

100 WORCESTER-PROVIDENCE TURNPIKE SUTTON, MASSACHUSETTS

997 MILLBURY STREET, WORCESTER, MA 01607
P: 508-647-1919

ONE MERCANTILE STREET, SUITE 540, WORCESTER, MA 01608

TURNING POINT ENGINEERING

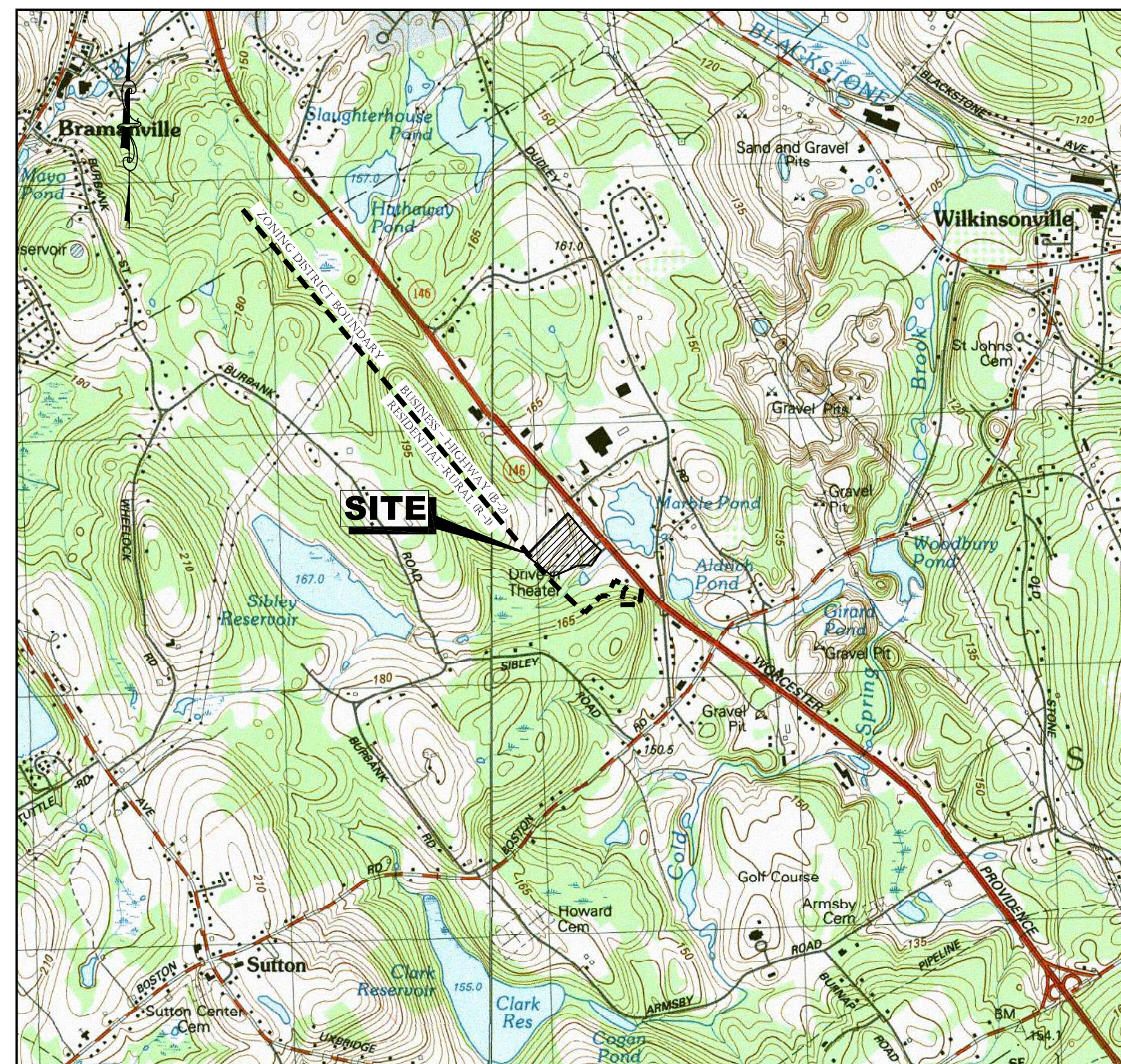
P.O. BOX 757, SUTTON, MA 01590
P: 508-381-1515

181 BALLARDVILLE STREET, SUITE 202 WILMINGTON, MA 01887
P: 978-570-2999

2 RICE STREET, HUDSON, MA 01749
P: 978-568-0135

EARTHDESIGN LANDSCAPE
ARCHITECTURE LLC

280 BEVERLY ROAD, WORCESTER, MA 01605
P: 508-852-2644



U.S.G.S MAP
SCALE: 1" = 1,500'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0
GENERAL NOTES, ABBREVIATIONS & LEGEND	C-1.1
LOCATION PLAN	C-1.2
EXISTING CONDITIONS & DEMOLITION PLAN	C-2.1
LAYOUT & MATERIALS PLAN	C-3.1
UTILITY PLAN	C-4.1
GRADING & DRAINAGE PLAN	C-5.1
EROSION CONTROL PLAN, NOTES & DETAILS	C-6.1 - C-6.3
CONSTRUCTION DETAILS	C-7.1 - C-7.5
OPEN SPACE PLAN	C-8.1
SITE LIGHTING PHOTOMETRIC PLAN	C-9.1
CONDITIONS OF APPROVAL	C-10.1
LANDSCAPE PLAN	L-1.0
LANDSCAPE SCHEDULE & DETAILS	L-2.0
LANDSCAPE NOTES	L-3.0

DRAWING LIST

OWNER OF RECORD:
SUTTON MOTOR-IN TRUST
ONE MERCANTILE STREET, SUITE 540
WORCESTER, MA 01608

DEED REFERENCE:
BK. 9774, PG. 388

PLAN REFERENCES:
P.B. 138, PL. 52
P.B. 509, PL. 84
1936 STATE HIGHWAY LAYOUT

SUTTON ACCESSORS INFORMATION:
MAP 10, PARCEL 18
9.41± ACRES

SUTTON ZONING INFORMATION:
ROUTE 146 OVERLAY DISTRICT
UNDERLYING ZONE: BUSINESS-HIGHWAY (B-2)
MINIMUM AREA: 40,000 S.F.
MINIMUM LOT WIDTH & FRONTAGE: 200'
SETBACKS: FRONT 50', SIDE 20', REAR 40'
OPENSACE: 35% (MIN.)

PROPERTY INFORMATION



TURNING POINT ENGINEERING

CIVIL SITE DESIGN

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www.tpecivildesign.com

APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

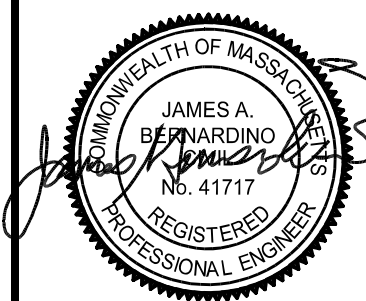
PROJECT NAME
NORTHEAST GREAT DANE
100 WORCESTER-PROVIDENCE TURNPIKE
SUTTON, MASSACHUSETTS
SUTTON MOTOR-IN TRUST
ONE MERCANTILE STREET, SUITE 540
WORCESTER, MA 01608

PREPARED FOR

Eastland Partners, Inc.
997 Millbury Street
Worcester, MA 01607

Eastland

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/29/24	REVISED SITE PLAN
2	2/29/24	PER REVIEW COMMENTS
PROJECT NO. TPE-1126		
DESIGNED BY TRB, SJO		
CHECKED BY JAB, BW		
DATE DECEMBER 14, 2023		
CAD FILE H:\GREAT DANE_SP.dwg		
PLAN NO. L-412		



P.F.



P.I.S.

SHEET TITLE

COVER SHEET

DRAWING ISSUED FOR:

PERMIT

THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

SHEET NO.

C-0.0



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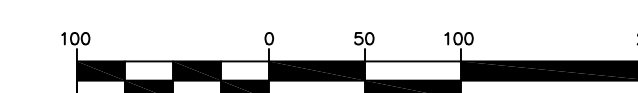
WORKSHEET

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	CHECKED BY		JAB, BW		
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	CAD FILE		H:\GREAT DANE_SP.dwg		
	PLAN NO.		L-412		

GRAPHIC SCALE

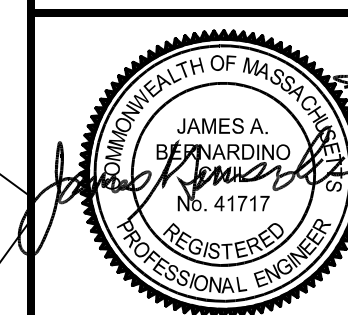


(IN FEET)

1 inch = 100 feet

SHEET TITLE

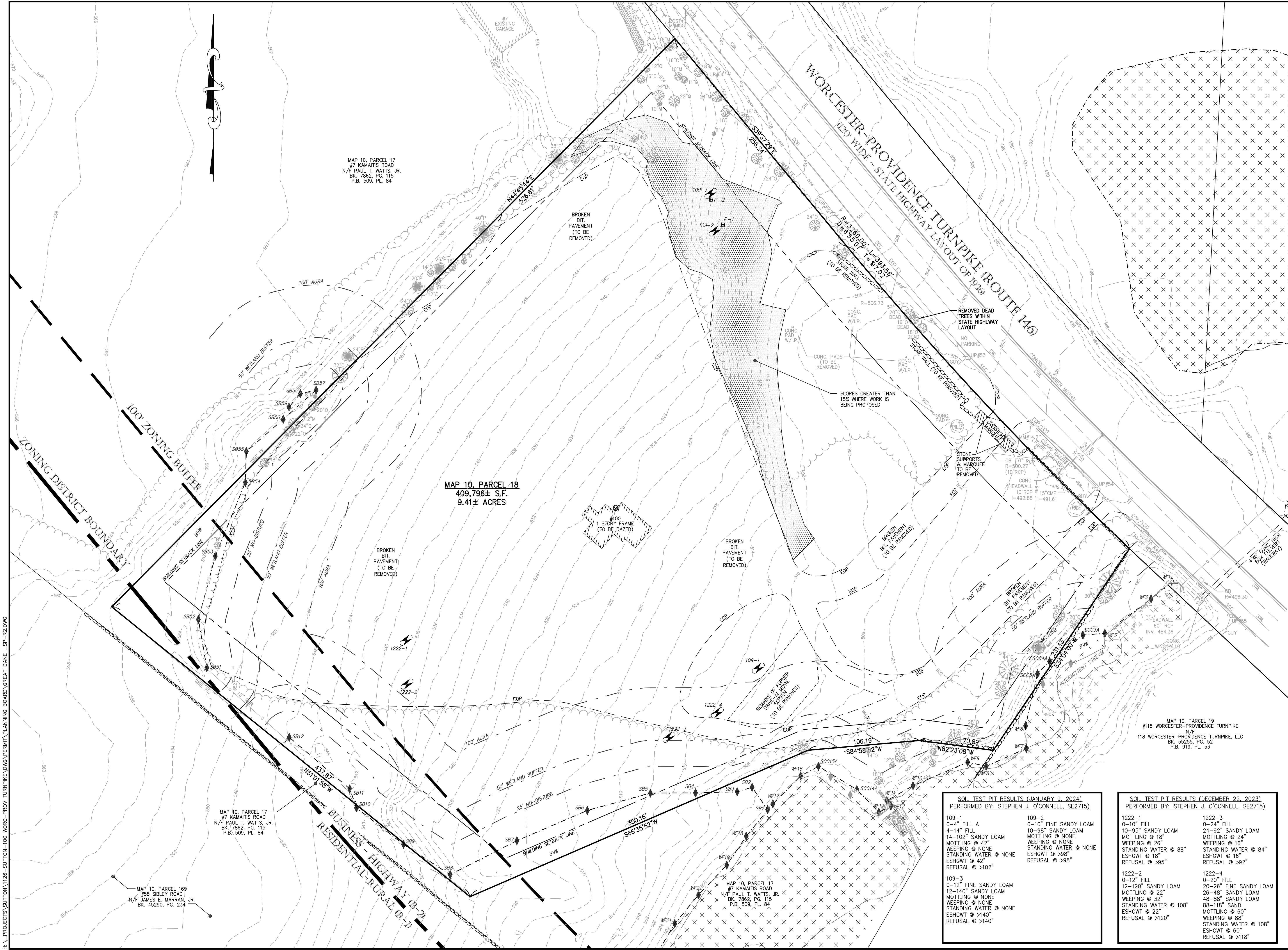
LOCATION PLAN




SHEET NO.

