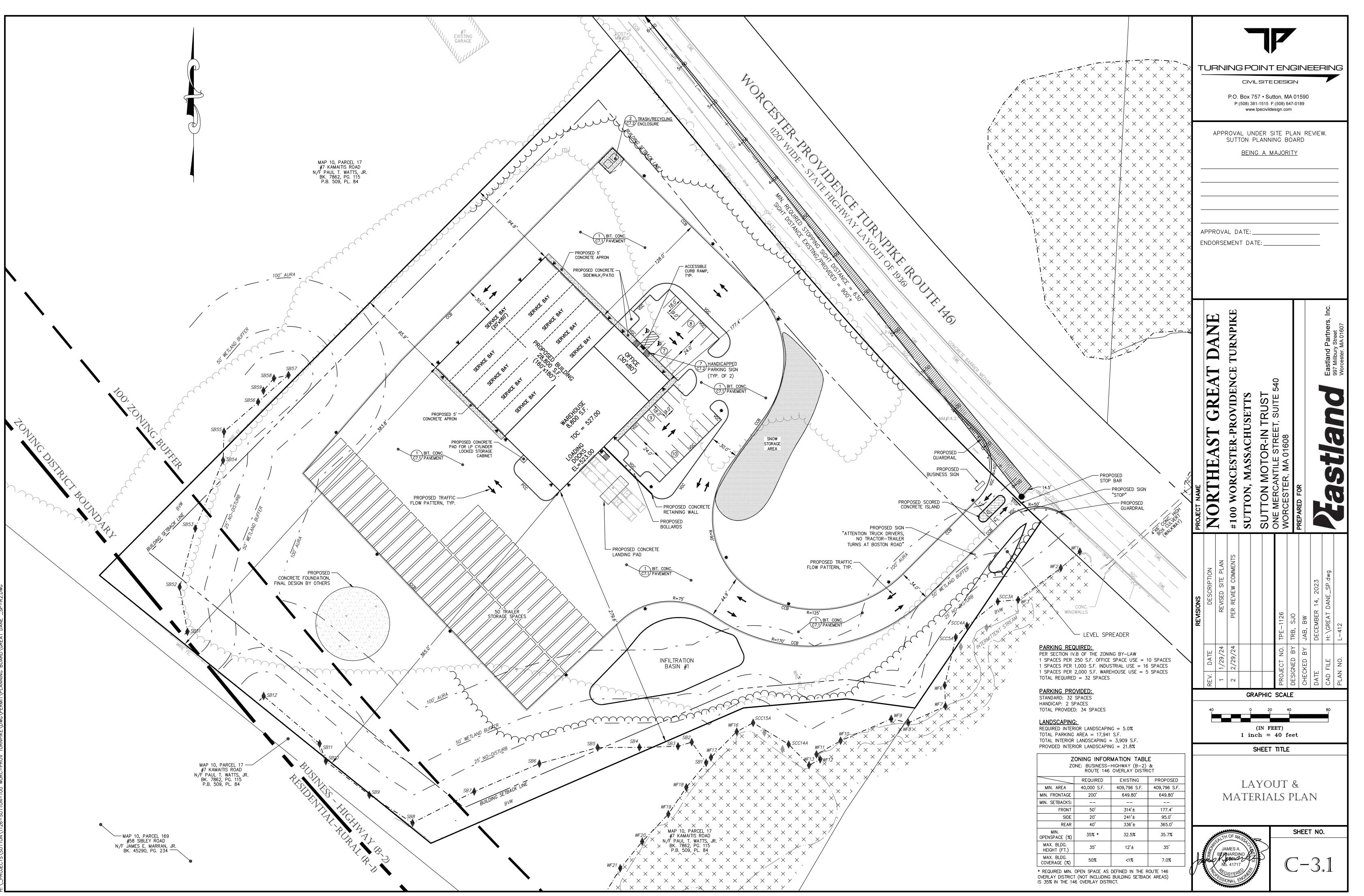
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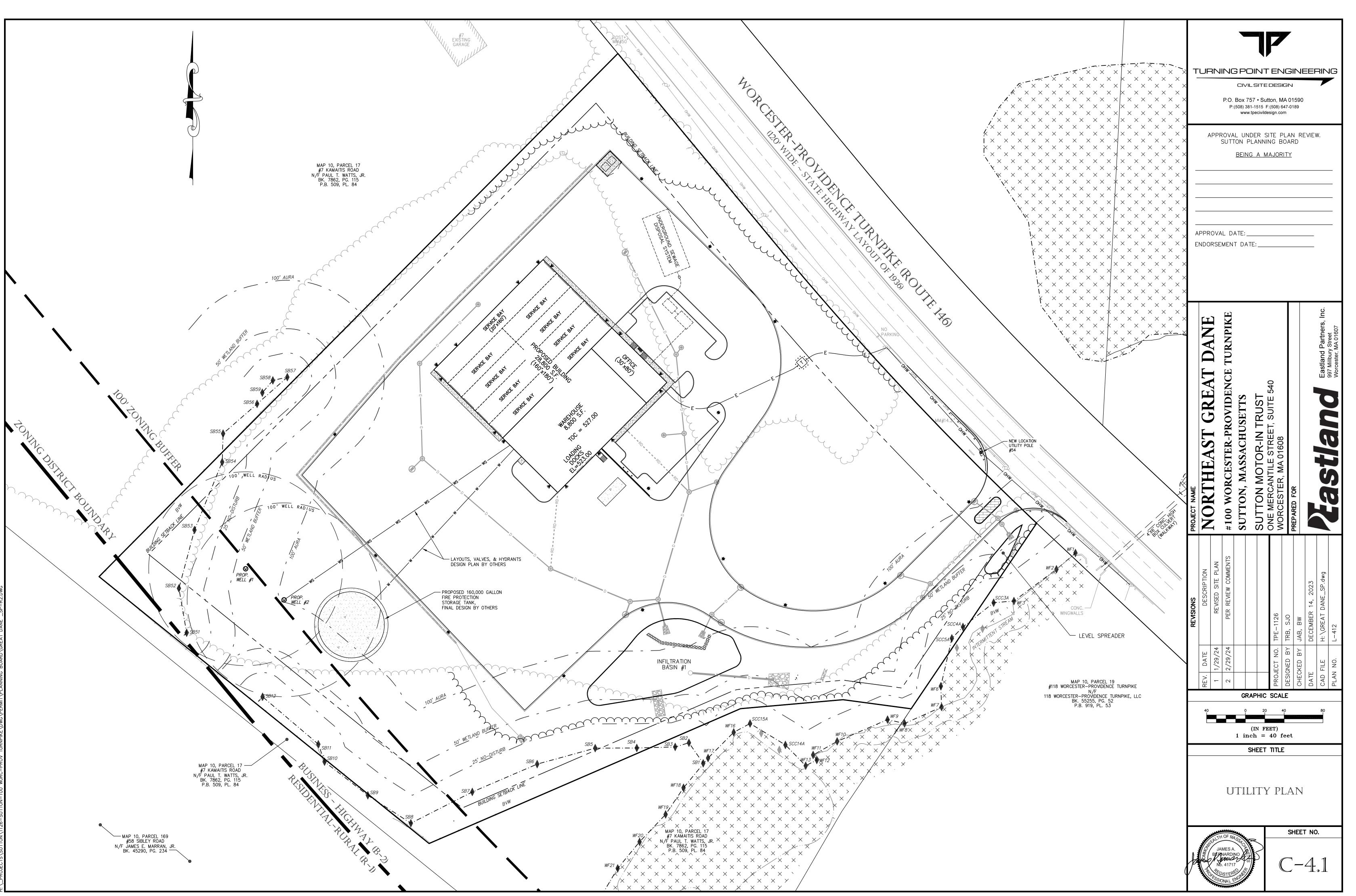
	TURNING POINT ENGINEERING CIVIL SITE DESIGN P.O. Box 757 • Sutton, MA 01590
	P:(508) 381-1515 F:(508) 647-0189 www.tpecivildesign.com
	APPROVAL UNDER SITE PLAN REVIEW. SUTTON PLANNING BOARD <u>BEING A MAJORITY</u>
	APPROVAL DATE: ENDORSEMENT DATE:
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	LOCATION PLAN
	SHEET NO.
	JAMES A. BERNARDINO No. 41717 No. 41717 COISTERED SOINAL ENGINE



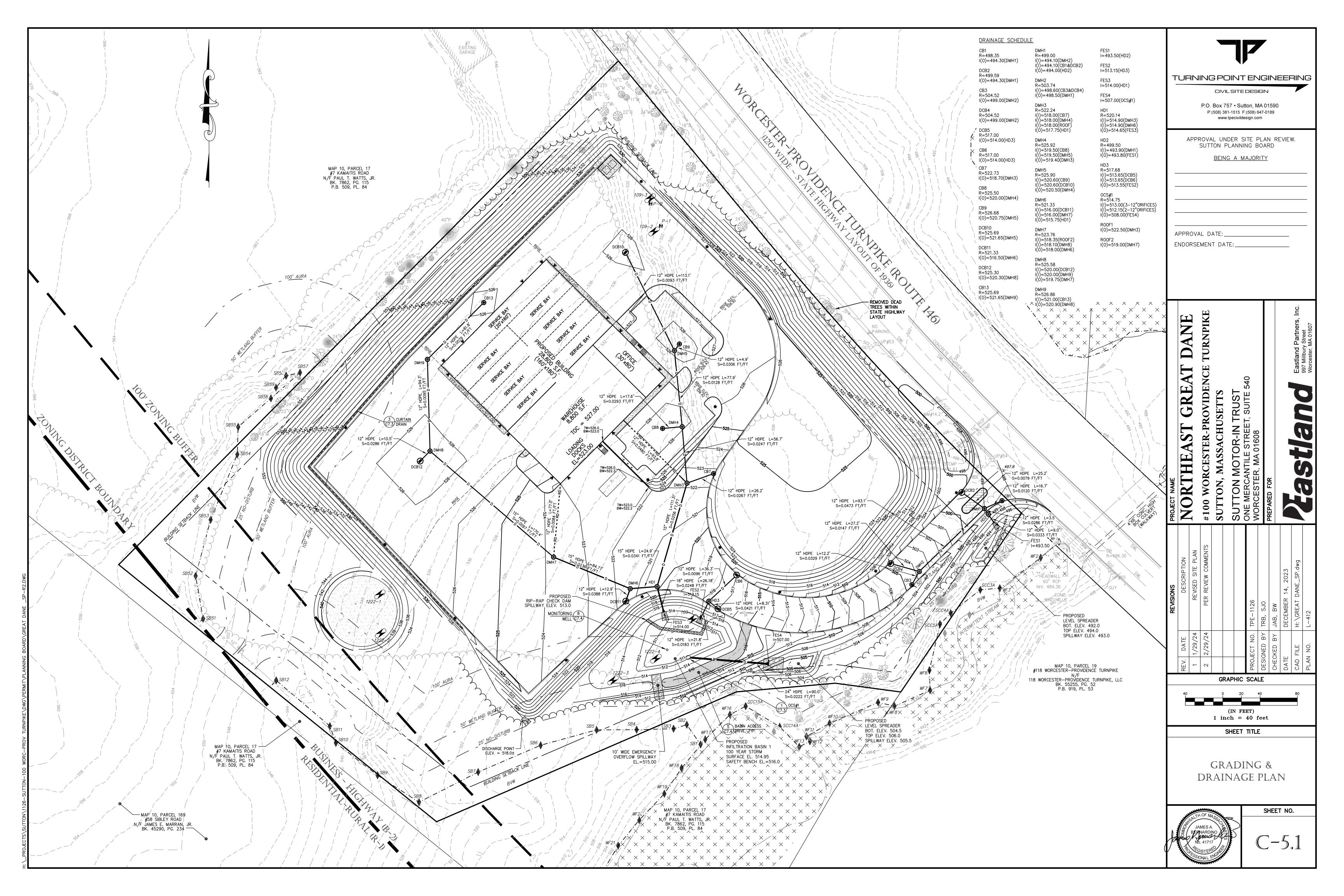
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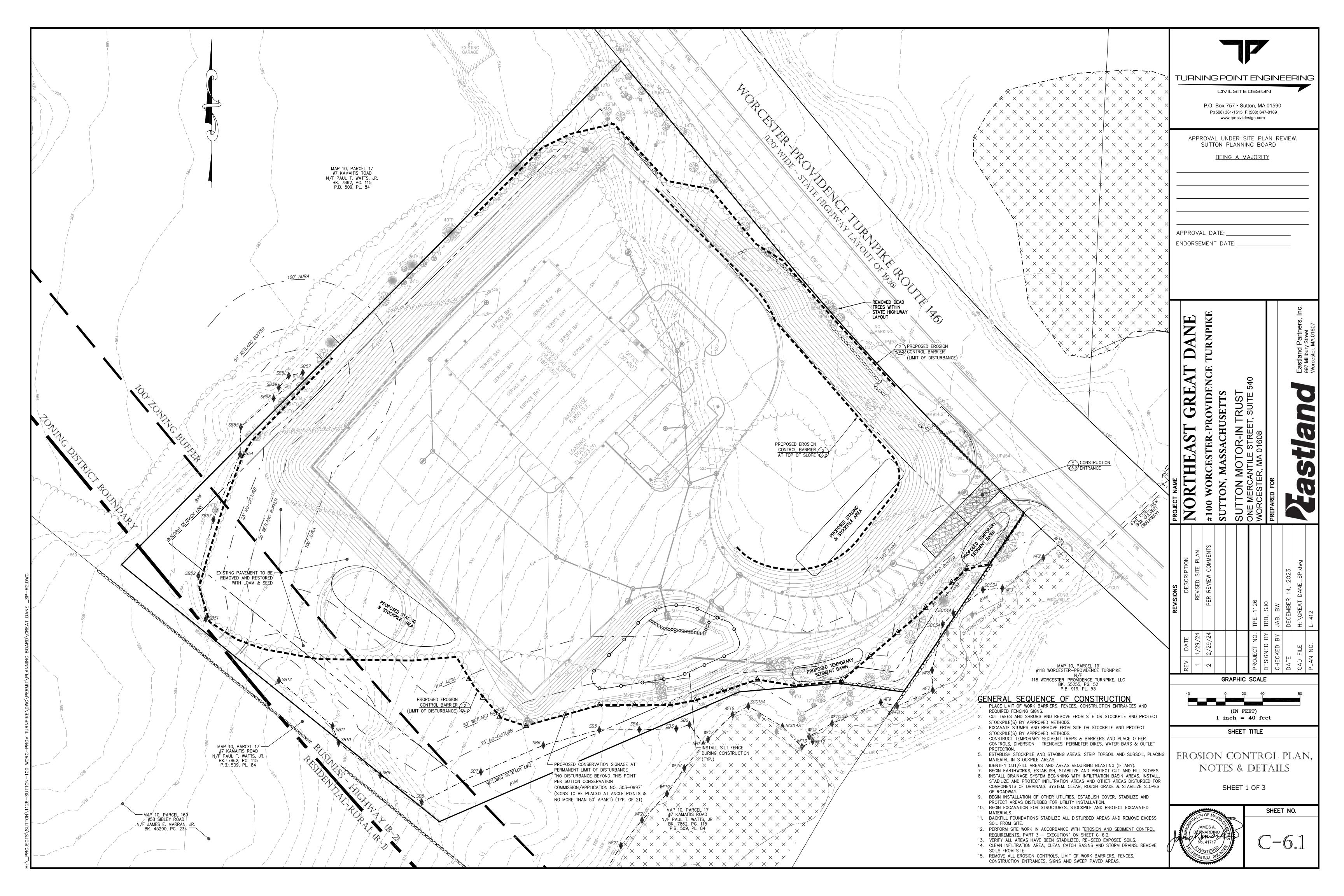


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EROSION AND SEDIMENT CONTROL REQUIREMENTS PART 1 – GENERAL 1.01 SUMMARY

A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS, BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, VEHICLE TRACKING PADS, DIVERSION CHANNELS AND BERMS, CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G. SOIL, MULCH, SOD) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS, OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, TRIBUTARIES TO WETLANDS, WETLAND BUFFER ZONES, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES.

B. ALL METHODS AND MATERIALS USED FOR EROSION CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AS PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, UNLESS OTHERWISE APPROVED IN WRITING.

C. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF LIMITS OF DISTURBANCE AND CONTROL MEASURES REQUIRED TO COMMENCE WORK. LIMITS OF DISTURBANCE SHALL BE MARKED WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING. THE DRAWINGS ARE NOT INTENDED TO GRAPHICALLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

D. BASED ON THE COMPOSITION OF SOILS ENCOUNTERED DURING THE EXPLORATION PROGRAM, SITE SOILS ARE GENERALLY CLASSIFIED AS TYPE A SOILS AS DEFINED BY (USGS) NATIONAL RESOURCES CONSERVATION SERVICE (NRCS), FORMERLY SOIL CONSERVATION SURVEY (SCS). TEMPORARY CONSTRUCTION SLOPES SHOULD BE DESIGNED IN STRICT COMPLIANCE WITH THE MOST RECENT GOVERNING REGULATIONS. STOCKPILES SHOULD BE PLACED WELL AWAY FROM THE EDGE OF THE EXCAVATION AND THEIR HEIGHT SHOULD BE CONTROLLED TO PREVENT SURCHARGE TO THE SIDES OF THE EXCAVATION. SURFACE DRAINAGE SHOULD BE CONTROLLED TO AVOID FLOW OF SURFACE WATER INTO THE EXCAVATIONS.

E. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

F. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.

G. DEVISE, EMPLOY AND MAINTAIN CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA.

 H. ONCE THE SITE IS PERMANENTLY STABILIZED AND CERTIFIED AS SUCH BY ENGINEER, REMOVE TEMPORARY CONTROL MEASURES WHILE PROTECTING STABILIZED SURFACES.
 1.02 SUBMITTALS

A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.B. SUBMIT SKETCH SHOWING LOCATIONS OF PROPOSED STOCKPILE AREAS, CONSTRUCTION ENTRANCES AND EROSION CONTROLS IF NOT SHOWN ON THE SITE PLAN OR DIFFERENT FROM

THOSE LOCATIONS SHOWN ON THE SITE PLAN. C. A SITE SPECIFIC SEQUENCE OF CONSTRUCTION FOR EACH PORTION OF THE SITE.

1.03 QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY. WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 2 - PRODUCTS

2.01 MATERIALS

I. STRAW BALES: WEED FREE DRY GRASS OR STRAW, MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 42" X 16" X 16". EACH BALE SHALL BE STAKED WITH A MINIMUM OF TWO 24" LONG HARDWOOD STAKES.

J. STRAW WATTLES: NORTH AMERICAN GREEN MODEL WS1210 OR APPROVED EQUAL.

K. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM/SF MINIMUM, GRAB TENSILE RATED AT 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO. 2130 BY AMOCO FABRICS & FIBERS, OR APPROVED EQUAL.

MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.

M. SEED MIXES: SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION SECTION 6.03.0 OR 6.03.1 AS APPROPRIATE.

N. EXCELSIOR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, 80% OF FIBERS 6-INCHES LONG OR LONGER, WEIGHT 0.975 POUNDS / SY, CONTAINING NO CHEMICAL ADDITIVES. USE CURLEX I BLANKET BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL.

0. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TAILINGS.

P. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE.

PART 3 - EXECUTION

3.01 THROUGHOUT CONSTRUCTION

- A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN CONTROL MEASURES SUCH AS DIVERSION CHANNELS AND BERMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBDIVIDE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.
- B. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED AND THE CONSTRUCTION SPECIFICATIONS.
- C. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUNDCOVER IS ESTABLISHED.
- D. INSPECT EROSION CONTROLS DAILY THROUGHOUT CONSTRUCTION REPAIR DAMAGED CONTROLS IMMEDIATELY.
- E. STRAW WATTLES SHALL BE PLACED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN FILL AREAS & SUBJECT TO STORMWATER RUN-OFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. NO SEDIMENTS SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
- F. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED STRAW WATTLES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
- G. ALL DISTURBED OR EXPOSED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.
- H. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.
- . CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW WATTLE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- J. ALL PROPOSED NON-RIPRAP SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EXCELSIOR BLANKETS AND PROTECTED FROM EROSION.
- K. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.

PART 3 - CONTINUED

- L. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE STRAW WATTLES, SILT FENCE AND STAKES, AND CRUSHED STONE.
- M. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO ENSURE INTENDED FUNCTION; BY SUPPLEMENTING AS NECESSARY FOR ADEQUATE EXTENT; BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.
- N. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITH CONTROL MEASURES AS SOON AS PRACTICABLE.
- O. WHEN RAINFALL GREATER THAN 1.0" IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.
- P. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.
- Q. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.

3.02 SITE PREPARATION AND ACCESS

A. WALK SITE AND IDENTIFY LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.

B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFINING THE LIMIT OF WORK.

C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT. 3.03 CLEARING, GRUBBING, AND STRIPPING

A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.

B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE. NO GREATER THAN FIVE (5) ACRES SHALL BE UNSTABLE AT ANY TIME.

C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.

D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.

E. PROCESS TIMBER, STUMPS, SLASH, AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.

3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES

A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING SUMP AND WELL POINT PUMPS PRIOR TO EXCAVATION.

B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL

CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.

D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.

E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.3.05 SITE GRADING

A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.

B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION BERMS AND CHECK DAMS. IN ALL AREAS EXCEPT THOSE THAT DO NOT PRESENT POTENTIAL PROBLEMS WITH REGARD TO FUTURE SOIL STABILITY, DRAINAGE, OR BEARING CAPACITY, REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.

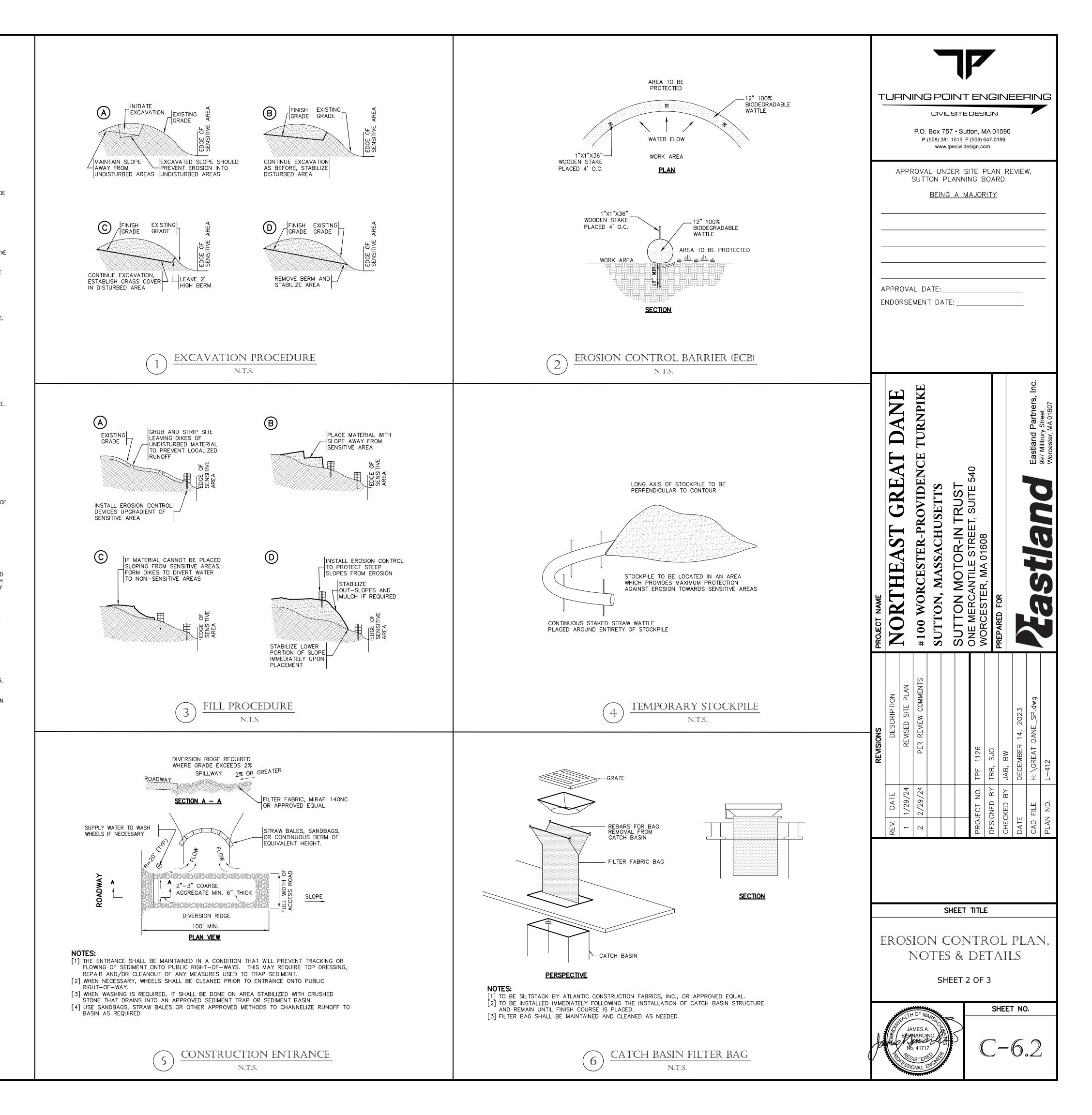
C. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.

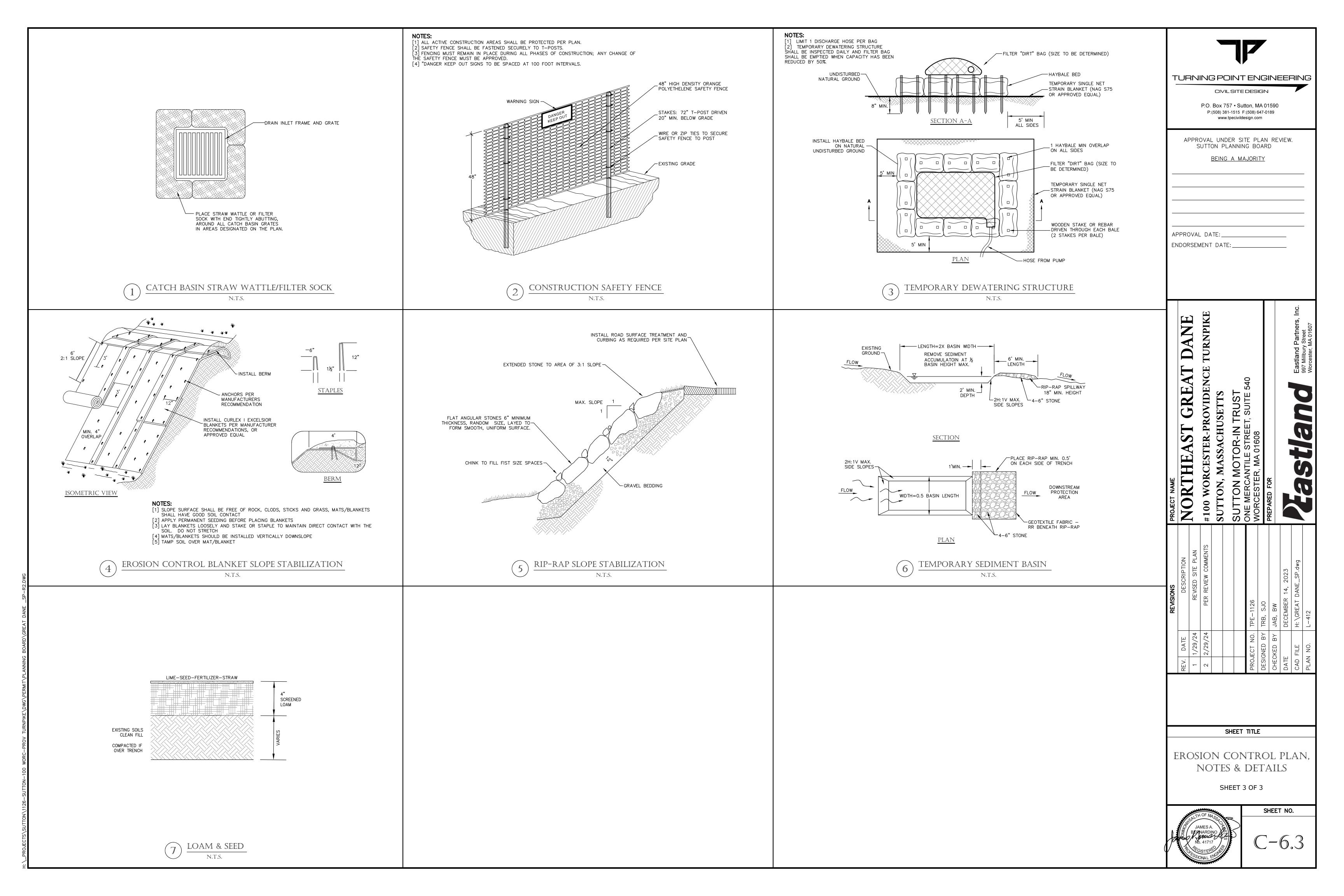
D. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER COMPLETION.3.06 LANDSCAPING