C-1.2

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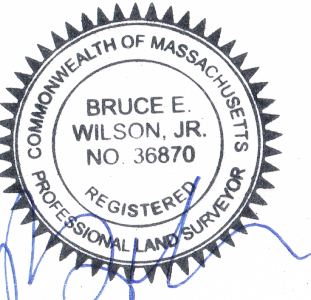
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GRAPHIC SCALE

40 0 20 40 80
(IN FEET)
1 inch = 40 feet

SHEET TITLE

**EXISTING
CONDITIONS
& DEMOLITION PLAN**



BRUCE E.
WILSON, JR.
NO. 6870
REGISTERED
PROFESSIONAL LAND SURVEYOR

SHEET NO.

C-2.1



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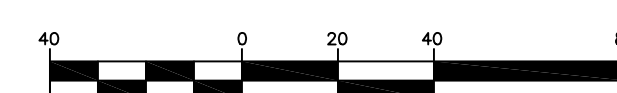
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GRAPHIC SCALE



(IN FEET)

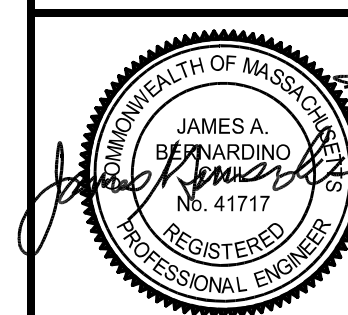
1 inch = 40 feet

SHEET TITLE

LAYOUT & MATERIALS PLAN

SHEET NO.

C-3.1



PARKING REQUIRED:
PER SECTION IV.B OF THE ZONING BY-LAW
1 SPACES PER 250 S.F. OFFICE SPACE USE = 10 SPACES
1 SPACES PER 1,000 S.F. INDUSTRIAL USE = 16 SPACES
1 SPACES PER 2,000 S.F. WAREHOUSE USE = 5 SPACES
TOTAL REQUIRED = 32 SPACES

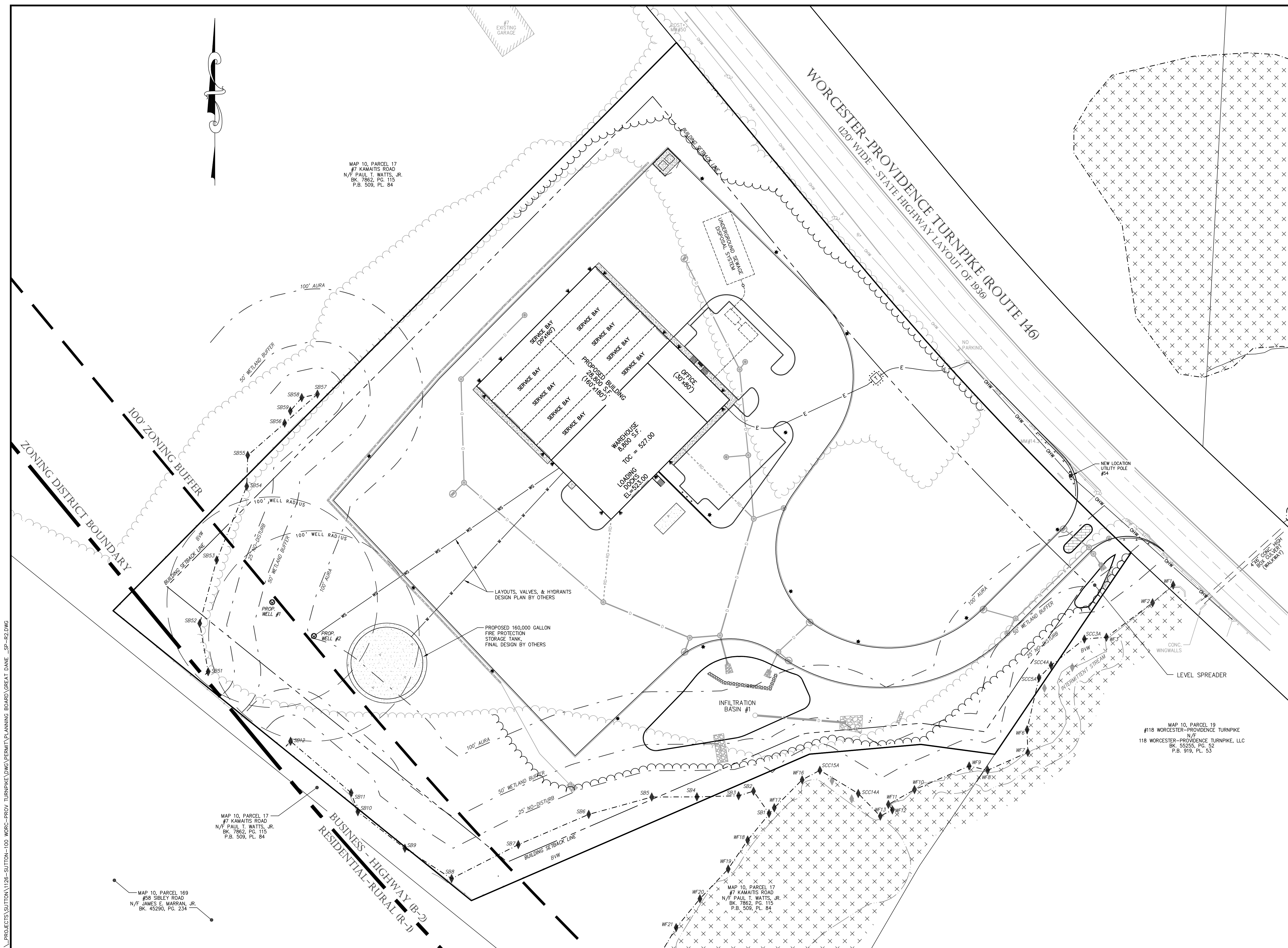
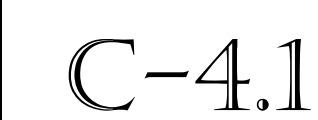
PARKING PROVIDED:
STANDARD: 32 SPACES
HANDICAP: 2 SPACES
TOTAL PROVIDED: 34 SPACES

LANDSCAPING:
REQUIRED INTERIOR LANDSCAPING = 5.0%
TOTAL PARKING AREA = 17,941 S.F.
TOTAL INTERIOR LANDSCAPING = 3,909 S.F.
PROVIDED INTERIOR LANDSCAPING = 21.8%

ZONING INFORMATION TABLE			
ZONE: BUSINESS-HIGHWAY (B-2) & ROUTE 146 OVERLAY DISTRICT			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	40,000 S.F.	409,796 S.F.	409,796 S.
MIN. FRONTAGE	200'	649.80'	649.80'
MIN. SETBACKS:	--	--	--
FRONT	50'	314'±	177.4'
SIDE	20'	241'±	95.0'
REAR	40'	336'±	365.0'
MIN. OPENSPACE (%)	35% *	32.5%	35.7%
MAX. BLDG. HEIGHT (FT.)	35'	12'±	35'
MAX. BLDG. COVERAGE (%)	50%	<1%	7.0%

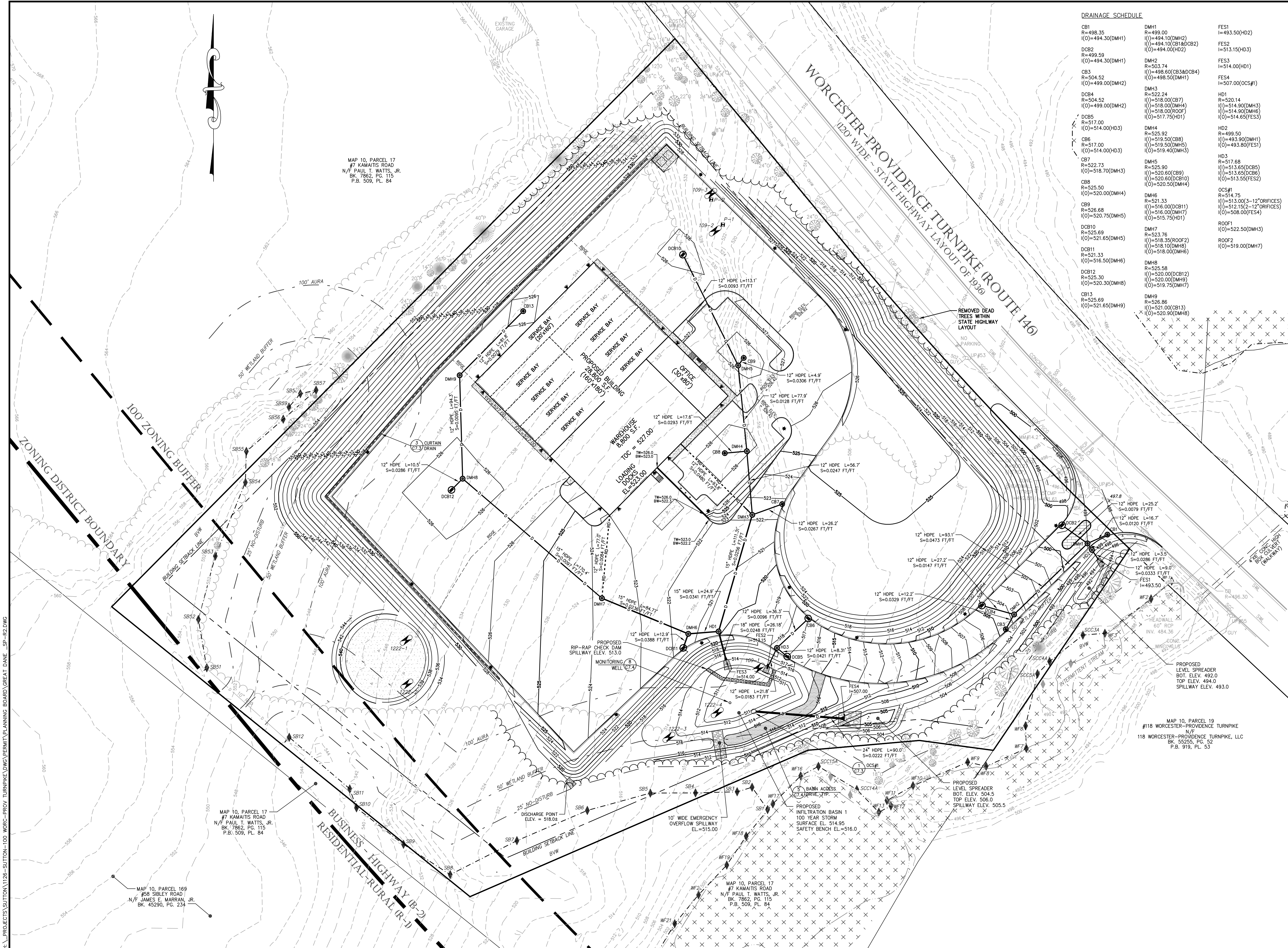
* REQUIRED MIN. OPEN SPACE AS DEFINED IN THE ROUTE 146 OVERLAY DISTRICT (NOT INCLUDING BUILDING SETBACK AREAS) IS 35% IN THE 146 OVERLAY DISTRICT.

_PROJECTS\\SUTTON\\1126-SUTTON-100 WORC-PROV TURNPIKE\\DWG\\PERMIT\\PLANNING BOARD\\GREAT DANE _SP-R2.DWG




I:_PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE _SP-R2.DWG

H: L:\PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE _SP-R2.DWG



DRAINAGE SCHEDULE		
CB1 R=498.35 (O)=494.30(DMH1)	DMH1 R=499.00 (I)=494.10(DMH2) (O)=494.10(CB1&DCB2) (O)=494.00(HD2)	FES1 I=493.50(HD2)
DCB2 R=499.59 (O)=494.30(DMH1)	DMH2 R=503.74 (O)=498.60(CB3&DCB4) (O)=498.50(DMH1)	FES2 I=513.15(HD3)
CB3 R=504.52 (O)=499.00(DMH2)	DMH3 R=522.24 (I)=518.00(CB7) (O)=499.00(DMH4) (O)=518.00(DMH5) (O)=514.90(DMH6) (O)=517.75(HD1)	FES3 I=514.00(HD1)
DCB4 R=504.52 (O)=499.00(DMH2)	DMH4 R=525.92 (I)=519.50(CB8) (O)=519.50(DMH5) (O)=519.40(DMH3)	FES4 I=507.00(OC#1)
DCB5 R=517.00 (O)=514.00(HD3)	DMH5 R=525.90 (I)=520.60(CB9) (I)=520.60(DCB10) (O)=520.50(DMH4)	HD1 R=520.14 (I)=514.90(DMH3) (I)=514.90(DMH6) (O)=514.65(FES3)
CB6 R=517.00 (O)=514.00(HD3)	DMH6 R=521.33 (O)=516.00(DCB11) (I)=516.00(DMH7) (O)=515.75(HD1)	HD2 R=499.50 (I)=493.90(DMH1) (O)=493.80(FES1)
CB7 R=522.73 (O)=518.70(DMH3)	DMH7 R=523.76 (I)=518.35(ROOF2) (O)=518.00(DMH8) (O)=518.00(DMH6)	HD3 R=517.68 (I)=513.65(DCB5) (I)=513.65(DCB6) (O)=513.55(FES2)
CB8 R=525.50 (O)=520.00(DMH4)	DMH8 R=525.58 (I)=520.00(DCB12) (I)=520.00(DMH9) (O)=519.75(DMH7)	OC#1 R=514.75 (I)=513.00(3-12"ORIFICES) (I)=512.15(2-12"ORIFICES) (O)=508.00(FES4)
CB9 R=526.68 (O)=520.75(DMH5)	DMH9 R=526.86 (I)=521.00(CB13) (O)=520.90(DMH8)	ROOF1 (O)=522.50(DMH3)
DCB10 R=525.69 (O)=521.65(DMH5)		ROOF2 (O)=519.00(DMH7)
DCB11 R=521.33 (O)=516.50(DMH6)		
DCB12 R=525.30 (O)=520.30(DMH8)		
CB13 R=525.69 (O)=521.65(DMH9)		



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WORCESTER, MA 01608**

REVISIONS

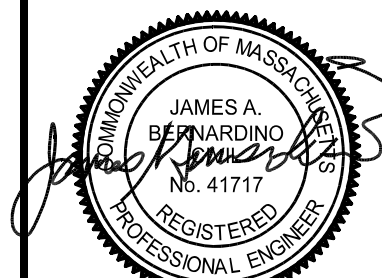
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GRAPHIC SCALE

40 0 20 40 80
(IN FEET)
1 inch = 40 feet

SHEET TITLE

**GRADING &
DRAINAGE PLAN**



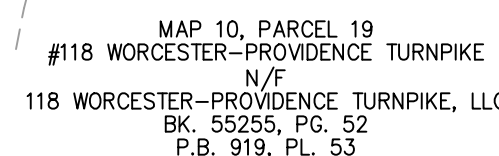
SEAL OF THE COMMONWEALTH OF MASSACHUSETTS
JAMES A. B. WARD
REGISTERED PROFESSIONAL ENGINEER
NO. 41717

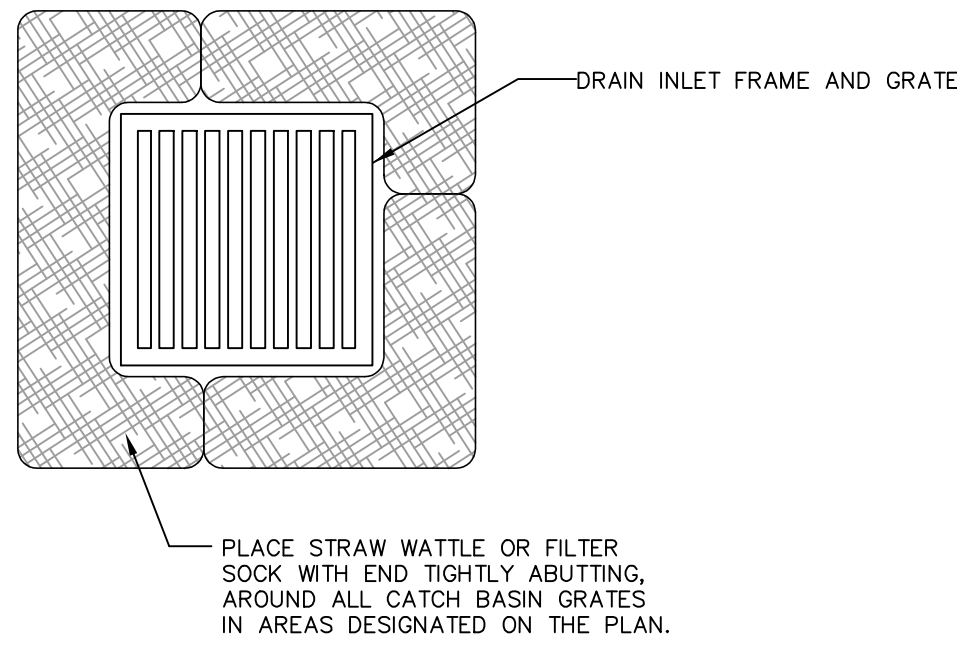
SHEET NO.

C-5.1

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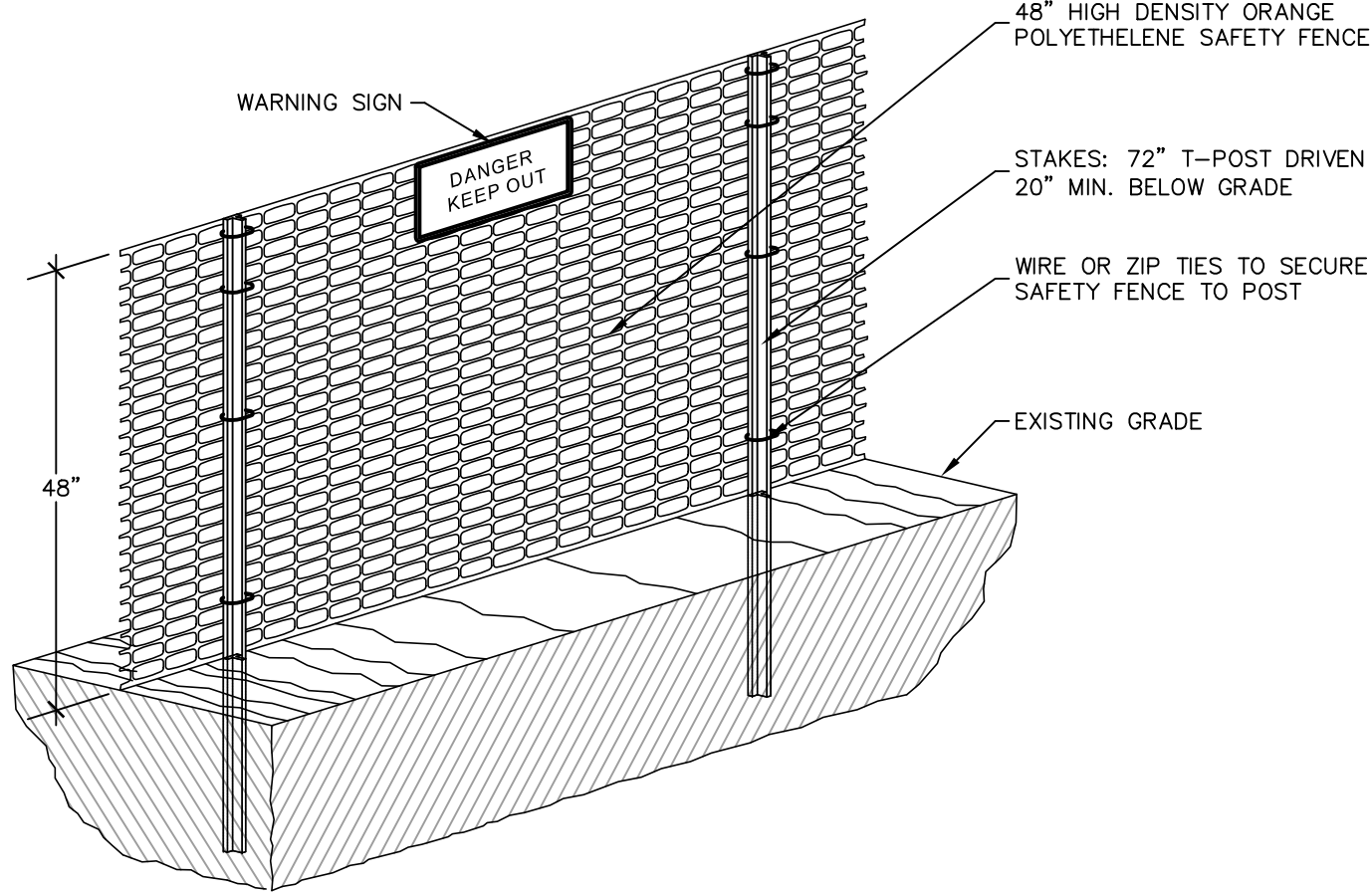
Eastland





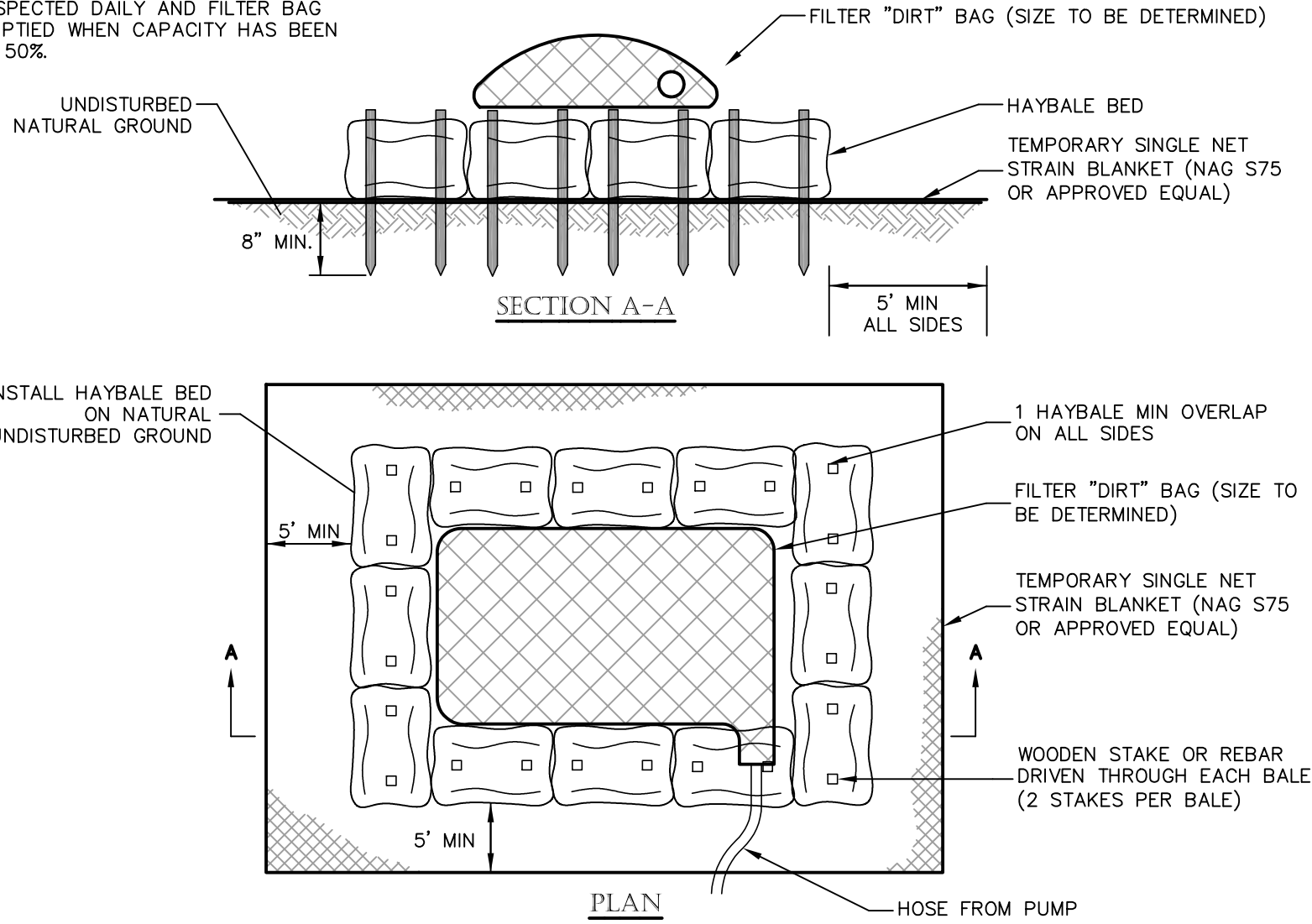
1 CATCH BASIN STRAW WATTLE/FILTER SOCK
N.T.S.