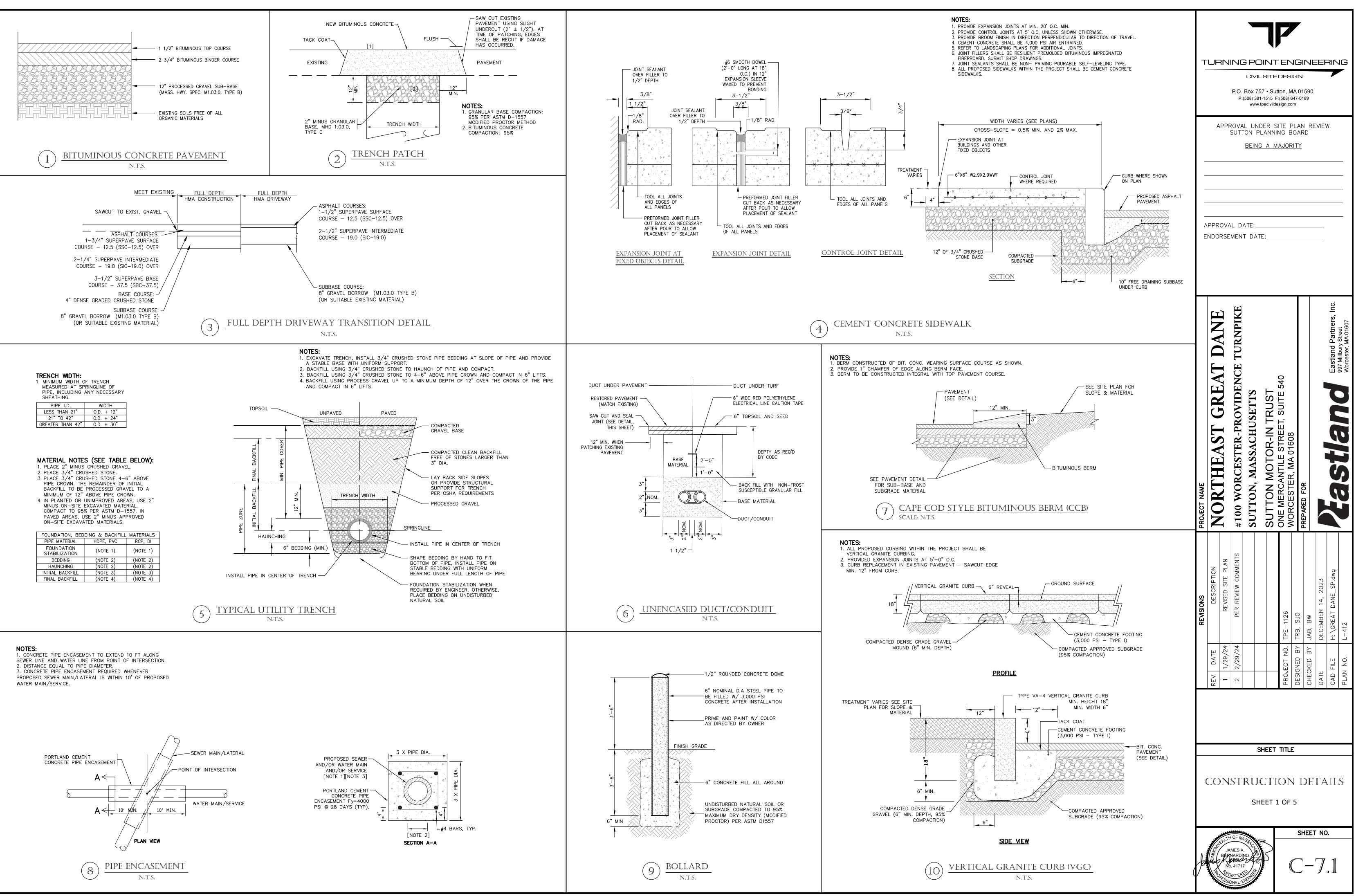
A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE. B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING.

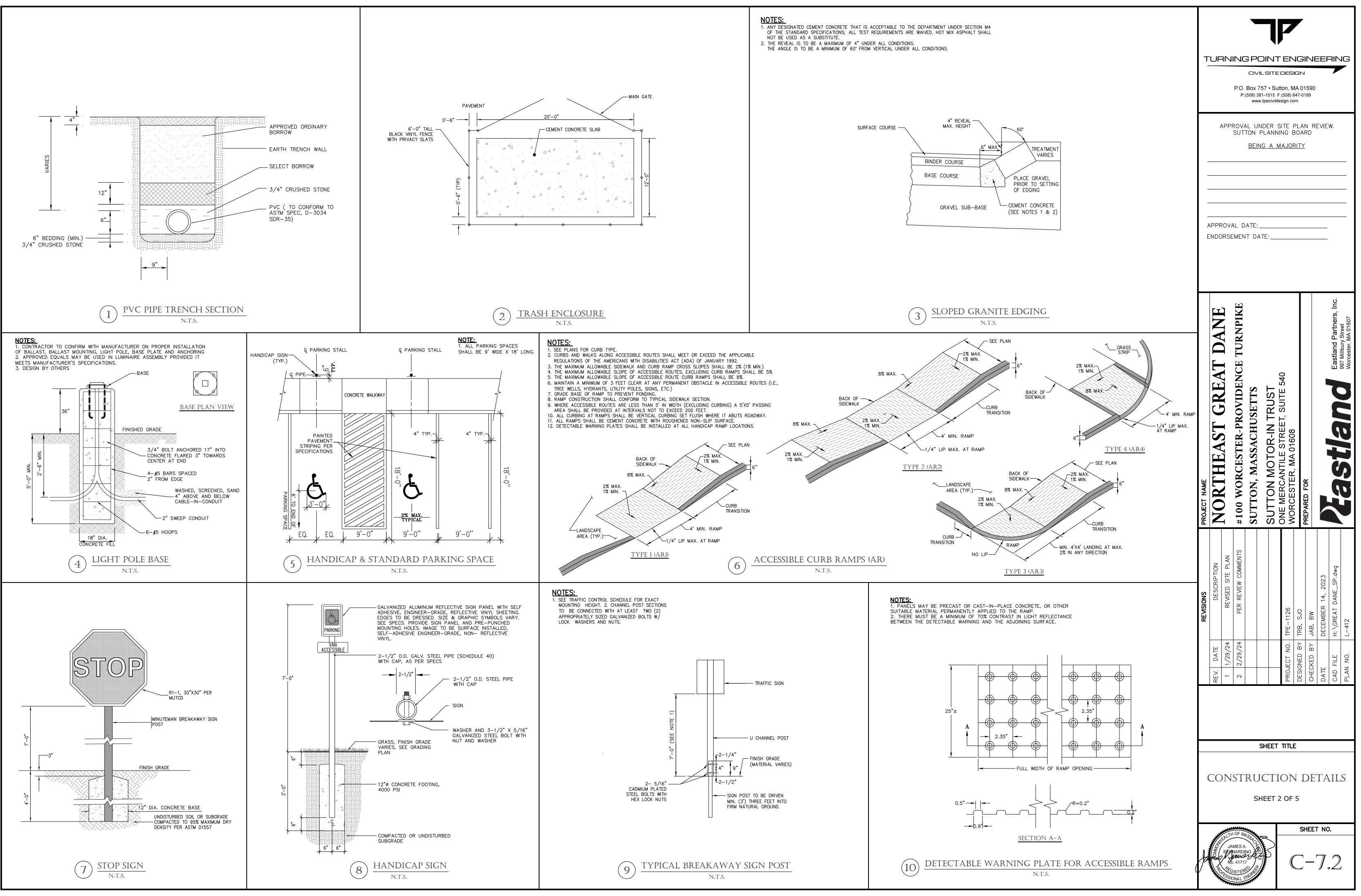
BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET. C. PERMANENT SEEDING MAY BE PERFORMED IN THE SPRING PRIOR TO JULY 1 AND IN BETWEEN

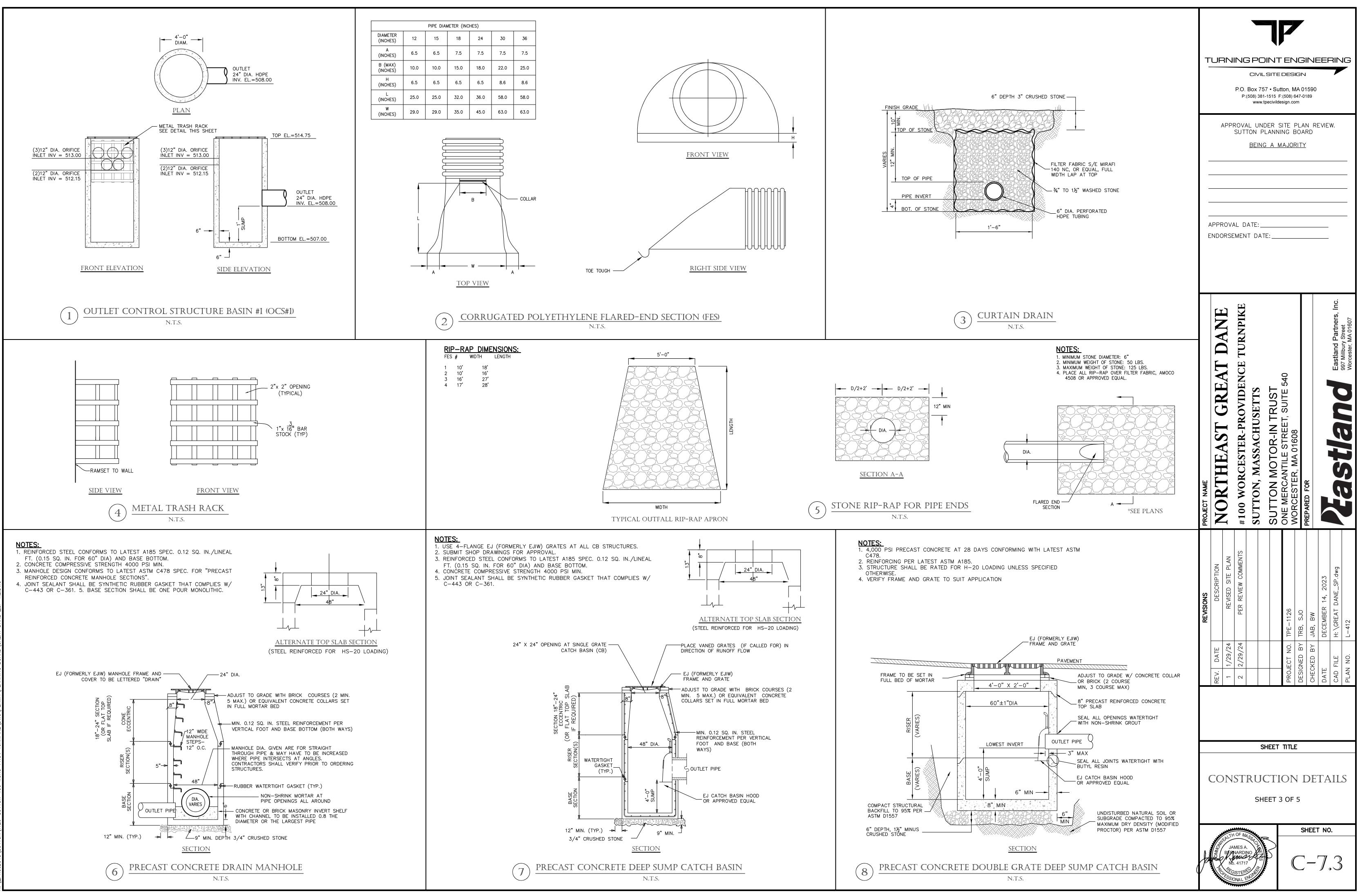
AUGUST 1 AND OCTOBER 15. PERMANENT SEEDING AT OTHER TIMES SHALL BE APPROVED AND SHALL ONLY BE ALLOWED WITH AN APPROVED MULCHING AND IRRIGATION PROGRAM.