NOTES:
[1] ALL ACTIVE CONSTRUCTION AREAS SHALL BE PROTECTED PER PLAN.
[2] SAFETY FENCE SHALL BE FASTENED SECURELY TO T-POSTS.
[3] FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE SAFETY FENCE MUST BE APPROVED.
[4] "DANGER KEEP OUT SIGNS TO BE SPACED AT 100 FOOT INTERVALS.

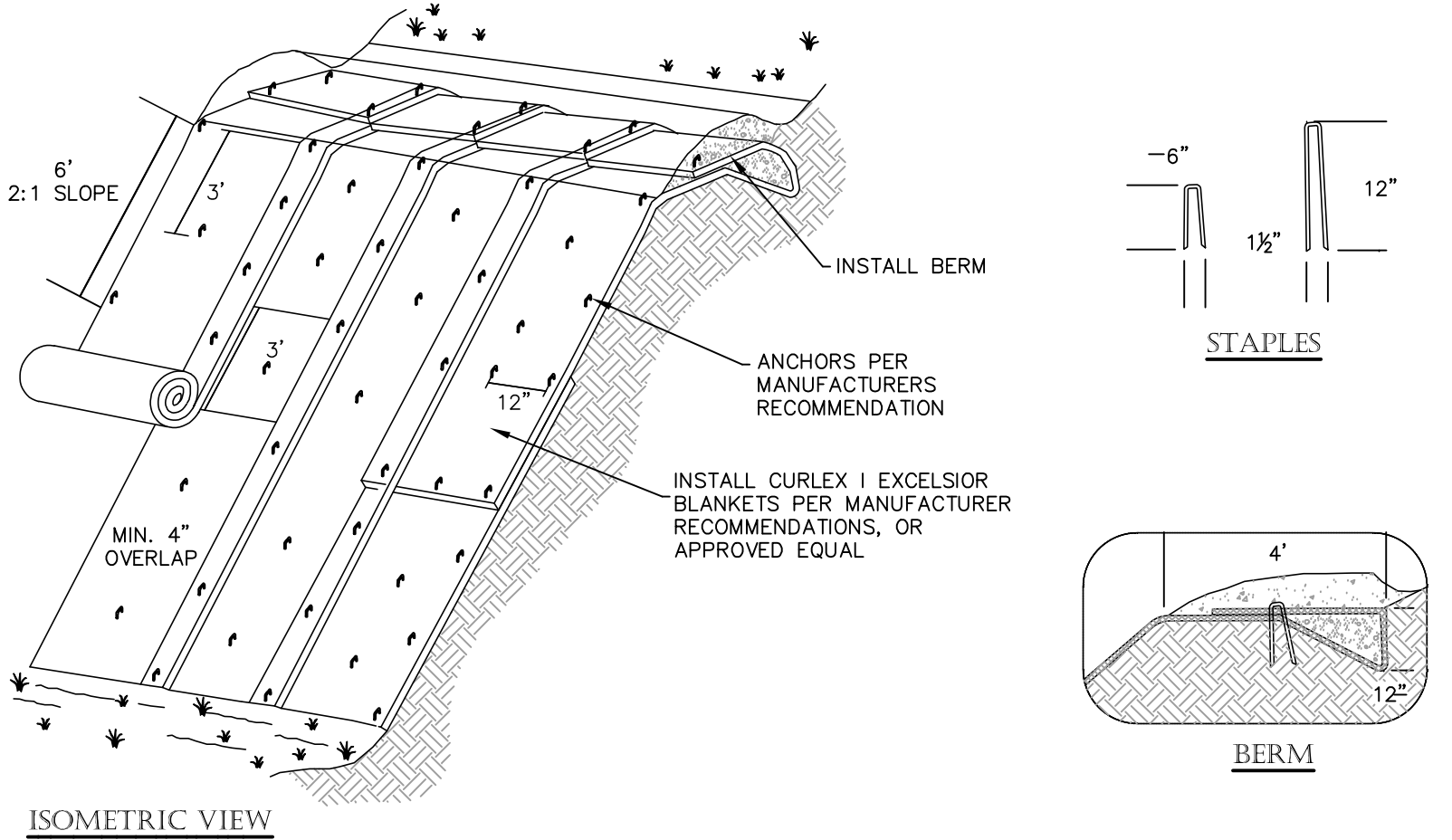


2 CONSTRUCTION SAFETY FENCE
N.T.S.

NOTES:
[1] LIMIT 1 DISCHARGE HOSE PER BAG
[2] TEMPORARY DEWATERING STRUCTURE SHALL BE INSPECTED DAILY AND FILTER BAG SHALL BE EMPTIED WHEN CAPACITY HAS BEEN REDUCED BY 50%.

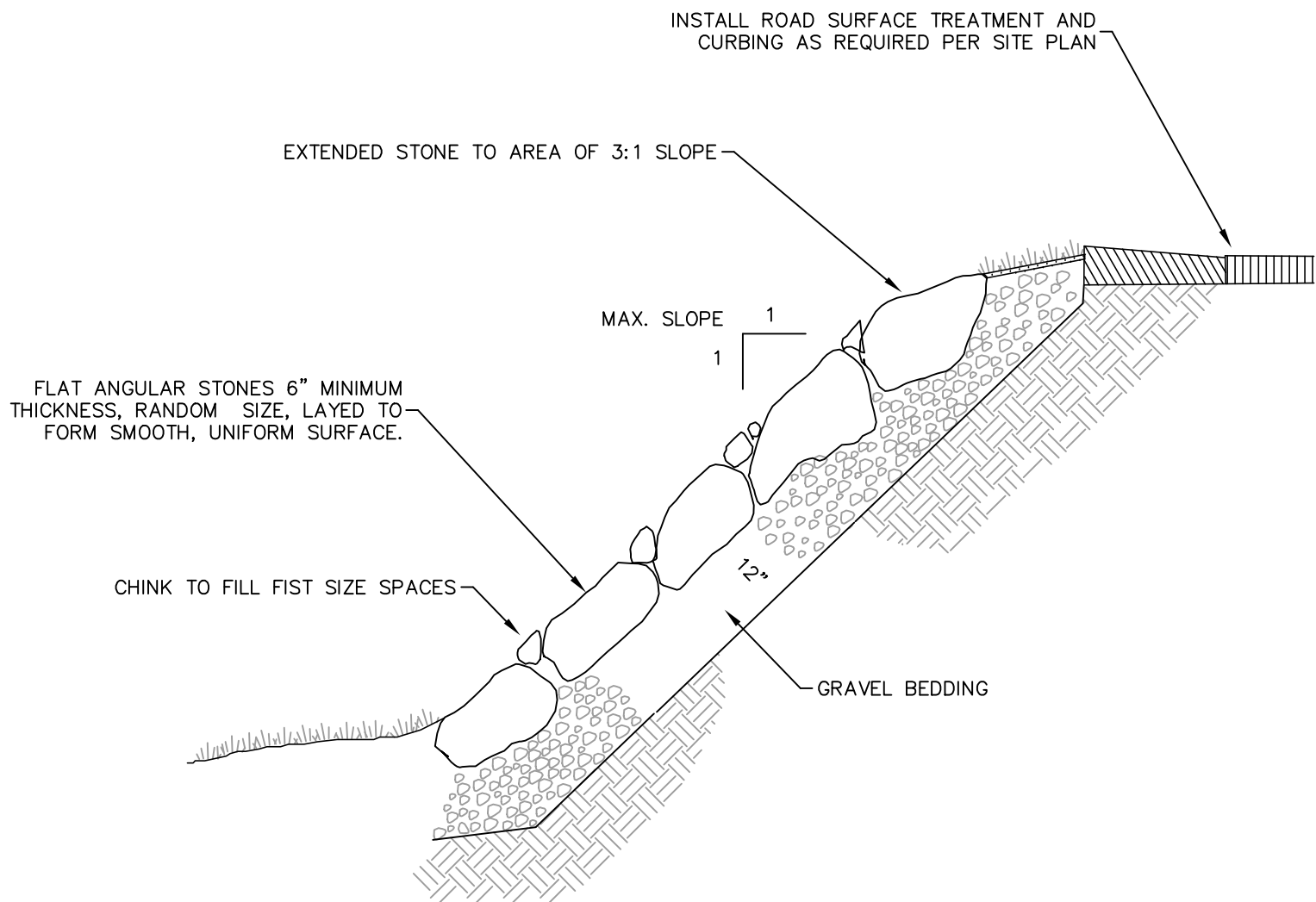


3 TEMPORARY DEWATERING STRUCTURE
N.T.S.

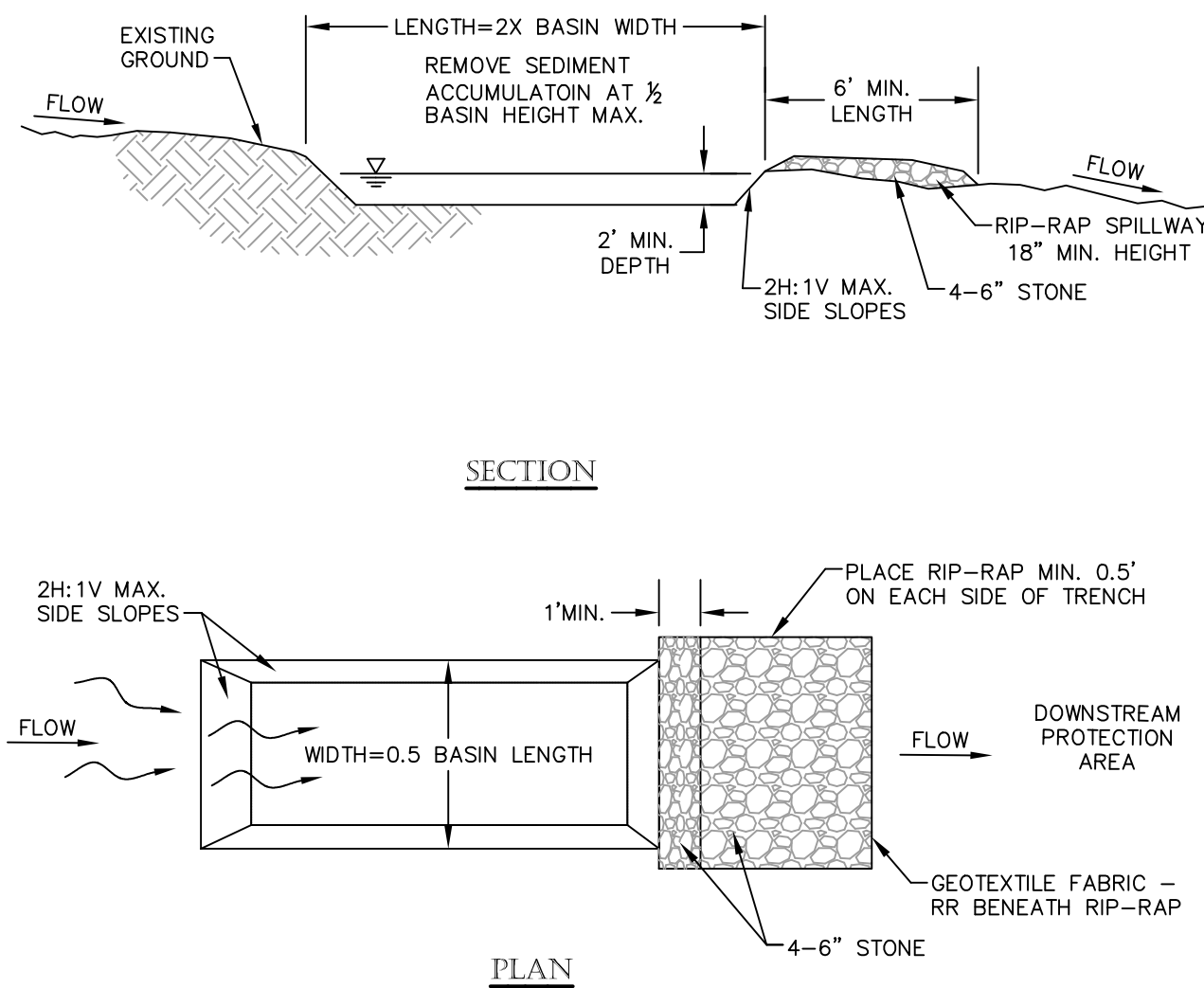


NOTES:
[1] SLOPE SURFACE SHALL BE FREE OF ROCK, CLODS, STICKS AND GRASS, MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT
[2] APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS
[3] LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH
[4] MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE
[5] TAMP SOIL OVER MAT/BLANKET

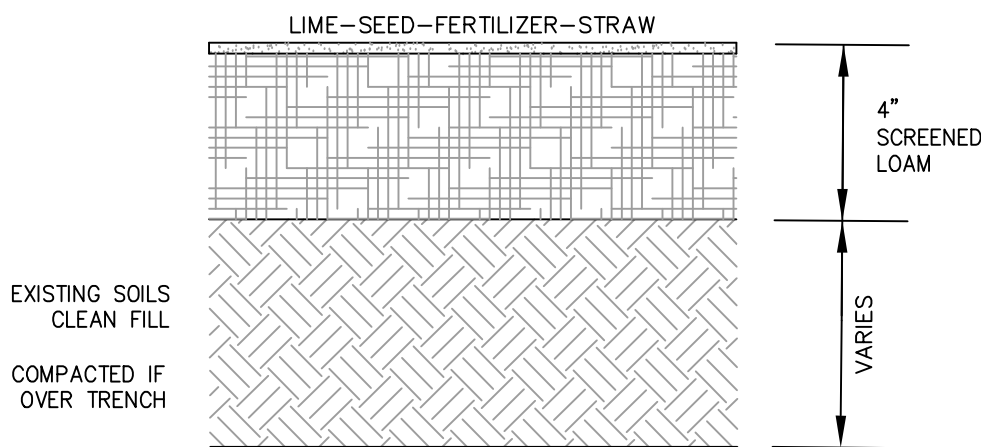
4 EROSION CONTROL BLANKET SLOPE STABILIZATION
N.T.S.