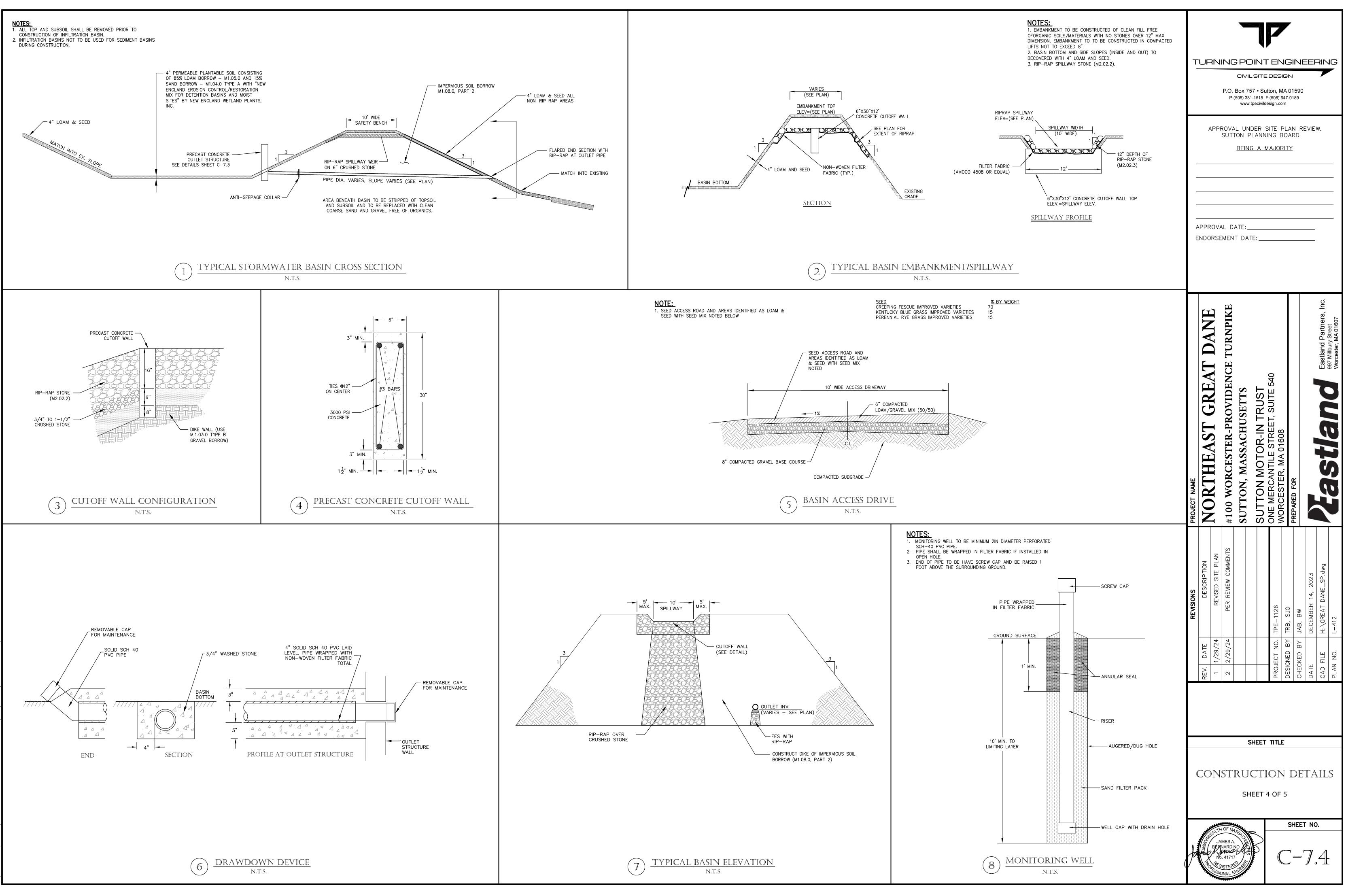


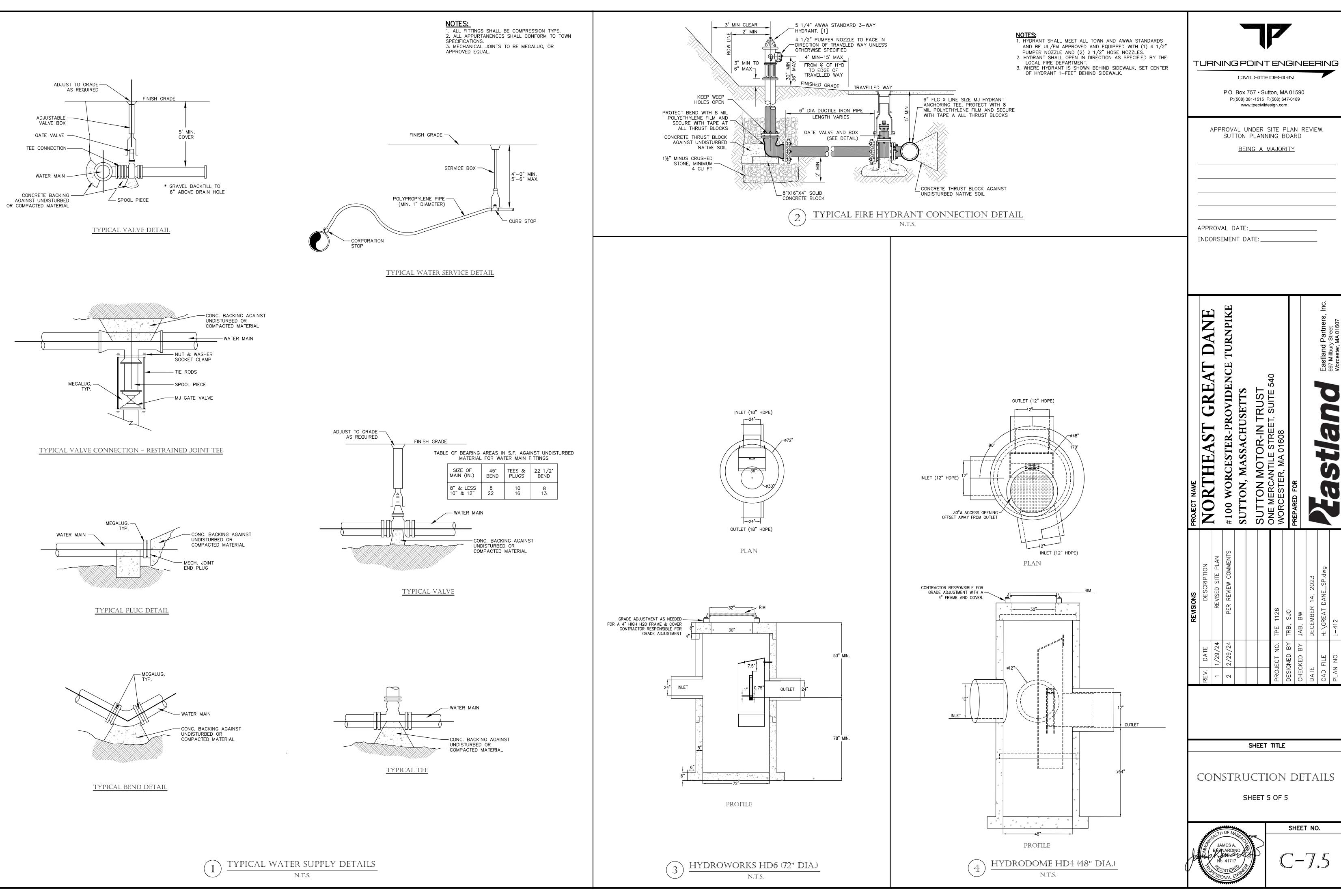


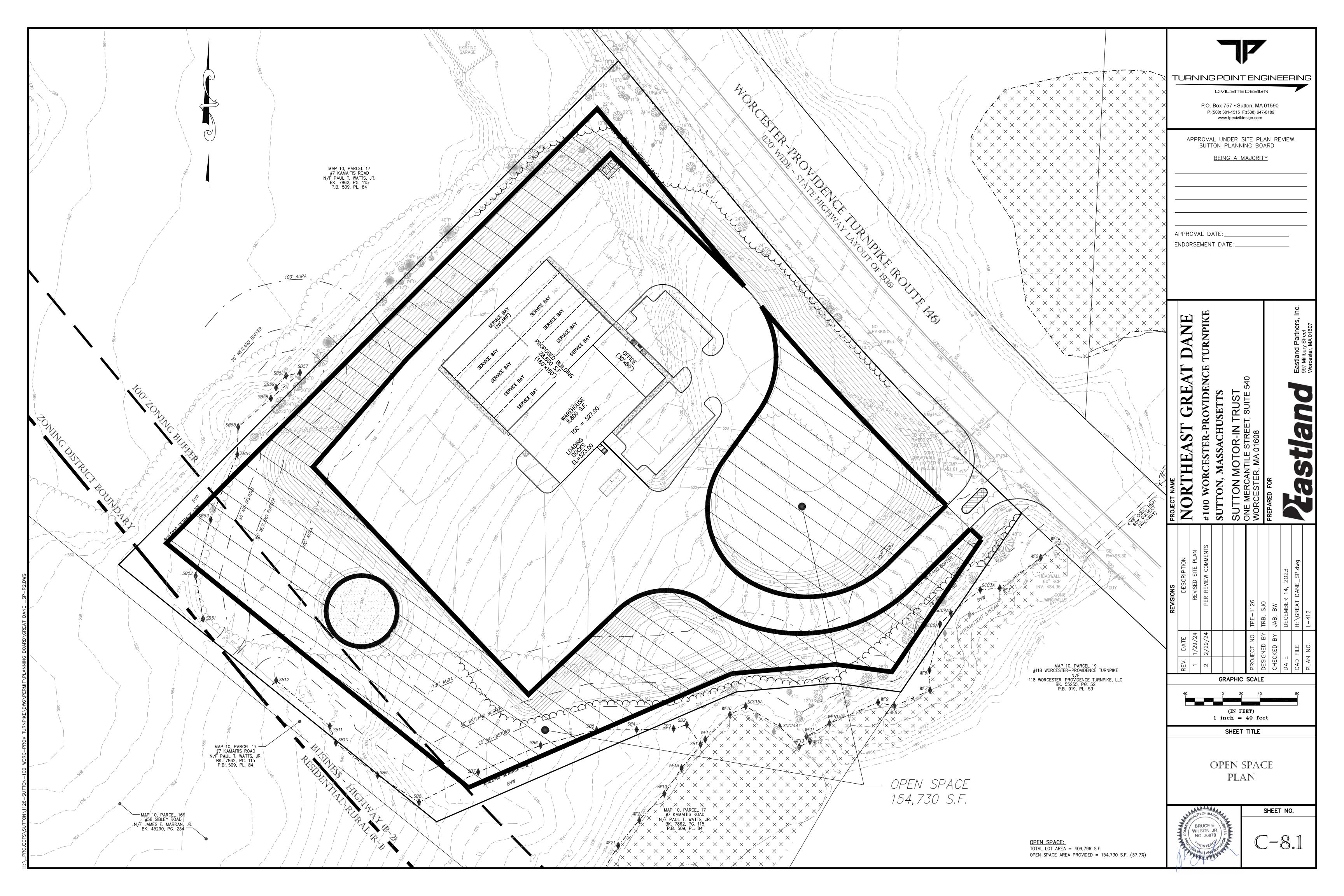


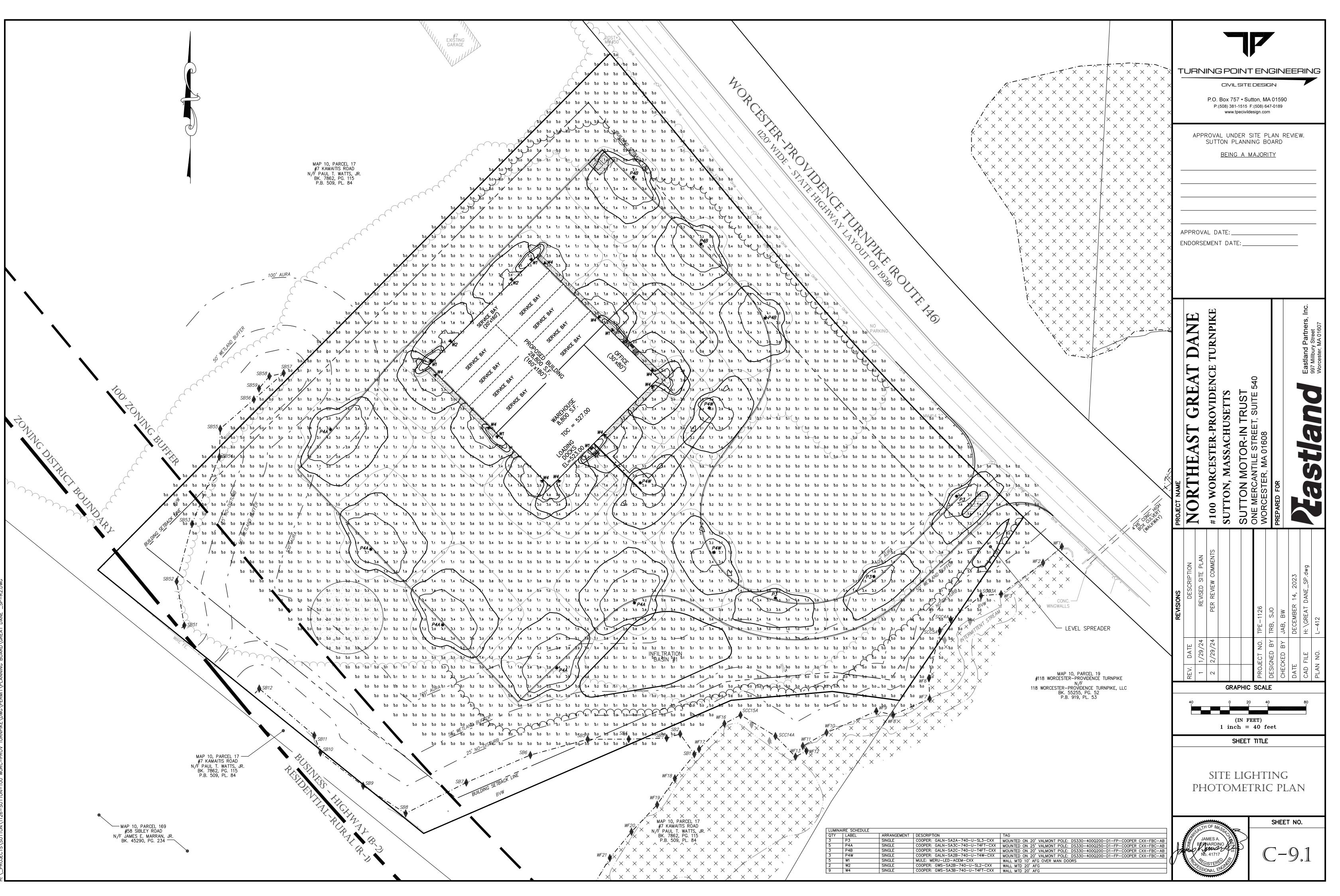


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Robert S. Largess, Jr., Chair Scott Paul, Vice-Chair William Talcott Walter A. Baker Michael Gagan Erica McCallum, Associate

Jennifer S. Hager Community Development Director



TOWN OF SUTTON PLANNING BOARD & DEPARTMENT

NOTICE OF DECISION SITE PLAN SPECIAL PERMITS FOR **ROUTE 146 OVERLAY DISTRICT &** GROUNDWATER PROTECTION DISTRICT

February 28, 2024

Town Clerk, Town of Sutton At a meeting held on February 26, 2024, the Sutton Planning Board, in accordance with Zoning Bylaw IV.C. -Site Plan Review, V.D. - Route 146 Overlay District, and V.B. Groundwater Protection District, voted to approve the Site Plan and Special Permit applications. The applications were submitted by Eastland Partners, Inc of Worcester, MA for property owned by them at 100 Worcester Providence Turnpike. The applicant requested to construct a 28,800 sf building for service and repair of semi-trailers with associated site work.