5 RIP-RAP SLOPE STABILIZATION
N.T.S.



6 TEMPORARY SEDIMENT BASIN
N.T.S.



7 LOAM & SEED
N.T.S.

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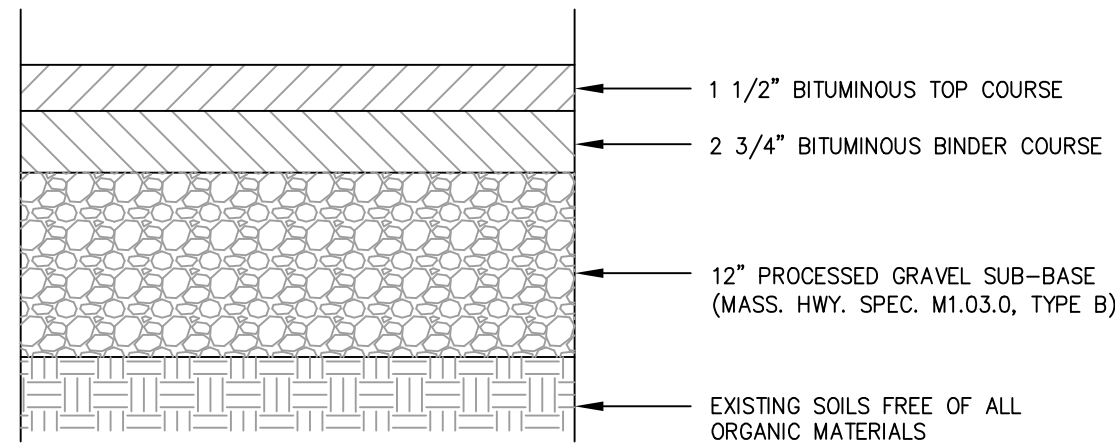
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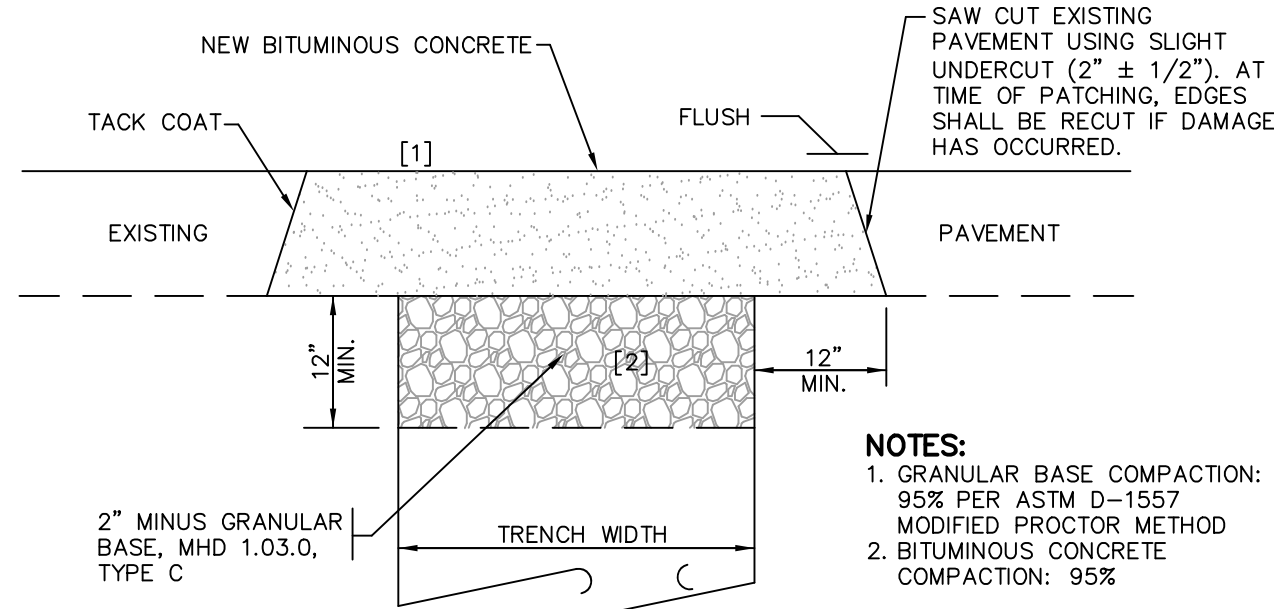
SHEET TITLE
**EROSION CONTROL PLAN,
NOTES & DETAILS**
SHEET 3 OF 3

SHEET NO.
C-6.3

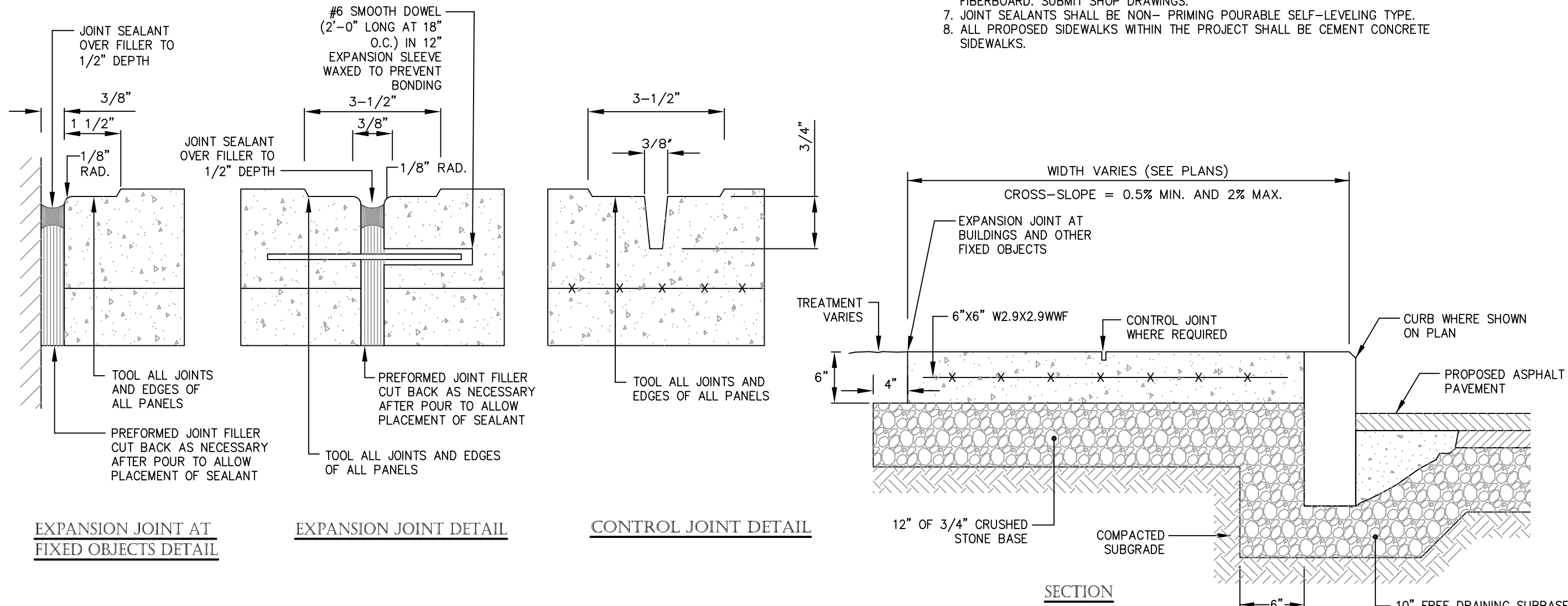
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1 BITUMINOUS CONCRETE PAVEMENT
N.T.S.



2 TRENCH PATCH
N.T.S.



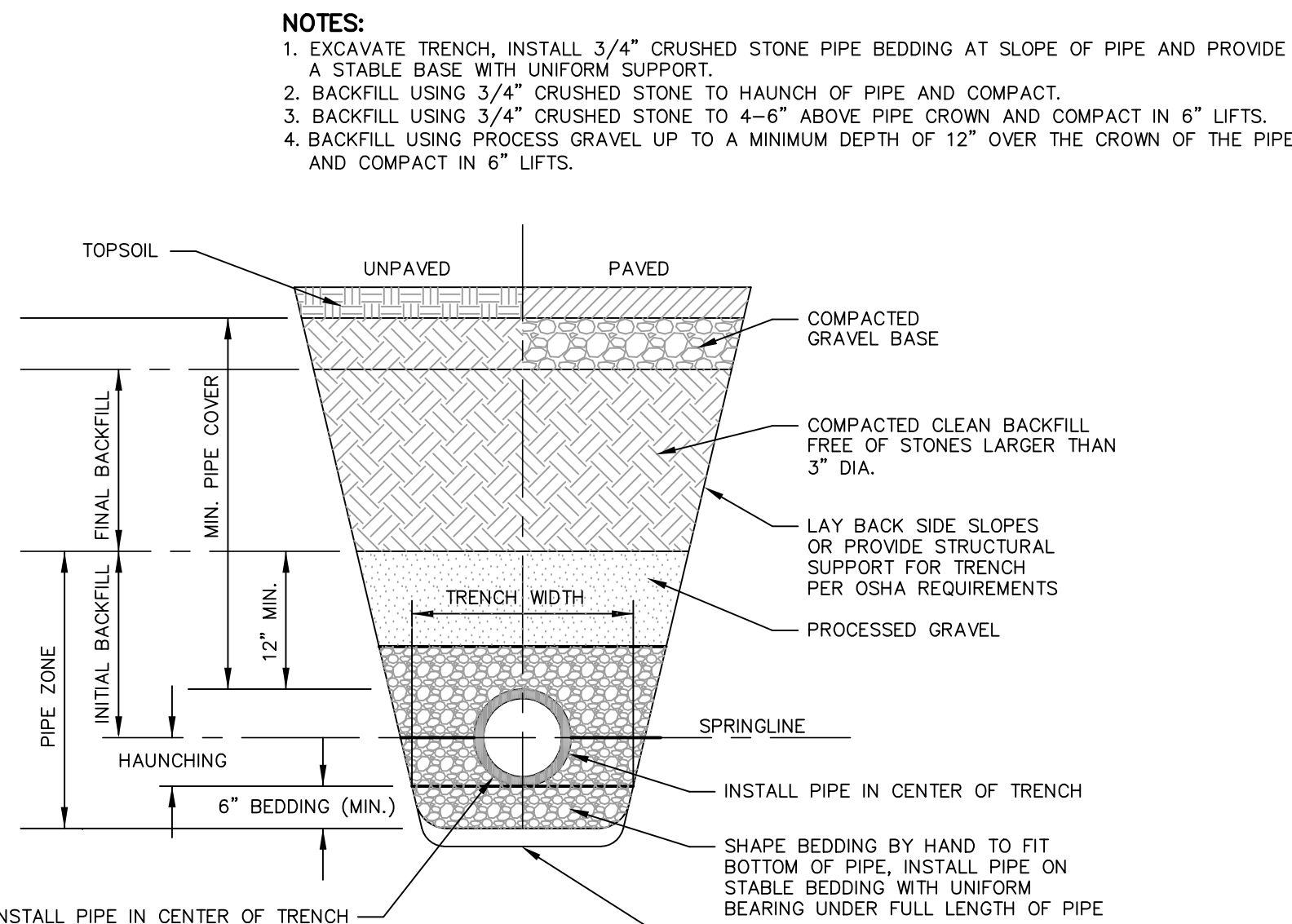
4 CEMENT CONCRETE SIDEWALK
N.T.S.

TRENCH WIDTH:
1. MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING.

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

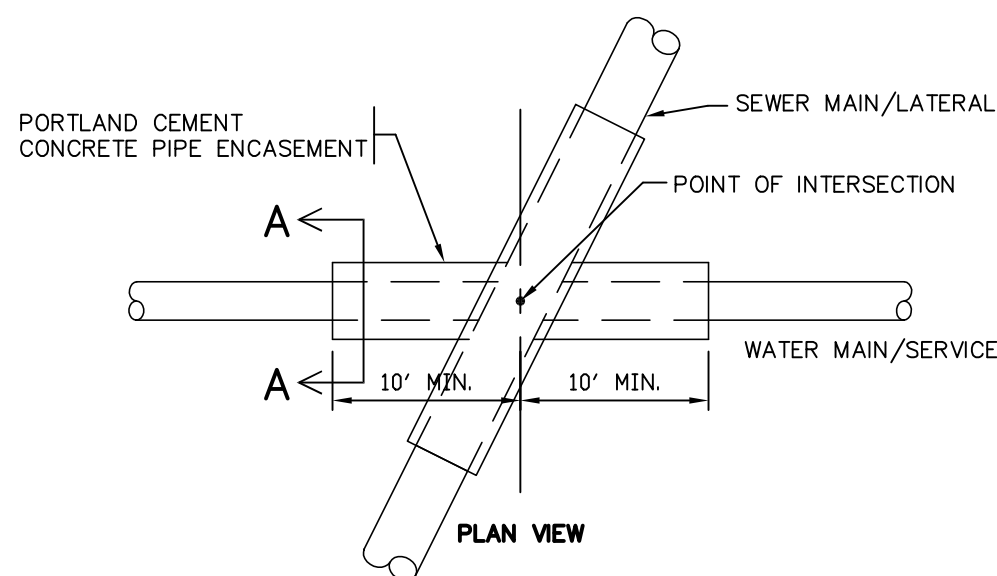
MATERIAL NOTES (SEE TABLE BELOW):
1. PLACE 2" MINUS CRUSHED GRAVEL.
2. PLACE 3/4" CRUSHED STONE.
3. PLACE 3/4" CRUSHED STONE 4-6" ABOVE PIPE CROWN. THE REMAINDER OF INITIAL BACKFILL TO BE PROCESSED GRAVEL TO A MINIMUM OF 12" ABOVE PIPE CROWN.
4. IN PLANTED OR UNIMPROVED AREAS, USE 2" MINUS ON-SITE EXCAVATED MATERIAL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, USE 2" MINUS APPROVED ON-SITE EXCAVATED MATERIALS.

FOUNDATION, BEDDING & BACKFILL MATERIALS		
PIPE MATERIAL	HDPE, PVC	RCP, DI
FOUNDATION STABILIZATION	(NOTE 1)	(NOTE 1)
BEDDING	(NOTE 2)	(NOTE 2)
HAUNCHING	(NOTE 2)	(NOTE 2)
INITIAL BACKFILL	(NOTE 3)	(NOTE 3)
FINAL BACKFILL	(NOTE 4)	(NOTE 4)

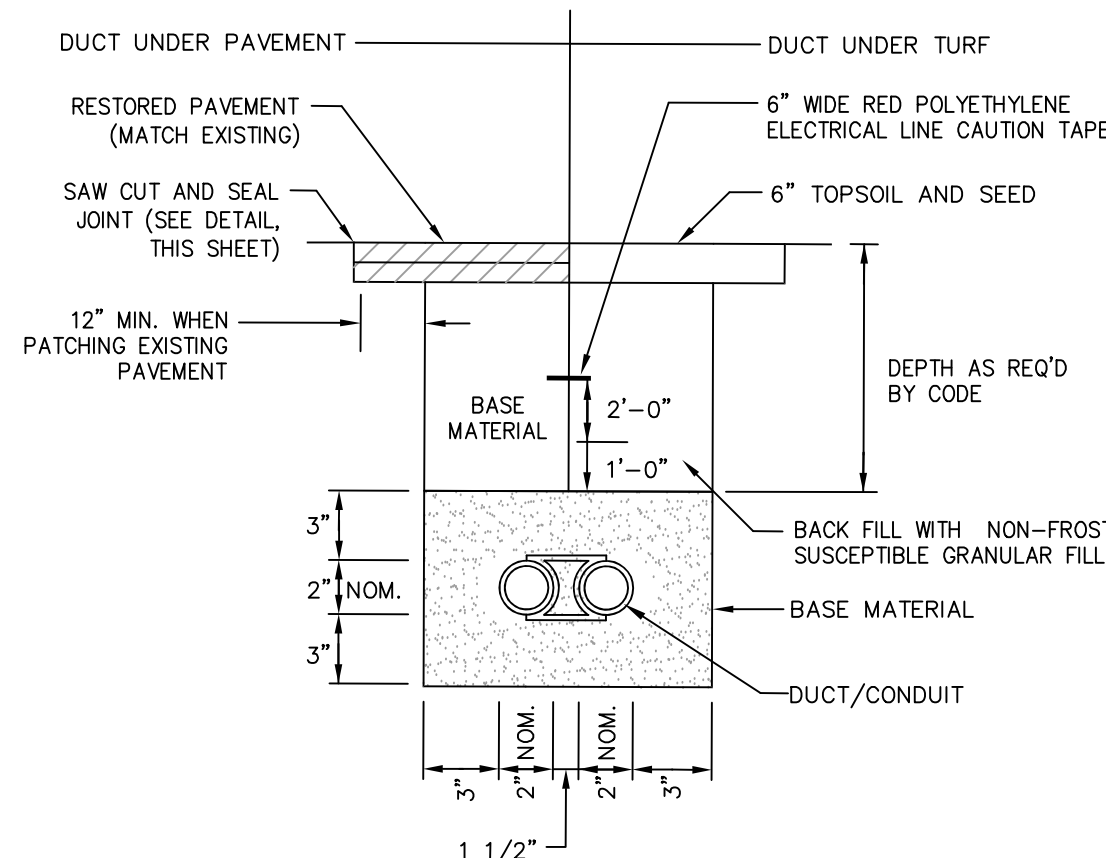
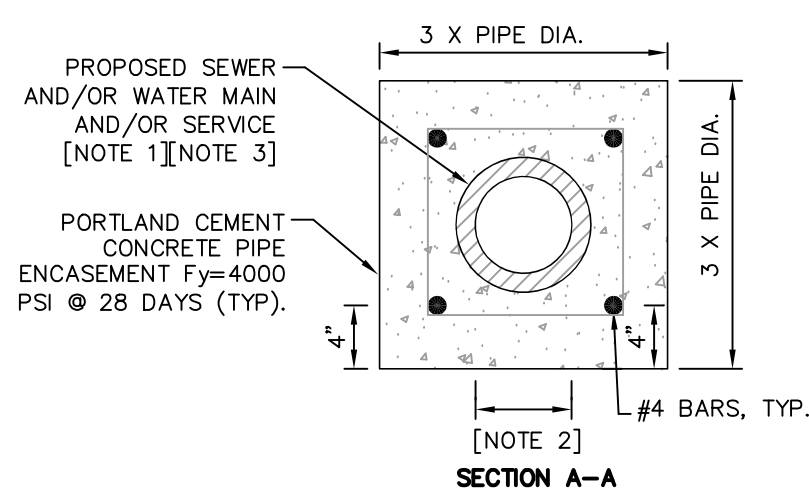


5 TYPICAL UTILITY TRENCH
N.T.S.

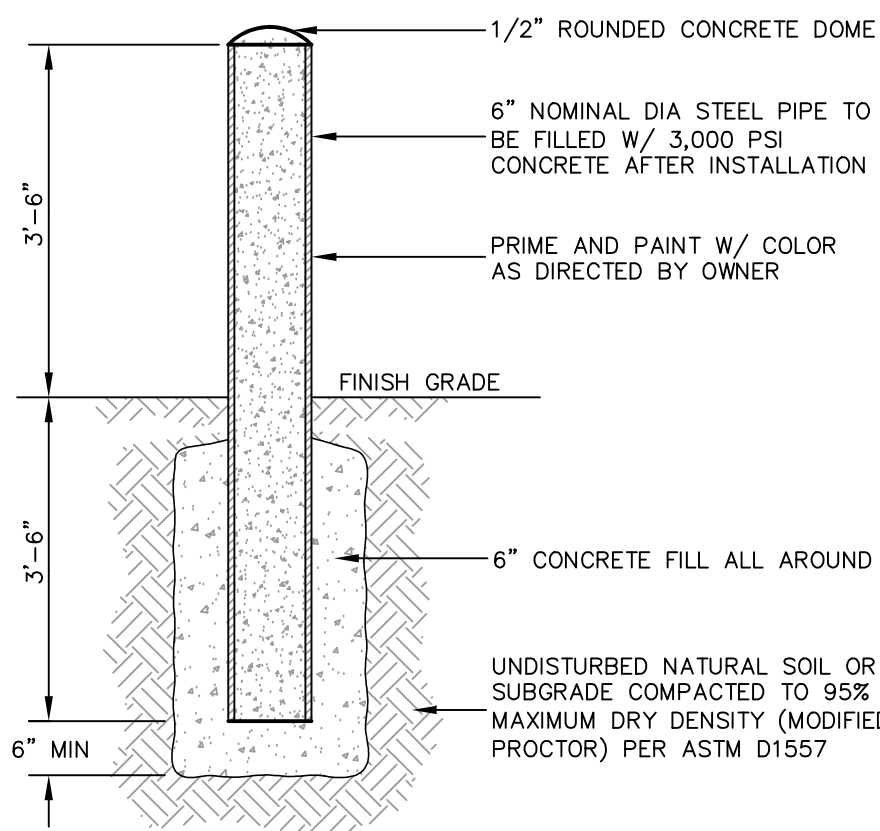
NOTES:
1. CONCRETE PIPE ENCASEMENT TO EXTEND 10 FT ALONG SEWER LINE AND WATER LINE FROM POINT OF INTERSECTION.
2. DISTANCE EQUAL TO PIPE DIAMETER.
3. CONCRETE PIPE ENCASEMENT REQUIRED WHENEVER PROPOSED SEWER MAIN/LATERAL IS WITHIN 10' OF PROPOSED WATER MAIN/SERVICE.