Public hearings concerning the application and associated project were held on the following evening(s): 1/22/24, 2/5/24, & 2/26/24

The Planning Board conducted deliberations on the following evening: 2/26/24

Hearing Attendance/Absence:

1/8/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker, M. Gagan, E. McCallum (associate, absent)
1/22/24	R. Largess, Jr., S. Paul, W Talcott, W. Baker, M. Gagan, E. McCallum (associate)
2/5/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker, M. Gagan, E. McCallum (associate, absent)
2/26/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker, M. Gagan, E. McCallum (associate)

R. Largess, Jr., S. Paul, W. Talcott, M. Gagan, W. Baker Eligible to vote:

In addition to the Board and Town bodies, the following individuals raised questions and/or expressed concerns with the applications: J. Marran (80 Burbank Road), William Pepka (36 Sibley Road)

In addition to the applicant and their representatives, the following individuals spoke in favor of the application: None

Page 5 100 Worcester Providence Turnpike Site Plan, Special Permits & Earth Removal/Disturbance

Filed in the Town Clerk's office

Laura J. Caruso, Town Clerk

This decision is subject to appeal in accordance with M.G.L. c. 40A § 17 within 20 days after this decision if filed with the Town Clerk.

, 2024

I, Hereby certify that twenty-one days have lapsed since the filing of the above reference decision in the Town and that no appeal has been filed. Clerk's office on

Laura J. Caruso, Town Clerk

NOTE:

The project permitted herein must commence construction within two (2) years from the date filed in the Town Clerk's office or this permit will no longer be valid.

Robert S. Largess, Jr., Chair Scott Paul, Vice-Chair William Talcott Walter A. Baker Michael Gagan Erica McCallum, Associate



Jennifer S. Hager Community Development Director

TOWN OF SUTTON PLANNING BOARD & DEPARTMENT

NOTICE OF DECISION CLASS 2 - EARTH REMOVAL/DISTURBANCE

February 28, 2024

Town Clerk, Town of Sutton At a meeting held on February 26, 2024, the Sutton Planning Board, in accordance General Bylaw 5 - Earth Removal/Disturbance, voted to approve the Class 2 application. The application was submitted by Eastland Partners, Inc of Worcester, MA for property owned by them at 100 Worcester Providence Turnpike. The applicant requested earth removal and disturbance related to the construction of a 28,800 sf building for service and repair of semi-trailers with associated site work, including removal from the site of approximately 1,500 cy. of earth.

Public hearings concerning the application and associated project were held on the following evening(s): 1/22/24, 2/5/24, & 2/26/24

The Planning Board conducted deliberations on the following evening: 2/26/24

Hearing At	tendance/Absence:
1/8/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker,
1/22/24	R. Largess, Jr., S. Paul, W Talcott, W. Baker, 1
2/5/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker,
2/26/24	R. Largess, Jr., S. Paul, W. Talcott, W. Baker,

Eligible to vote: R. Largess, Jr., S. Paul, W. Talcott, M. Gagan, W. Baker

In addition to the Board and Town bodies, the following individuals raised questions and/or expressed concerns with the applications: J. Marran (80 Burbank Road), William Pepka (36 Sibley Road)

None

Approval was based on the following Site Development plans:

Turning Point Engineering for Northeast Great Dane (Eastland Cut/Fill Plan Cover Sheet General Notes

100 Worcester Providence Turnpike Site Plan, Special Permits & Earth Removal/Disturbance Sutton Town Hall 4 Uxbridge Road Sutton, Massachusetts 01590 (508) 865-8729

www.suttonma.org

Page 2

The Board g	ranted the following waivers after findings in open mee
IV.B.4.e.	To allow a driveway width greater than 30' having foun enough room for safe maneuverability of large vehicles
V.D.4.a.3.	To allow work on slopes in excess of 15% having found the prior drive in operations and need to be adjusted acc They will be made more gradual and proper erosion con and after construction.
V.D.4.c.2.d.	To eliminate facilities to enhance transit services.
V.D.4.c.3.d.	To allow more than 25% of parking in front of the build requires a larger percentage of the parking be located in topography and landscaping elements.
V.D.4.c.3.f.	To allow broom finished sidewalks instead of brick or b the general public nor are the sidewalks visible from the benefit from this extra expense.
V.D.4.c.3.g.	To eliminate car and van pool parking spots having four amplouses would be better served by an additional unre-

Approval was based on the following Site Development plan: Turnin

n	g Point Engineering (rev 1/29/24) for North
	Cover Sheet
	General Notes
	Location Plan
	Existing Conditions & Demolition Plan
	Layout & Materials Plan
	Utility Plan
	Grading & Drainage Plan
	Erosion Control Plan, Notes & Details
	Construction Details
	Open Space Plan
	Site Lighting Photometric Plan
	Landscape Plan
	Landscape Schedule & Details
	Landscaping Notes
	이 물건에 집에서 해외에 많은 것이 많은 것이 같아요? 요리

The Boards approval was based on the following conditions:

Prior to Plan Endorsement:

- The Applicant shall submit an O & M plan approved by t The Applicant shall revise landscape plans to address all r review memo dated 2/23/24 from the Community Develo
- 3 The Applicant shall address all comments from the Revie Graves Engineering.
- General: Within a month of the appeal period concluding, the appliwith waivers granted and conditions of approval on the pla
 - the record set of plans upon which construction shall be based. Unless a specific exception is approved by the Planning Director or Building Commissioner,

aving for employees would be better served by an additional unre

	Page 3 100 Worces Site Plan, Sp	ter Providence Turnpike becial Permits & Earth Removal/Disturbance	Page 4 100 Wor Site Plan		
ngs in open meeting:		construction shall be limited to Monday through Friday, 7:00 a.m. to 5:00 p.m. and Saturdays, 8:00 a.m. to 12:00 p.m., and shall exclude Sundays and the following holidays:	1	8.	The a
30' having found a greater width is necessary to provide of large vehicles into and out of the site.		New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, after 12 PM on Christmas Eve, and Christmas. From November 15th to April 1st equipment may be	Prior to	o Issu	
5% having found these slopes were artificially created for be adjusted accommodate adequate maneuvering on site. oper erosion control measures will be employed during	6.	started at 6:30 a.m. but no construction may commence until 7:00 a.m. unless a specific exception is granted as noted above. During any construction, the Applicant shall maintain all feasible and reasonable means of	19	9.	Prior and r
		dust control and shall collect all trash and debris daily.	Prior to		
t services. front of the building having found that site configuration ing be located in front of the building mitigated by	7.	The Applicant shall implement measures to ensure that noise during construction activities does not exceed acceptable levels, as set forth by Federal and State regulatory agencies. The Applicant shall cease any excessively loud noise during construction activities when directed	20	0.	Once or the shall
ead of brick or block having found this is not a site open to		by a duly appointed agent of the Board. No excessively loud activities are permitted prior to 8:00 AM or after 5:00 PM.	2	1.	Prior ampl
visible from the public way and this particular use won't	8.	The Board reserves the right to review landscaping for the purpose of requiring the addition of plants or screening materials which may be reasonably necessary to complete the intended	2	2.	Prior the P
pots having found this particular business with minimal additional unrestricted parking spot.	9.	aesthetics and screening. The Board reserves the right to review lighting and require adjustments if they find it to be a danger or nuisance.			the P const provi
ent plan: ortheast Great Dane (Eastland Partners, Inc.) C-0.0	10.	The Board reserves the right to review and assess noise complaints related to onsite operations. If the applicant/operator fails to cure or remedy a complaint the Board deems to be valid within a reasonable time as determined by the Board, the Board reserves the right to	2	3.	requi Prior codes
C-1.1 C-1.2 C-2.1	11.	require the applicant and/or operator to provide adequate mitigation. Loaded earth removal trucks may not exit the site during peak hours of 6:30-8 AM and 5 to 6:30 PM.	2-	4.	the F All e reflec
C-3.1 C-4.1 C-5.1 C-6.1 - C-6.3	12.	The applicant must provide a <u>minimum</u> of 4 weeks' notice if they anticipate blasting will be necessary on the site in order for the Board to establish an education and notification process for abutters and to evaluate and require mitigation of any potential impacts, all to be funded and carried out by the applicant with oversight of the Planning Board.		5. 6.	box. The I them The I traile
C-7.1 – C-7.5 C-8.1 C-9.1 L-1.0	13.	The yard dogs used to move trailers on the site will not have backup alarms. If the Applicant intends to utilize back up alarms on this equipment, they must return to the Board for discussion about the noise impacts.	Site Ma		
L-2.0 L-3.0	Prior to Co	ommencement of Construction:	2	EC.	repla
nditions:	14.	All required approvals and/or permits shall be received from applicable permitting authorities except MassDOT which shall be received prior to issuance of the building permit.	2	8.	follo The a and r
n approved by the Town's consulting engineer.	15.	The applicant shall request permission from MassDOT to remove any compromised trees within their right of way while site tree removal is being undertaken. Evidence of this request and response from the State shall be provided to the Planning Board.			writte be tal of ow
nmunity Development Director. from the Review Letter date 2.23.24 from	16. 17.	The applicant must maintain vegetation along Worcester Providence Turnpike to ensure clear sight lines for entering and exiting the site.			imple
		other Town staff as appropriate, the Town's consulting engineer, the applicant and/or his representative, the applicant's engineer, and the applicant's construction supervisor, and a			
uding, the applicant shall provide a final set of plans proval on the plan set for the Board's endorsement as action shall be based.		representative from the blasting contractor if applicable. Minutes shall be drafted by the Town's consulting engineer and provided to all parties in attendance within 48 hours for approval prior to construction start to ensure all parties are in agreement.	cc:	Boar	rd of A hway I
				D	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

Sutton Town Hall

4 Uxbridge Road

(508) 865-8729

www.suttonma.org

Sutton, Massachusetts 01590

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M. Gagan, E. McCallum (associate, absent) M. Gagan, E. McCallum (associate) , M. Gagan, E. McCallum (associate, absent) , M. Gagan, E. McCallum (associate)

In addition to the applicant and their representatives, the following individuals spoke in favor of the application:

Partners Inc.)	- 100 Worcester/Providence Tpke
SK-5	12/14/23
C-0.0	1/29/24
C-1.1	1/29/24

diam DI.

Site Plan, Special Permits & Earth Removal/Disturbance

Page 2

100 Worcester Providence Turnpike

ocation Plan	C-1.2	1/29/24
xisting Conditions & Demolition Plan	C-2.1	1/29/24
ayout & Materials Plan	C-3.1	1/29/24
Itility Plan	C-4.1	1/29/24
rading & Drainage Plan	C-5.1	1/29/24
rosion Control Plan, Notes & Details	C-6.1 - C-6.3	1/29/24
Construction Details	C-7.1 - C-7.5	1/29/24

The Boards approval was based on the following conditions

1.	Unless a specific exception is approved by the Planning Director or Building Commissioner,
	construction shall be limited to Monday through Friday, 7:00 a.m. to 5:00 p.m. and Saturdays, 8:00
	a.m. to 12:00 p.m., and shall exclude Sundays and the following holidays: New Year's Day,
	Memorial Day, Independence Day, Labor Day, Thanksgiving, after 12 PM on Christmas Eve, and
	Christmas. From November 15th to April 1st equipment may be started at 6:30 a.m. but no
	construction may commence until 7:00 a.m. unless a specific exception is granted as noted above.
2.	Loaded earth removal trucks may not exit the site during peak hours of 6:30-8 AM and 5 to 6:30 PM.

The applicant must provide a minimum of 4 weeks' notice if they anticipate blasting will be necessary on the site in order for the Board to establish an education and notification process for abutters and to evaluate and require mitigation of any potential impacts, all to be funded and carried out by the applicant with oversight of the Planning Board.

4. During any earth disturbance activities, the Applicant shall maintain all feasible and reasonable means of dust control and shall collect all trash and debris daily.

The Applicant shall implement measures to ensure that noise during construction activities does not exceed acceptable levels, as set forth by Federal and State regulatory agencies. The Applicant shall cease any excessively loud noise during construction activities when directed by a duly appointed agent of the Board. No excessively loud activities are permitted prior to 8:00 AM or after 5:00 PM.

The Board reserves the right to review and assess noise complaints related to onsite operations. If the applicant/operator fails to cure or remedy a complaint the Board deems to be valid within a reasonable time as determined by the Board, the Board reserves the right to require the applicant and/or operator to provide adequate mitigation.

Prior to Commencement of Site Work:

The applicant shall provide the Planning Board with the receiving location of earth removed from the site and travel routes and receive the Boards approval of routes and receiving locations within Sutton. All required approvals and/or permits shall be received from applicable permitting authorities except MassDOT which shall be received prior to issuance of the building permit.

The applicant shall request permission from MassDOT to remove any compromised trees within their 9. right of way while site tree removal is being undertaken. Evidence of this request and response from

the State shall be provided to the Planning Board. 10. A pre-construction meeting shall be held with the Community Development Director and other Town staff as appropriate, the Town's consulting engineer, the applicant and/or his representative, the applicant's engineer, and the applicant's construction supervisor, and a representative from the blasting contractor if applicable. Minutes shall be drafted by the Town's consulting engineer and

provided to all parties in attendance within 48 hours for approval prior to construction start to ensure all parties are in agreement.