8 PIPE ENCASEMENT
N.T.S.

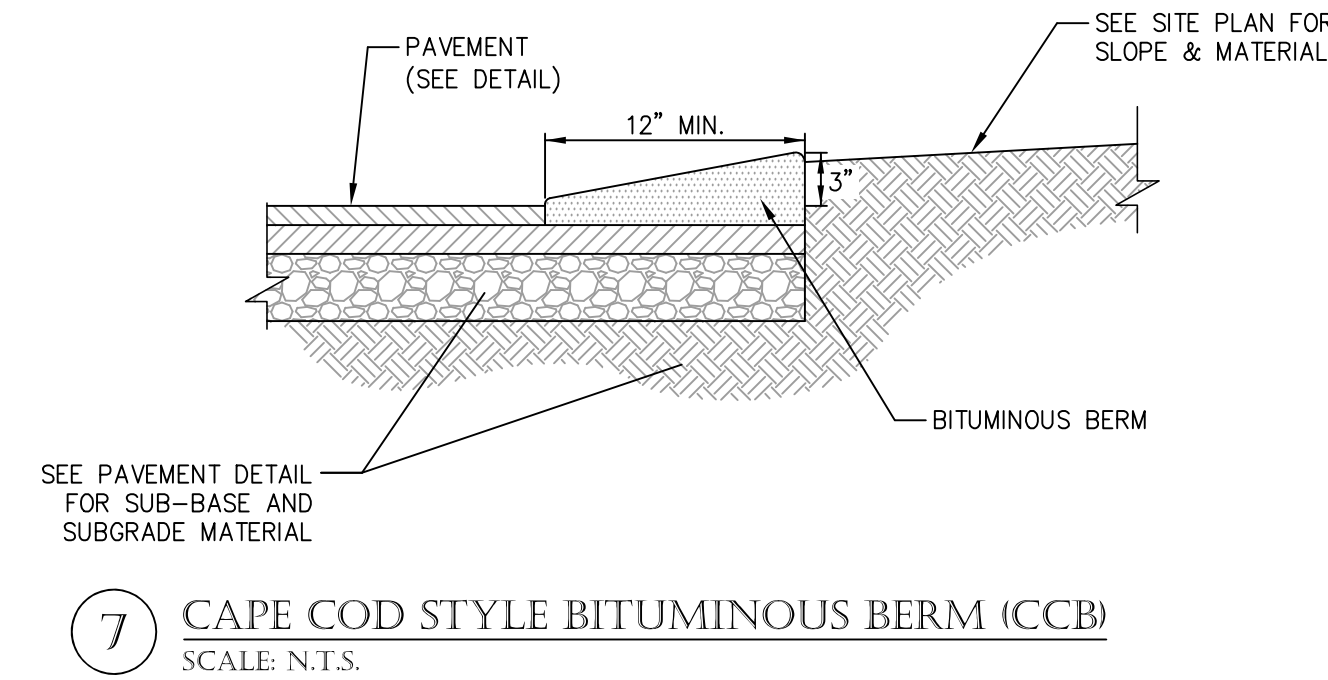


6 UNENCASED DUCT/CONDUIT
N.T.S.



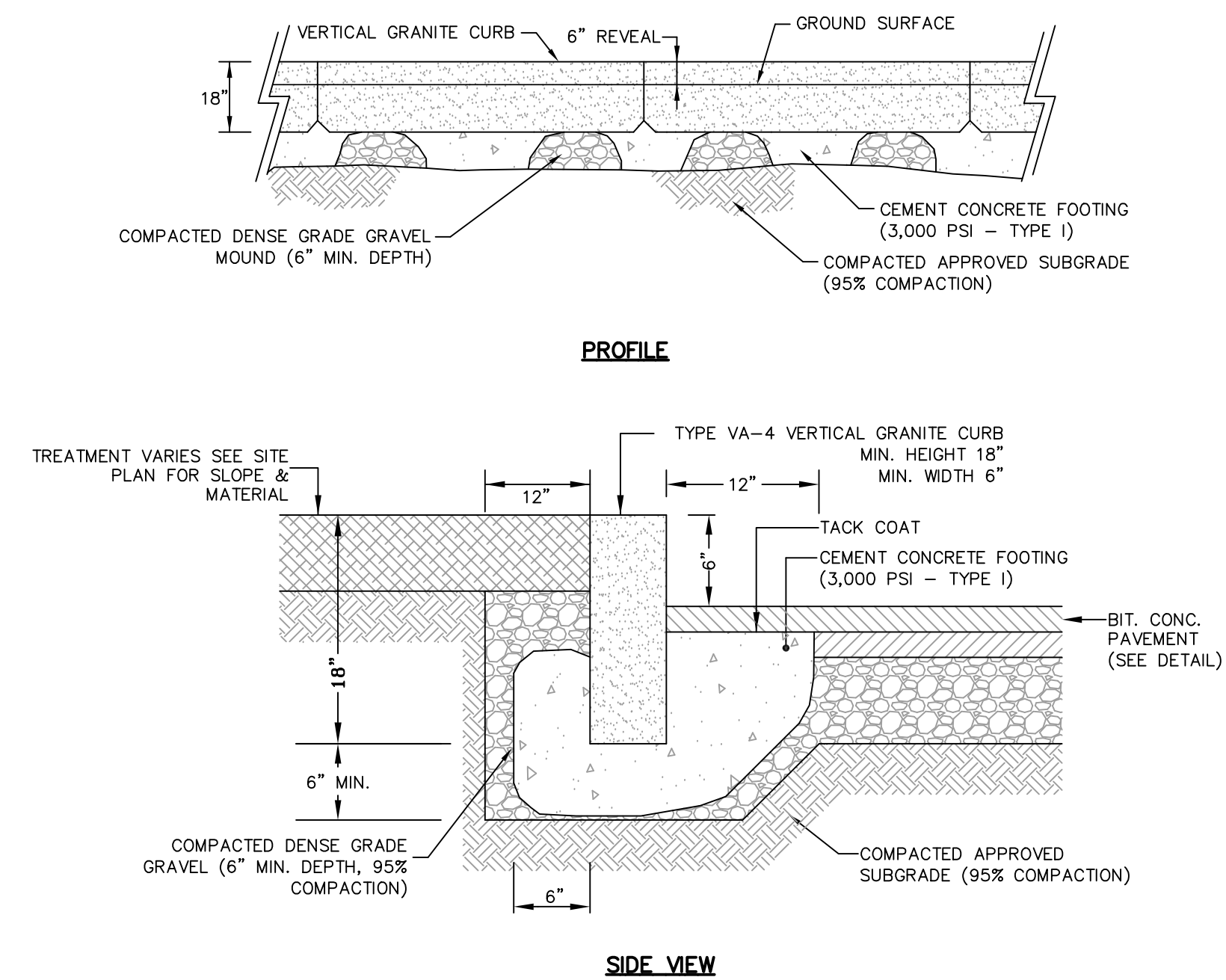
9 BOLLARD
N.T.S.

NOTES:
1. BERM CONSTRUCTED OF BIT. CONC. WEARING SURFACE COURSE AS SHOWN.
2. PROVIDE 1" CHAMFER OF EDGE ALONG BERM FACE.
3. BERM TO BE CONSTRUCTED INTEGRAL WITH TOP PAVEMENT COURSE.



7 CAPE COD STYLE BITUMINOUS BERM (CCB)
SCALE: N.T.S.

NOTES:
1. ALL PROPOSED CURBING WITHIN THE PROJECT SHALL BE VERTICAL GRANITE CURBING.
2. PROVIDED EXPANSION JOINTS AT 5'-0" O.C.
3. CURB REPLACEMENT IN EXISTING PAVEMENT - SAWCUT EDGE MIN. 12" FROM CURB.



10 VERTICAL GRANITE CURB (VGC)
N.T.S.

APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD
BEING A MAJORITY

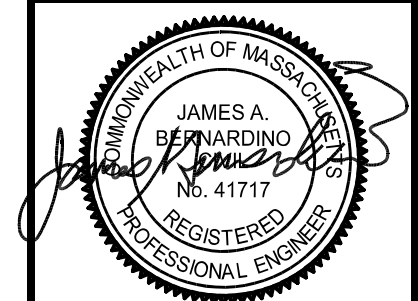
APPROVAL DATE: _____
ENDORSEMENT DATE: _____

PROJECT NAME
NORTHEAST GREAT DANE
#100 WORCESTER-PROVIDENCE TURNPIKE
SUTTON, MASSACHUSETTS
SUTTON MOTOR-IN TRUST
ONE MERCANTILE STREET, SUITE 540
WORCESTER, MA 01608

PREPARED FOR
Eastland Partners, Inc.
987 Millbury Street
Worcester, MA 01607

REVISIONS		DESCRIPTION
REV.	DATE	DESCRIPTION
1	1/29/24	REVISED SITE PLAN
2	2/29/24	PER REVIEW COMMENTS
PROJECT NO. TPE-1126		DESIGNED BY TRB, SJO
CHECKED BY JAB, BW		DATE DECEMBER 14, 2023
CAD FILE H:\GREAT DANE_SP.dwg		PLAN NO. L-412

SHEET TITLE
CONSTRUCTION DETAILS
SHEET 1 OF 5




SHEET NO.
C-7.1



APPROVAL DATE: _____
ENDORSEMENT DATE: _____



	SHEET NO.
	C-7.2

Eastland Partners, Inc.
997 Millbury Street
Worcester, MA 01607



FRONT VIEW

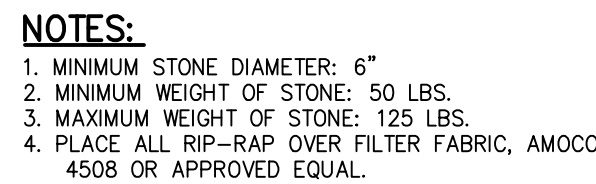
TOE TROUGH

RIGHT SIDE VIEW

TOP VIEW



Diagram illustrating a typical outfall rip-rap apron. The apron is shown as a trapezoidal shape with a top width of 5'-0" and a bottom width labeled "WIDTH". The apron is filled with a pattern of rip-rap stones.



ALTERNATE TOP SLAB SECTION
(STEEL REINFORCED FOR HS-20 LOADING)



ALTERNATE TOP SLAB SECTION
(STEEL REINFORCED FOR HS-20 LOADING)



8 PRECAST CONCRETE DOUBLE GRATE DEEP SUMP CATCH BASIN
N.T.S.

1. ALL TOP AND SUBSOIL SHALL BE REMOVED PRIOR TO CONSTRUCTION OF INFILTRATION BASIN.
2. INFILTRATION BASINS NOT TO BE USED FOR SEDIMENT BASINS DURING CONSTRUCTION.



1. EMBANKMENT TO BE CONSTRUCTED OF CLEAN FILL FREE OF ORGANIC SOILS/MATERIALS WITH NO STONES OVER 12" MAX. DIMENSION. EMBANKMENT TO BE CONSTRUCTED IN COMPACTED LIFTS NOT TO EXCEED 8".
2. BASIN BOTTOM AND SIDE SLOPES (INSIDE AND OUT) TO BE COVERED WITH 4" LOAM AND SEED.
3. RIP-RAP SPILLWAY STONE (M2.02.2).



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SUTTON PLANNING BOARD
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NOTE:
1. SEED ACCESS ROAD AND AREAS IDENTIFIED AS LOAM &
SEED WITH SEED MIX NOTED BELOW

<u>SEED</u>	<u>% BY WEIGHT</u>
CREEPING FESCUE IMPROVED VARIETIES	70
KENTUCKY BLUE GRASS IMPROVED VARIETIES	15
PERENNIAL RYE GRASS IMPROVED VARIETIES	15



1. MONITORING WELL TO BE MINIMUM 2IN DIAMETER PERFORATED SCH-40 PVC PIPE.
2. PIPE SHALL BE WRAPPED IN FILTER FABRIC IF INSTALLED IN OPEN HOLE.
3. END OF PIPE TO BE HAVE SCREW CAP AND BE RAISED 1 FOOT ABOVE THE SURROUNDING GROUND.



SHEET	TITLE
	CONSTRUCTION DETAILS
	SHEET 4 OF 5

C-7.4

H:_PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE _SP-R2.DWG



N.T.S.

1. ALL FITTINGS SHALL BE COMPRESSION TYPE.
2. ALL APPURTANANCES SHALL CONFORM TO TOWN SPECIFICATIONS.
3. MECHANICAL JOINTS TO BE MEGALUG, OR APPROVED EQUAL.



N.T.S.

1. HYDRANT SHALL MEET ALL TOWN AND AWWA STANDARDS AND BE UL/FM APPROVED AND EQUIPPED WITH (1) 4 1/2" PUMPER NOZZLE AND (2) 2 1/2" HOSE NOZZLES.
2. HYDRANT SHALL OPEN IN DIRECTION AS SPECIFIED BY THE LOCAL FIRE DEPARTMENT.
3. WHERE HYDRANT IS SHOWN BEHIND SIDEWALK, SET CENTER OF HYDRANT 1- FEET BEHIND SIDEWALK.

P.O. Box 757 • Sutton, MA 01590
P:(508) 381-1515 F:(508) 647-0189
www.tpecivildesign.com

APPROVAL DATE: _____
ENDORSEMENT DATE: _____

PREPARED FOR

Eastland

DESIGNED BY	TRB, SJO
-------------	----------

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DATE

PLAN NO.

100

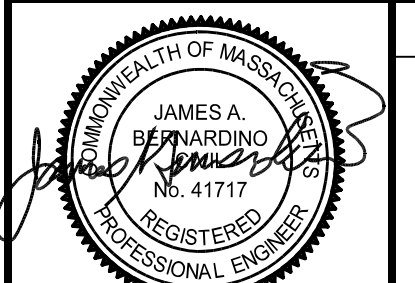
SHEET TITLE

CONSTRUCTION DETAILS

SHEET 5 OF 5

SHEET NO.

C-7.5



N.T.S.



N.T.S.