11. The applicant will provide a minimum of one week's notice to review staked limits of clearing with a Planning Board representative.

Page 3

Filed in the Town Clerk's office

ovidence Turnpike Permits & Earth Removal/Disturbance

he applicant will provide a minimum of one week's notice to review staked limits of earing with a Planning Board representative.

e of Building or Sign Permits: ior to issuance of permits for signage, the applicant shall submit a compliant sign design d receive approval from the Planning Board.

e of Occupancy Permits:

nce HVAC equipment is installed, it's visibility shall be reviewed by the Planning Board their agent and a determination shall be made if screening is required. If it is required, it all be installed prior to issuance of a certificate of occupancy.

ior to issuance of a certificate of occupancy, security systems and all necessary nplifiers shall be installed as required by the Police and Fire Chiefs.

ior to issuance of a certificate of occupancy on any building, the Applicant shall submit to e Planning Board and receive approval for an As-Built Plan and written certification from e Project's engineer that the site and all infrastructure to serve this area of the site has been instructed substantially in accordance with the Site Plan. Additionally, the Applicant shall ovide an As-Built plan to the Town of Sutton Assessors in accordance with their quirements.

for to issuance of occupancy on any structure a lock box with building access keys and/or des, a building layout plan and emergency contact shall be installed to the satisfaction of e Fire Department.

Il exterior doors and roof access shall be marked on the interior and exterior with flective, sequential numbering that is reflected on the building layout plans in the lock

he Fire Departments shall be given the opportunity to tour the building to orient emselves with the new structure.

he building occupant shall detail the method and location of snow removal from ailers before they leave the site.

he Applicant shall ensure proper maintenance of plantings on the site, including immediate placement of dead or diseased plantings unless it is winter or summer, in which case in the llowing planting season.

he applicant shall comply with the final O&M plan for the site drainage systems. Inspection id maintenance shall be performed in accordance with the recommended schedule and a ritten report shall be prepared by the inspector, including any required correction actions to taken, such report to be submitted to the Planning Board within fourteen (14) business days owner's receipt of the report. Any required correction actions shall be promptly plemented by the owner at its expense.

lanager f Assessors Highway Department

Board of Health

Robert S. Largess, Jr., Chair Building Commissioner Police Department

Sewer Department

Applicant

Fire Department Wilkinsonville Water Parties in Interest

Select Board

100 Worcester Providence Turnpike Site Plan, Special Permits & Earth Removal/Disturbance

Robert S. Largess, Jr., Chair

Town Manager Board of Assessors Highway Department Board of Health

Parties in Interest

Select Board

Fire Department

Wilkinsonville Water

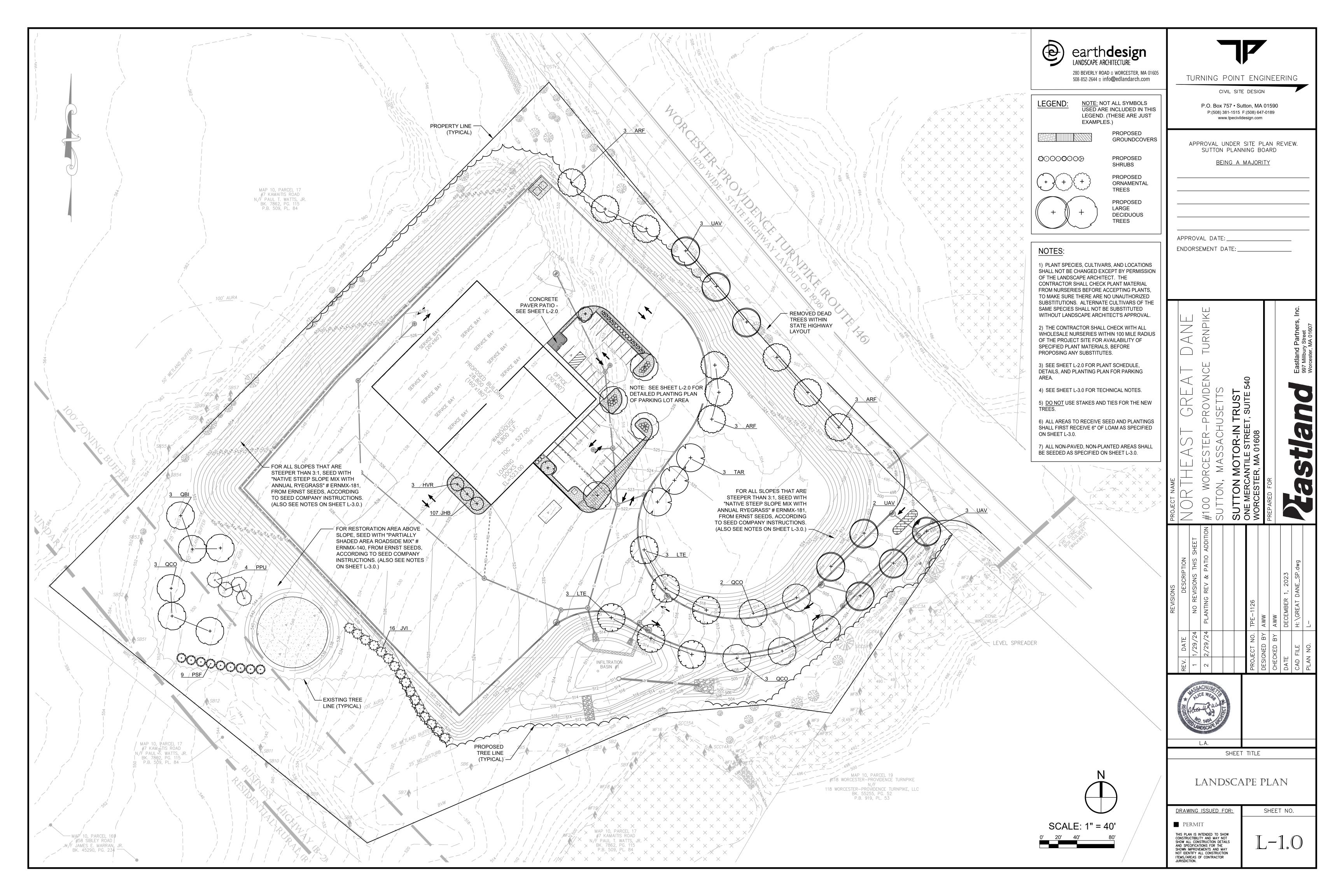
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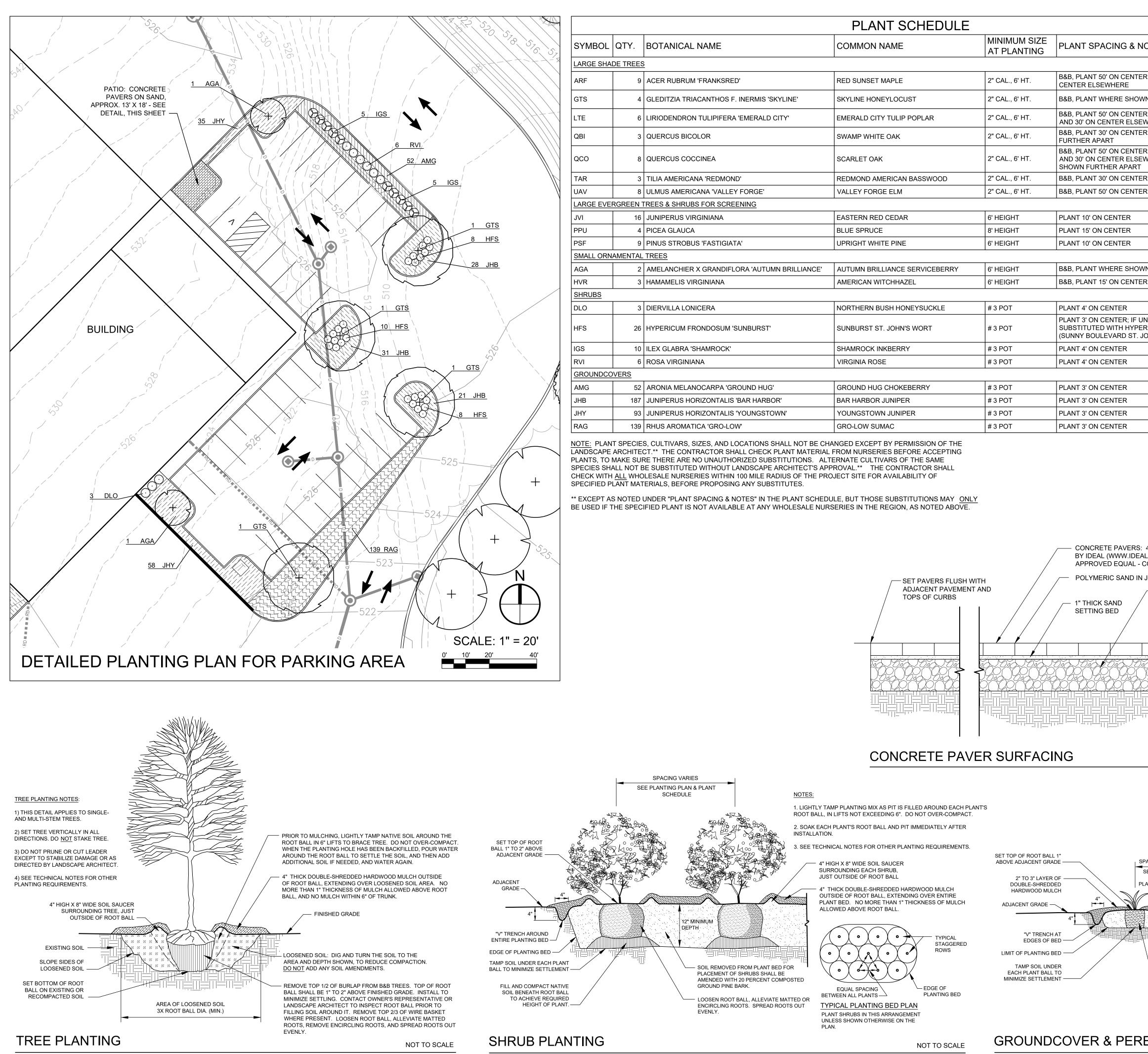
Building Commissioner Police Department Sewer Department Applicant

Laura J. Caruso, Town Clerk

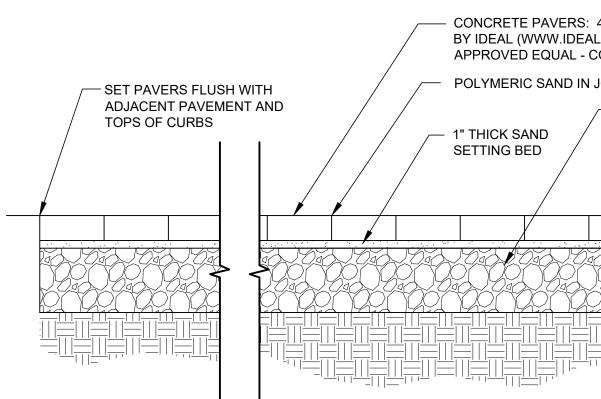
	ENCE TURNPIKE	ATE:						
ST GREAT DANE	ENCE TURNPIKE							ú
PROJECT NAME NORTHEA	#100 WORCESTER-PROVIDENCE TURNPIKE	SUTTON, MASSACHUSETTS	SUTTON MOTOR-IN TRUST	ONE MERCANTILE STREET, SUITE 540 WORCESTER MA 01608				Eastland Partners, Inc.
REVISIONS DESCRIPTION	REVISED SITE PLAN PER REVIEW COMMENTS			TPE-1126	TRB, SJO	JAB, BW	DECEMBER 14, 2023	H: \GREAT DANE_SP.dwg
REV. DATE	1 1/29/24 2 2/29/24			PROJECT NO.	DESIGNED BY	CHECKED BY	DATE	CAD FILE

SUSYONAL ENGIN





	PLANT SCHEDULE									
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE AT PLANTING	PLANT SPACING & NO					
LARGE SHA	DE TREES	<u>2</u>	-							
ARF	9	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER CENTER ELSEWHERE					
GTS	4	GLEDITZIA TRIACANTHOS F. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2" CAL., 6' HT.	B&B, PLANT WHERE SHOWN					
LTE	6	LIRIODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP POPLAR	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER AND 30' ON CENTER ELSEW					
QBI	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER FURTHER APART					
QCO	8	QUERCUS COCCINEA	SCARLET OAK	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER AND 30' ON CENTER ELSEWING SHOWN FURTHER APART					
TAR	3	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN BASSWOOD	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER					
UAV	8	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER					
LARGE EVE	RGREEN ⁻	TREES & SHRUBS FOR SCREENING	·	•	·					
JVI	16	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HEIGHT	PLANT 10' ON CENTER					
PPU	4	PICEA GLAUCA	BLUE SPRUCE	8' HEIGHT	PLANT 15' ON CENTER					
PSF	9	PINUS STROBUS 'FASTIGIATA'	UPRIGHT WHITE PINE	6' HEIGHT	PLANT 10' ON CENTER					
SMALL ORN	AMENTAL	TREES	•							
AGA	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	B&B, PLANT WHERE SHOWN					
HVR	3	HAMAMELIS VIRGINIANA	AMERICAN WITCHHAZEL	6' HEIGHT	B&B, PLANT 15' ON CENTER					
SHRUBS	•			•						
DLO	3	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	# 3 POT	PLANT 4' ON CENTER					
HFS	26	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	# 3 POT	PLANT 3' ON CENTER; IF UN SUBSTITUTED WITH HYPERI (SUNNY BOULEVARD ST. JO					
IGS	10	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	# 3 POT	PLANT 4' ON CENTER					
RVI	6	ROSA VIRGINIANA	VIRGINIA ROSE	# 3 POT	PLANT 4' ON CENTER					
GROUNDCO	DVERS		·	•	•					
AMG	52	ARONIA MELANOCARPA 'GROUND HUG'	GROUND HUG CHOKEBERRY	# 3 POT	PLANT 3' ON CENTER					
JHB	187	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	# 3 POT	PLANT 3' ON CENTER					
JHY	93	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	# 3 POT	PLANT 3' ON CENTER					
RAG	139	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	# 3 POT	PLANT 3' ON CENTER					



DTES	earthdesign LANDSCAPE ARCHITECTURE 280 BEVERLY ROAD D WORCESTER, MA 01605							
R ALONG RTE. 146 AND 30' ON	508-852-2644 🛛 info@edlandarch.com	TURNING POINT ENGINEERING	-					
	LEGEND: <u>NOTE:</u> NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST	P.O. Box 757 • Sutton, MA 01590 P:(508) 381-1515 F:(508) 647-0189 www.tpecivildesign.com						
R ALONG ENTRANCE DRIVE WHERE R EXCEPT WHERE SHOWN	EXAMPLES.) PROPOSED GROUNDCOVERS							
R ALONG ENTRANCE DRIVE, WHERE EXCEPT WHERE		APPROVAL UNDER SITE PLAN REVIEW. SUTTON PLANNING BOARD						
2	Image: Object of the strength PROPOSED Image: Object of the strength PROPOSED Image: Object of the strength PROPOSED	BEING A MAJORITY						
2	(+) {+} {+} {+} ORNAMENTAL TREES							
	+ + PROPOSED LARGE DECIDUOUS		-					
	TREES		_					
N	NOTES:	APPROVAL DATE: ENDORSEMENT DATE:						
	1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION							
IAVAILABLE, THIS MAY BE	OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS,							
DHN'S WORT)	TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED		_					
	2) THE CONTRACTOR SHALL CHECK WITH ALL	ANE JRNPIKE Partners, Inc.	70					
	WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE	CURNPIK IURNPIK Id Partners, In	MA 01607					
	3) SEE SHEET L-1.0 FOR PLANTING PLAN FOR THE		rcester,					
	REST OF THE SITE.		Mol					
	 4) SEE SHEET L-3.0 FOR TECHNICAL NOTES. 5) <u>DO NOT</u> USE STAKES AND TIES FOR THE NEW 	L ST ST IE 540						
	TREES. 6) ALL AREAS TO RECEIVE SEED AND PLANTINGS	HEAST GREA RCESTER-PROVIDEN MASSACHUSETTS MASSACHUSETTS MACRAIN TRUST NTILE STREET, SUITE 540 8, MA 01608						
	SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L-3.0.	ACHU ACHU 608 608						
	7) ALL NON-PAVED, NON-PLANTED AREAS SHALL BE SEEDED AS SPECIFIED ON SHEET L-3.0.	A S T STER- SSACH SSACH FOR-IN E STREE A 01608						
4" X 8" X 2.375" BOSTON COLONIAL _CONCRETEBLOCK.COM), OR :OLOR TO BE SELECTED BY OWNER		MAS MAS MATILE ANTILE	5					
JOINTS OF PAVERS								
7 8" THICK COMPACTED CRUSHED STONE BASE COURSE		PROJECT NAME NORT SUTTON, SUTTON, SUTTON, ONE MERC WORCESTI						
	GRADE OF PLANT							
	WN E" PLASTIC RESTRAINT BY PAVE APPROVED EQUAL. INSTALL 10"	ADDITION						
GALVANIZE	ED STEEL SPIKES THROUGH EDGING EET MAXIMUM.	ν						
	ED SUBGRADE							
	D SUDGIADE	DE D						
	NOT TO SCALE		 					
		DATE DATE DATE 2/29/ 2/29/ 2/29/ ECT N KED B KED B	NO.					
		REV. D/ 1 1/2 2 2/2 2 2/2 PROJECT PROJECT DESIGNET CHECKED DATE CAD FILE	PLAN					
	NOTES: 1. LIGHTLY TAMP PLANTING MIX AS PIT IS	A SACHUSE						
	FILLED AROUND EACH PLANT'S ROOT BALL, IN LIFTS NOT EXCEEDING 6". DO NOT OVER-COMPACT.	* HUCE HERE						
EE PLANTING PLAN & 2" UNMULCHED ANT SCHEDULE RADIUS	2. SOAK EACH PLANT'S ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.	AND SCAPE IS						
	3. SEE TECHNICAL NOTES FOR OTHER PLANTING REQUIREMENTS.	L.A.						
	TYPICAL STAGGERED ROWS	SHEET TITLE						
		LANDSCAPE						
SOIL REMOVED FROM PLANT BED FOR PLACEMENT OF PLANTS SHALL BE AMENDED WITH 20 PERCENT COMPOSTED GROUND PINE BARK.	EQUAL SPACING BETWEEN ALL PLANTS PLANTING BED	SCHEDULE & DETAILS						
LOOSEN ROOT BALL, ALLEVIATE MATTED OR ENCIRCLING ROOTS, AND SPREAD ROOTS OUT EVENLY.	TYPICAL PLANTING BED PLAN INSTALL PLANTS IN THIS ARRANGEMENT UNLESS SHOWN OTHERWISE ON THE	DRAWING ISSUED FOR: SHEET NO.						
	PLAN.	■ PERMIT THIS PLAN IS INTENDED TO SHOW CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS						
ENNIAL PLANTING	NOT TO SCALE	CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.						

TECHNICAL NOTES FOR LOAM BORROW:

1) SCOPE OF WORK: FOR THIS PROJECT, THE WORK SHALL INCLUDE PLACING LOAM ALL AREAS TO RECEIVE PLANTS AND TURFGRASS SEEDING.

2) THE CONTRACTOR SHALL FURNISH A CERTIFIED LABORATORY REPORT SHOWING THE SOILS CLASSIFICATION AND NUTRIENT ANALYSIS OF REPRESENTATIVE SAMPLES OF THE LOAM THIS IS PROPOSED TO BE USED, INCLUDING THE EXTENT OF LIME AND FERTILIZER REQUIRED. ALL COSTS FOR SUCH WORK SHALL BE BORNE BY THE CONTRACTOR.

3) IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THIS PROJECT, EXISTING ON-SITE SOIL MAY BE RE-USED AS LOAM BORROW ONLY IF IT MEETS THIS SPECIFICATION. EXISTING TOPSOIL THAT DOES NOT MEET THIS SPECIFICATION MAY BE RE-USED ONLY UP TO THE SUBGRADE ELEVATION WITHIN THE LIMITS OF AREAS TO RECEIVE NEW LOAM BORROW. THE CONTRACTOR SHALL FURNISH ALL REQUIRED LOAM BORROW, FROM OFF-SITE SOURCES, AS NECESSARY, TO COMPLETE THE PROJECT.

4) SCREENED LOAM SHALL BE "FINE SANDY LOAM" OR "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS (ASTM D-422) AND BASED ON THE "USDA CLASSIFICATION SYSTEM". SCREENED LOAM SHALL HAVE THE FOLLOWING MECHANICAL ANALYSIS:

TEXTURAL CLASS PERCENTAGE	PERCENTAGE OF TOTAL WEIGHT	AVERAGE PERCENTAGE
SAND (0.05 - 2.0 MM)	45 - 75	60
SILT (0.002 - 0.05 MM)	5 - 35	25
CLAY (LESS THAN 0.002 MM)	5 - 20	15

5) SCREENED LOAM SHALL BE A NATURAL PRODUCT CONSISTING PRIMARILY OF NATURAL TOPSOIL, FREE FROM SUBSOIL, AND OBTAINED FROM AN AREA THAT HAS NEVER BEEN STRIPPED BEFORE. SCREENED LOAM SHALL NOT CONTAIN LESS THAN FIVE PERCENT (5%) NOR MORE THAN TEN PERCENT (10%) ORGANIC MATTER. TO ADJUST ORGANIC MATTER CONTENT, THE SOIL MAY BE AMENDED, PRIOR TO SITE DELIVERY, BY THE ADDITION OF COMPOSTED LEAF MOLD OR PEAT MOSS. NO MIXING OR AMENDING OF LOAM IS PERMITTED ON SITE.

6) THE LOAM SHALL NOT BE DELIVERED IN A WET OR FROZEN CONDITION.

7) SCREENED LOAM SHALL CONSIST OF FERTILE, FRIABLE, LOAM CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. LOAM SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND REFUSE. IT SHALL BE A HOMOGENEOUS MATERIAL FREE OF STONES GREATER THAN ONE-HALF (1/2) INCH IN THE LONGEST DIMENSION; FREE OF LUMPS, PLANTS, GRASS, ROOTS, STICKS, EXCESSIVE STONE CONTENT, DEBRIS, AND EXTRANEOUS MATTER AS DETERMINED BY THE OWNER.

8) SCREENED LOAM SHALL BE WITHIN THE PH RANGE OF 6.0 TO 6.5. IT SHALL BE UNCONTAMINATED BY SALT WATER, FOREIGN MATTER, AND SUBSTANCES HARMFUL TO PLANT GROWTH. THE MAXIMUM SOLUBLE SALT INDEX SHALL BE 100. SCREENED LOAM SHALL NOT HAVE LEVELS OF ALUMINUM GREATER THAN 200 PARTS PER MILLION.

9) SEE TURFGRASS NOTES FOR LIME AND FERTILIZER REQUIREMENTS FOR LAWN AREAS.

10) TOPSOIL STRUCTURE SHALL NOT BE DESTROYED THROUGH EXCESSIVE AND UNNECESSARY HANDLING OR COMPACTION. INAPPROPRIATE HANDLING LEADING TO THE COMPACTION OF DETERIORATION OF SOIL STRUCTURE WILL RESULT IN REJECTION OF TOPSOIL FOR USE.

11) AT NO TIME SHALL EQUIPMENT OR MATERIAL REST ON THE SOIL

12) THE CONTRACTOR SHALL FURNISH AND SPREAD LOAM TO A MINIMUM 6 INCH DEPTH (AFTER SOIL SETTLEMENT) IN ALL LAWN AND PLANT BED AREAS. SUBSOIL SHALL BE SCARIFIED PRIOR TO PLACEMENT OF LOAM. THE TOP OF THE SETTLED LOAM BORROW LAYER SHALL BE TO GRADES SPECIFIED ON THE DRAWINGS. NO COMPACTION SHALL BE REQUIRED BEYOND THAT EXTENT NECESSARY TO PLACE SOD OR OR TO PLANT TREES AND SHRUBS TO ENSURE AGAINST UNEVENNESS OR SETTLING BELOW ACCEPTED GROWTH LINES.

SEED MIXTURE SHALL BE "NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS" # ERNMX-181 SUPPLIED BY ERNST SEEDS, MEADVILLE, PA, PHONE # 800-873-3321. PREPARE SOIL AND SOW SEED IN ACCORDANCE WITH THIS COMPANY'S INSTRUCTIONS FOR THIS TYPE OF SEED MIX.

MIXTURE REQUIREMENTS ARE AS FOLLOWS (WITH APPROXIMATE PERCENTAGES)

G) ALL TURFGRASS SEED SHALL BE LABELED TO SHOW THAT IT IS WITHIN THE REQUIREMENTS OF THE USDA AS TO PURITY, GERMINATION, AND PRESENCE OF RESTRICTED OR PROHIBITED WEEDS.

4) BED PREPARATION FOR AREAS TO BE SEEDED WITH TURFGRASS: A ROTOVATOR, CHISEL PLOW, OR CULTIVATOR SHALL BE USED TO WORK THE SOIL TO A DEPTH OF SIX INCHES. AFTER THIS OPERATION, REMOVE AND DISPOSE OF STICKS, STONES OVER 1 INCH DIAMETER, AND RUBBISH TO A MINIMUM DEPTH OF TWO INCHES.

5) LIME AND NUTRIENTS FOR TURFGRASS AREAS: LIME SHALL BE GROUND DOLOMITIC LIMESTONE, APPLIED AT THE RATE OF 50 POUNDS PER 1000 SQUARE FEET. LIME SHALL BE WELL-MIXED INTO THE TOP THREE INCHES OF LOAM.

6) FERTILIZER FOR TURFGRASS AREAS: FERTILIZER SHALL BE A COMMERCIAL GRADE WITH A MINIMUM OF 50 PERCENT OF THE NITROGEN COMPONENT IN A CONTROLLED RELEASE FORM LABELED TO RELEASE NITROGEN FOR A MINIMUM OF SIX WEEKS. FERTILIZER SHALL HAVE AN N/P/K RATIO IN THE RANGE OF 1:1:1 TO 1:2:2. IT SHALL BE APPLIED AT A RATE WHICH ACHIEVES ONE POUND OF NITROGEN PER 1000 SQUARE FEET.

7) SEEDING PROCEDURE FOR TURFGRASS: SOWING OF SEED SHALL BE DONE ONLY AFTER THE PREPARED SOIL, TO WHICH LIME AND FERTILIZER HAVE BEEN ADDED AS SPECIFIED, HAS BEEN THOROUGHLY SETTLED BY RAINFALL OR ARTIFICIAL WATERING. IMMEDIATELY BEFORE ANY SEED IS SOWN, THE GROUND SHALL BE SCARIFIED AS SPECIFIED. LAWN AREAS SHALL BE SEEDED EVENLY WITH A MECHANICAL SPREADER. SEED MIXTURES SHALL BE SOWN AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. AFTER SEEDING, THE LAWN SHALL BE LIGHTLY RAKED, ROLLED WITH A 200-POUND ROLLER, AND WATERED WITH A FINE SPRAY. THIS METHOD OF SEEDING MAY BE VARIED AT THE DISCRETION OF THE CONTRACTOR ON HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH, UNIFORMLY GRASSED LAWN.

8) SEED FOR PERMANENT TURFGRASS SHALL ONLY BE SOWN FROM THE THIRD WEEK IN APRIL THROUGH JUNE AND DURING THE MONTH OF SEPTEMBER.

9) TEMPORARY SEEDING FOR EROSION CONTROL: IN THE EVENT THAT THE CONTRACT IS SUSPENDED, TEMPORARY SEEDING SHALL BE USED ON ANY BARE AREAS THAT MAY BE SUBJECT TO EROSION AND WHERE TEMPORARY VEGETATION CAN BE USED TO RETARD EROSION FROM 2 TO 12 MONTHS. THE SEED TYPE USED FOR TEMPORARY COVER SHALL BE 100 PERCENT TALL FESCUE APPLIED AT A RATE OF 300 POUNDS PER ACRE.

10) MAINTENANCE: MAINTAIN THE TURFGRASS FROM TIME OF INSTALLATION UNTIL THE FINAL INSPECTION IMMEDIATELY PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD. MAINTENANCE SHALL INCLUDE WATERING OF TURF AREAS, REPAIRS TO TURF AREAS, AND OTHER NECESSARY OPERATIONS. THE MAINTAINED TURF AREAS (EXCEPT FOR LOW-MAINTENANCE TURF ON STEEP SLOPES) SHALL BE MOWED TO A UNIFORM HEIGHT OF APPROXIMATELY TWO AND ONE-HALF INCHES. MOWING SHALL BE PROVIDED AS REQUIRED SO THAT THE TURF NEVER EXCEEDS FOUR INCHES IN HEIGHT. TURF SHALL BE PROTECTED AND REPLANTED AS NECESSARY TO ESTABLISH A UNIFORM STAND OF THE SPECIFIED TURF AND UNTIL ACCEPTANCE. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQUARE FOOT, WILL BE ALLOWED UP TO A MAXIMUM OF THREE PERCENT OF ANY TURF AREA. WHEN TURF AREAS ARE READY FOR FINAL INSPECTION, THE MAINTAINED TURF AREAS SHALL BE NEATLY MOWED TO THE UNIFORM HEIGHTS AS NOTED ABOVE. THE LAWNS SHALL BE CONSIDERED ESTABLISHED ONLY WHEN THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL IN ADDITION TO MEETING THE OTHER REQUIREMENTS SPECIFIED. AT THE TIME OF ACCEPTANCE FOLLOWING FINAL INSPECTION, THE CONTRACTOR IS RELIEVED OF ROUTINE MAINTENANCE RESPONSIBILITIES FOR THE TURF UNDER THIS CONTRACT.

11) FINAL INSPECTION, CLEANUP AND COMPLETION: FINAL INSPECTION SHALL BE FOR THE COMPLETED LANDSCAPE AND SHALL BE MADE AT THE CONCLUSION OF THE LANDSCAPE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL EQUIPMENT AND OTHER ARTICLES USED. ALL EXCESS SOIL, STONES, AND DEBRIS SHALL BE REMOVED FROM THE SITE. ALL WORK AREAS SHALL BE LEFT IN A CLEAN AND NEAT CONDITION. ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY THE LANDSCAPING OPERATIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

AS NOTED ABOVE.

TECHNICAL NOTES FOR TURFGRASS & PERENNIAL SEEDING:

1) SCOPE OF WORK: FOR THIS PROJECT, THE WORK SHALL INCLUDE SEEDING AREAS DENUDED BY CONSTRUCTION.

2) ALL AREAS SHALL BE SEEDED WITHIN 30 DAYS AFTER FINISHED GRADES ARE ESTABLISHED AND OTHER ELEMENTS INCLUDED IN THIS CONTRACT ARE CONSTRUCTED.

3) SEED SPECIFICATIONS

A) RESTORATION AREA (ABOVE SLOPE, AS NOTED ON PLAN):

SEED MIXTURE SHALL BE "PARTIALLY SHADED AREA ROADSIDE MIX" # ERNMX-140 SUPPLIED BY ERNST SEEDS, MEADVILLE, PA, PHONE # 800-873-3321. PREPARE SOIL AND SOW SEED IN ACCORDANCE WITH THIS COMPANY'S INSTRUCTIONS FOR THIS TYPE OF SEED MIX.

B) SLOPES STEEPER THAN 3:1:

C) TURFGRASS: AREAS RECEIVING FULL SUN OR PART SHADE, IN AREAS WITH SLOPES 3:1 OR LESS STEEP:

MIXTURE REQUIREMENTS ARE AS FOLLOWS (WITH APPROXIMATE PERCENTAGES):

35% FINE FESCUE (ENDOPHYTIC) 35% KENTUCKY BLUEGRASS 30% PERENNIAL RYEGRASS (ENDOPHYTIC)

D) TURFGRASS: AREAS RECEIVING MOSTLY SHADE, IN AREAS WITH SLOPES 3:1 OR LESS STEEP:

90% FINE FESCUE (ENDOPHYTIC) 10% PERENNIAL RYEGRASS (ENDOPHYTIC)

E) ANY PROPOSED SUBSTITUTIONS SHALL BE PRESENTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SEEDING.

F) ALL TURFGRASS SEED SHALL HAVE A MINIMUM PURITY OF 98 PERCENT AND A GERMINATION RATE OF 85 PERCENT

12) GUARANTY AND REPLACEMENT: IF A SATISFACTORY STAND OF MAINTAINED TURF HAS BEEN PRODUCED AT THE TIME OF FINAL INSPECTION, IT SHALL BE GUARANTEED THROUGH ONE COMPLETE GROWING SEASON. IF RENOVATION AND/OR RESEEDING ARE REQUIRED AT THE END OF THE GUARANTEE PERIOD, THIS WORK SHALL BE DONE IN CONFORMANCE WITH THE REQUIREMENTS NOTED ABOVE. IF A SATISFACTORY STAND OF MAINTAINED TURF HAS NOT BEEN PRODUCED AT THE TIME OF FINAL INSPECTION, NECESSARY REPAIRS SHALL BE PERFORMED IN CONFORMANCE WITH THE REQUIREMENTS NOTED ABOVE. UPON COMPLETION OF THESE REPAIRS, THE TURF GRASS SHALL BE GUARANTEED

PERENNIAL PLANTINGS:

1) NOMENCLATURE: THE NAMES OF PLANTS REQUIRED UNDER THIS CONTRACT SHALL CONFORM TO THOSE GIVEN IN STANDARDIZED PLANT NAMES, LATEST EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN SHALL CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2) QUALITY AND SIZE: PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES. THEY SHALL BE MEASURED BEFORE PRUNING IS DONE AT TIME OF PLANTING. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF PLANTS IN THE PLANT LIST SHALL FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATIONS OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK.

3) SUBSTITUTIONS: SUBSTITUTIONS WILL BE PERMITTED ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT AS SPECIFIED IS NOT OBTAINABLE DURING THE SCHEDULED PLANTING SEASON. WRITTEN AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE REQUIRED FOR ANY SUBSTITUTION. THE NEAREST EQUIVALENT SIZE OR VARIETY OF PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS SHALL BE PROPOSED FOR SUBSTITUTION.

4) BALLED AND BURLAPPED MATERIALS: PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. MATERIAL SHALL BE IN A CONDITION WHERE THE NATURAL ROOT COLLAR OF THE PLANT IS WITHIN APPROXIMATELY TWO (2) INCHES OF THE SOIL LEVEL OF THE BALL. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE, CORD, OR WIRE MESH. NO SYNTHETIC FABRIC IS ALLOWED. WHERE NECESSARY TO PREVENT BREAKING OR CRACKING OF THE BALL DURING THE PROCESS OF PLANTING, THE BALL MAY BE SECURED TO A PLATFORM. BALLS SHALL BE KEPT MOIST AND SHADED UNTIL THEY ARE PLANTED. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL PRIOR TO PLANTING. PLANT IN ACCORDANCE WITH TREE AND SHRUB PLANTING DETAILS. BALLED AND BURLAPPED TREES SHALL ONLY BE DUG IN THE SPRING.

5) CONTAINER-GROWN MATERIALS: PLANTS NOT DESIGNATED OTHERWISE IN THE PLANT LIST MAY BE PURCHASED AS CONTAINER-GROWN OR BALLED/BURLAPPED. CONTAINER-GROWN PLANTS, IF STORED ON THE SITE, SHALL BE WATERED THOROUGHLY AT LEAST ONCE EVERY 48 HOURS. ROOT SYSTEMS OF CONTAINER-GROWN PLANTS SHALL BE WELL-DEVELOPED BUT NOT IN "POT-BOUND" CONDITION OF DENSE, ENCIRCLING ROOTS. THE ROOT BALL OF THE PLANT SHALL BE LOOSENED TO ALLEVIATE ENCIRCLING ROOTS AND TO PROVIDE AN INCREASED ROOT INTERFACE WITH THE FILL SOIL. PLANT IN ACCORDANCE WITH TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS. CONTAINER-GROWN TREES SHALL ONLY BE PLANTED IN THE FALL (SEPTEMBER - OCTOBER).

6) PROTECTION OF PLANTS PRIOR TO INSTALLATION: THE ROOT ZONE OF ALL PLANTS NOT YET INSTALLED SHALL BE PROTECTED FROM FREEZING, DRYING, AND DIRECT SUNLIGHT.

7) MULCHING: DOUBLE-SHREDDED HARDWOOD MULCH SHALL BE USED AS THE MULCH FOR ALL PLANT BEDS INDICATED ON THE LANDSCAPE PLAN, INCLUDING AREAS SURROUNDING THE PLANTS AS SHOWN ON THE TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS.

8) PLANTING SEASON: THE NORMAL PLANTING SEASON IS APRIL THROUGH NOVEMBER. SOME PLANTS SPECIFIED AS BALLED AND BURLAPPED CANNOT BE DUG DURING PORTIONS OF THIS PLANTING SEASON --CHECK WITH NURSERIES FOR SPECIFICS. PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS DURING THE NORMAL PLANTING SEASON.

IN POOR TILTH.

10) LAYOUT: NEW PLANTINGS SHALL BE LOCATED ACCORDING TO THE LANDSCAPE PLAN. THE CONTRACTOR SHALL STAKE THE PLANT LOCATIONS, AND SHALL THEN CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL.

11) SETTING PLANTS: ALL PLANTS SHALL BE PLANTED IN PREPARED SOILS BEDS, AND SET ON FIRM SOIL TO SUCH DEPTH AS INDICATED IN THE PLANTING DETAILS. TREES. SHRUBS. GROUNDCOVERS. AND PERENNIALS SHALL BE SET SO THAT THE PLANT'S NATURAL ROOT COLLAR OR CROWN IS ABOVE FINISHED GRADE AT THE HEIGHTS INDICATED IN THE PLANTING DETAILS. NO BURLAP SHALL BE PULLED FROM UNDER THE BALLS. ROOTS ON BARE-ROOT PLANTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAYED ROOTS SHALL BE CUT OFF CLEANLY. PREPARED SOIL SHALL BE PLACED AND COMPACTED CAREFULLY TO AVOID INJURY TO ROOTS, TO FILL ALL VOIDS, AND TO MINIMIZE ROCKING OF ROOT BALL. ADD WATER AND TAMP THE BACKFILL UNTIL THE BACKFILL IS COMPLETELY SATURATED, THEN ALLOW IT TO SOAK AWAY. FILL THE HOLE TO FINISHED GRADE, AND FORM A SAUCER AROUND EACH TREE AND SHRUB BY PLACING A RIDGE OF TOPSOIL AROUND THE EDGE OF EACH ROOT BALL, IN ACCORDANCE WITH THE PLANTING DETAILS. AFTER THE GROUND SETTLES, ADDITIONAL SOIL SHALL BE FILLED IN TO THE LEVEL OF THE FINISHED GRADE, AND WATERED.

12) STAKING TREES: DO NOT STAKE TREES, UNLESS TREES ARE PLANTED ON STEEP SLOPES, IN WHICH CASE THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR PERMISSION TO STAKE THOSE TREES.

13) MAINTENANCE: MAINTAIN PLANTS AND PLANT BEDS FROM THE TIME OF INSTALLATION UNTIL THE FINAL INSPECTION IMMEDIATELY PRIOR TO COMMENCEMENT OF THE GUARANTEE PERIOD. MAINTENANCE SHALL INCLUDE WATERING AND PROTECTION OF PLANTINGS AND OTHER NECESSARY OPERATIONS.

14) FINAL INSPECTION: WHEN THE TREE AND SHRUB PLANTINGS ARE READY FOR FINAL INSPECTION, ALL MULCHED AREAS SHALL BE FREE FROM WEEDS AND MULCHED TO THE EXTENT INDICATED ON THESE DRAWINGS. PLANT TAGS SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO THE INSPECTION FOR ACCEPTANCE.

15) GUARANTEE: AFTER ACCEPTANCE AT TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) YEAR. PLANTINGS SHALL BE ALIVE AND IN SATISFACTORY VIGOR AT THE END OF THE GUARANTEE PERIOD.

16) REPLACEMENT: AT THE END OF THE GUARANTEE PERIOD, ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR IN POOR VIGOR SHALL BE REMOVED FROM THE SITE. THESE AND ANY MISSING PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT, BUT DURING THE NORMAL PLANTING SEASON. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE EQUAL TO THAT ATTAINED BY ADJACENT PLANTS OF THE SAME KIND AT THE TIME REPLACEMENT IS MADE. ONLY ONE REPLACEMENT WILL BE REQUIRED FOR EACH PLANT DECLARED DEAD, IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, OR MISSING AT THE TIME OF FINAL INSPECTION.



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TECHNICAL NOTES FOR TREE, SHRUB, GROUNDCOVER, AND

9) WEATHER CONDITIONS: PLANTING SHALL NOT TAKE PLACE WHEN SOILS ON SITE ARE FROZEN OR WET AND

APPROVAL UNDER SUTTON PLAN		:W.
BEING A	MAJORITY	

APPROVAL DATE: _ ENDORSEMENT DATE:

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	NORTHFACT CRFAT DANF		#100 WORCESTER-PROVIDENCE TURNPIKE	CHUSETTS		IN TRUST	RET, SUITE 540 B	þ		•		Worcester, MA 01607
PROJECT NAME	N D R T H F A S			SUTTON, MASSACHUSFITS		SUTTON MOTOR-IN TRUST	ONE MERCANTILE STREET, SUITE 540					
REVISIONS	DESCRIPTION	NO REVISIONS THIS SHEET	PLANTING REV & PATIO ADDITION				TPE-1126	AWW	AWW	DECEMBER 1, 2023	H:\GREAT DANE_SP.dwg	[-
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C S A S	THIS PLAN IS INTENDED TO SHOW CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION							[_(3.	\bigcirc)

ITEMS/AREAS OF CONTRACTOR

JURISDICTION.