CIVIL SITE DESIGN

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APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____
ENDORSEMENT DATE: _____

PROJECT NAME
NORTHEAST GREAT DANE
100 WORCESTER-PROVIDENCE TURNPIKE
SUTTON, MASSACHUSETTS
SUTTON MOTOR-IN TRUST
ONE MERCANTILE STREET, SUITE 540
WORCESTER, MA 01608

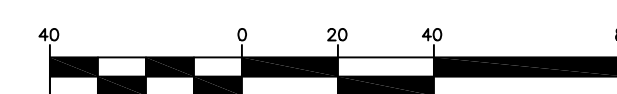
PREPARED FOR

Eastland Partners, Inc.
997 Millbury Street
Worcester, MA 01607

Eastland

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/29/24	REVISED SITE PLAN
2	2/29/24	PER REVIEW COMMENTS
PROJECT NO. IP1-1126		
DESIGNED BY TRB, SJO		
CHECKED BY JAB, BW		
DATE DECEMBER 14, 2023		
CAD FILE H:\GREAT DANE_SP.dwg		
PLAN NO. L-412		

GRAPHIC SCALE



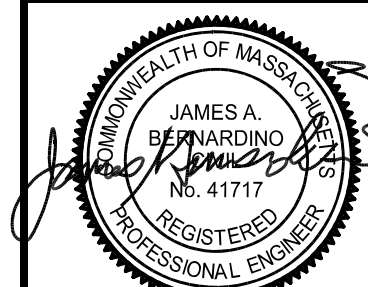
(IN FEET)
1 inch = 40 feet

SHEET TITLE

SITE LIGHTING
PHOTOMETRIC PLAN

SHEET NO.

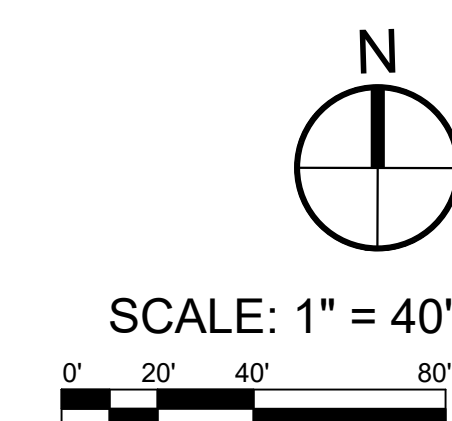
C-9.1

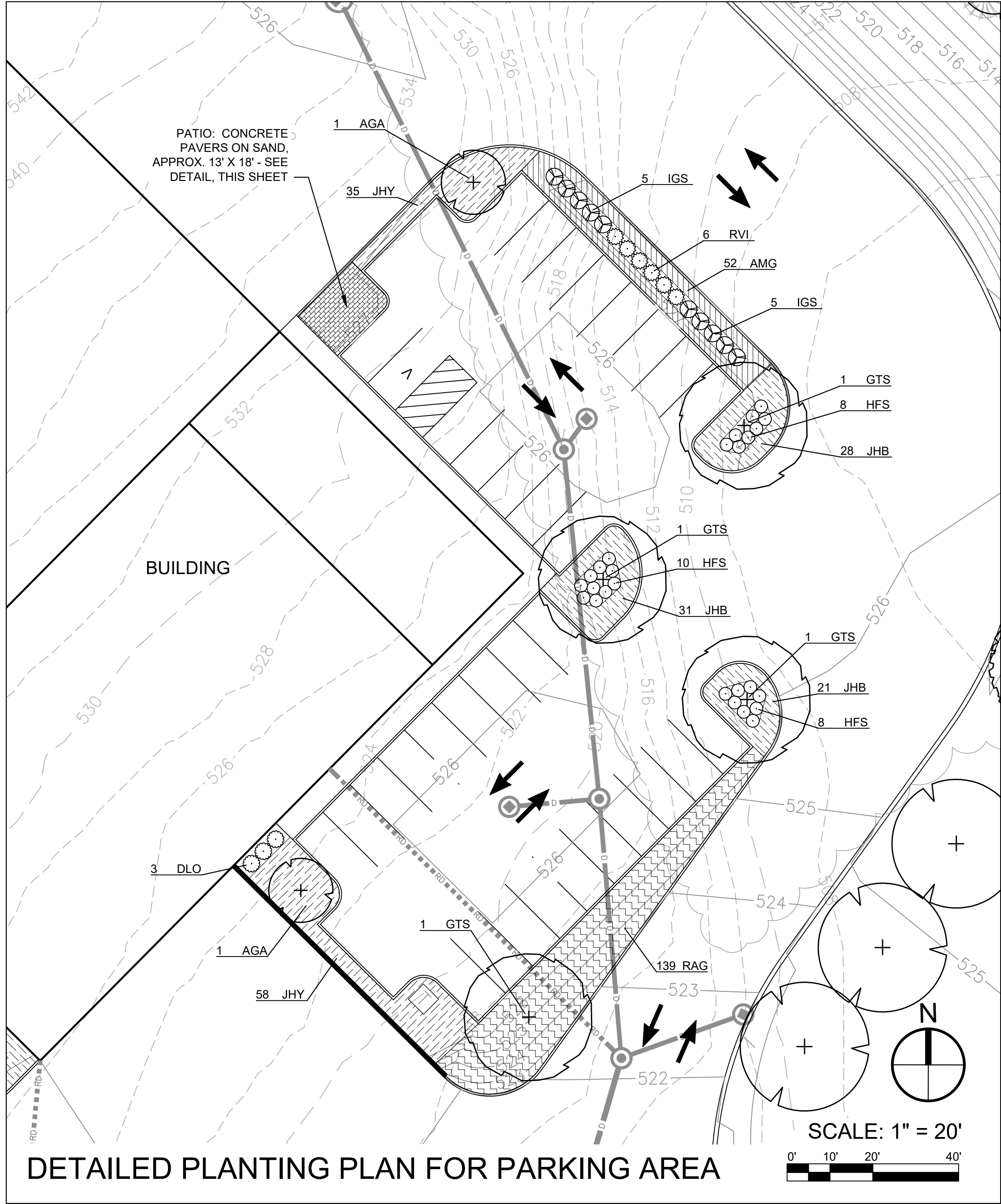


LUMINAIRE SCHEDULE				
QTY	LABEL	ARRANGEMENT	DESCRIPTION	TAG
3	P3	SINGLE	COOPER: GALN-SA2A-740-U-SL3-CXX	MOUNTED ON 20' VALMONT POLE: D5330-4000200-D1-FP-COOPER CXX-FBC-A
5	PA4	SINGLE	COOPER: GALN-SA2B-740-U-T4FY-CXX	MOUNTED ON 25' VALMONT POLE: D5330-4000250-D1-FP-COOPER CXX-FBC-A
3	P4B	SINGLE	COOPER: GALN-SA2C-740-U-T4FY-CXX	MOUNTED ON 20' VALMONT POLE: D5330-4000200-D1-FP-COOPER CXX-FBC-A
3	W4	SINGLE	COOPER: GALN-SA2B-740-U-T4W-CXX	MOUNTED ON 20' VALMONT POLE: D5330-4000200-D1-FP-COOPER CXX-FBC-A
3	WT	SINGLE	MULE MESU-LED-A24-CXX	WALL MTD 10' AFG OVER MAN DOORS
2	W2	SINGLE	COOPER: GWS-SA2B-740-U-SL2-CXX	WALL MTD 20' AFG
9	W4	SINGLE	COOPER: GWS-SA2B-740-U-T4FY-CXX	WALL MTD 20' AFG

I:_PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE _SP-R2.DWG

H:_PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE _SP-R2.DWG

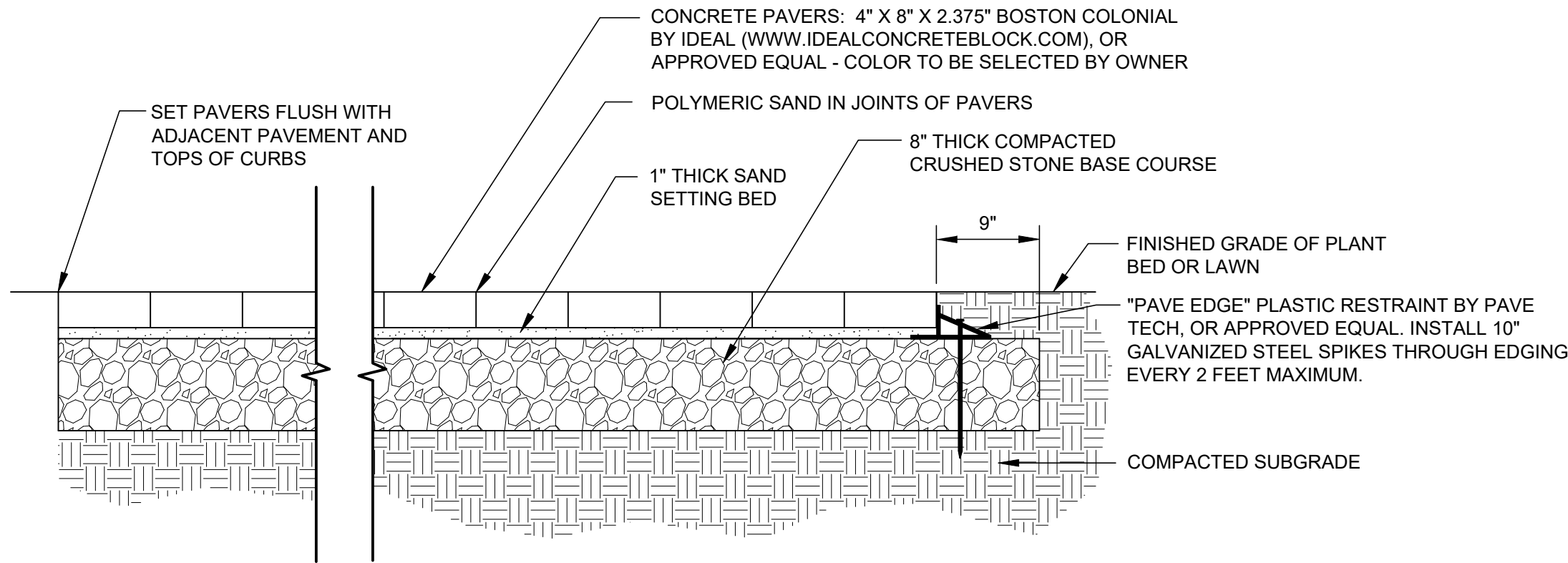




PLANT SCHEDULE					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE AT PLANTING	PLANT SPACING & NOTES
LARGE SHADE TREES					
ARF	9	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG RTE. 146 AND 30" ON CENTER ELSEWHERE
GTS	4	GLEDITZIA TRIACANTHOS F. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2" CAL., 6' HT.	B&B, PLANT WHERE SHOWN
LTE	6	LIRODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP POPLAR	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG ENTRANCE DRIVE AND 30' ON CENTER ELSEWHERE
QBI	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER EXCEPT WHERE SHOWN FURTHER APART
QCO	8	QUERCUS COCCINEA	SCARLET OAK	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG ENTRANCE DRIVE, AND 30' ON CENTER ELSEWHERE EXCEPT WHERE SHOWN FURTHER APART
TAR	3	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN BASSWOOD	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER
UAV	8	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER
LARGE EVERGREEN TREES & SHRUBS FOR SCREENING					
JVI	16	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HEIGHT	PLANT 10' ON CENTER
PPU	4	PICEA GLAUCA	BLUE SPRUCE	8' HEIGHT	PLANT 15' ON CENTER
PSF	9	PINUS STROBUS 'FASTIGIATA'	UPRIGHT WHITE PINE	6' HEIGHT	PLANT 10' ON CENTER
SMALL ORNAMENTAL TREES					
AGA	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	B&B, PLANT WHERE SHOWN
HVR	3	HAMAMELIS VIRGINIANA	AMERICAN WITCHHAZEL	6' HEIGHT	B&B, PLANT 15' ON CENTER
SHRUBS					
DLO	3	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	# 3 POT	PLANT 4' ON CENTER
HFS	26	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	# 3 POT	PLANT 3' ON CENTER; IF UNAVAILABLE, THIS MAY BE SUBSTITUTED WITH HYPERICUM KALMIANUM 'DEPPE' (SUNNY BOULEVARD ST. JOHN'S WORT)
IGS	10	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	# 3 POT	PLANT 4' ON CENTER
RVI	6	ROSA VIRGINIANA	VIRGINIA ROSE	# 3 POT	PLANT 4' ON CENTER
GROUNDCOVERS					
AMG	52	ARONIA MELANOCARPA 'GROUND HUG'	GROUND HUG CHOKEBERRY	# 3 POT	PLANT 3' ON CENTER
JHB	187	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	# 3 POT	PLANT 3' ON CENTER
JHY	93	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	# 3 POT	PLANT 3' ON CENTER
RAG	139	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	# 3 POT	PLANT 3' ON CENTER

NOTE: PLANT SPECIES, CULTIVARS, SIZES, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. ** THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS. TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ** THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.

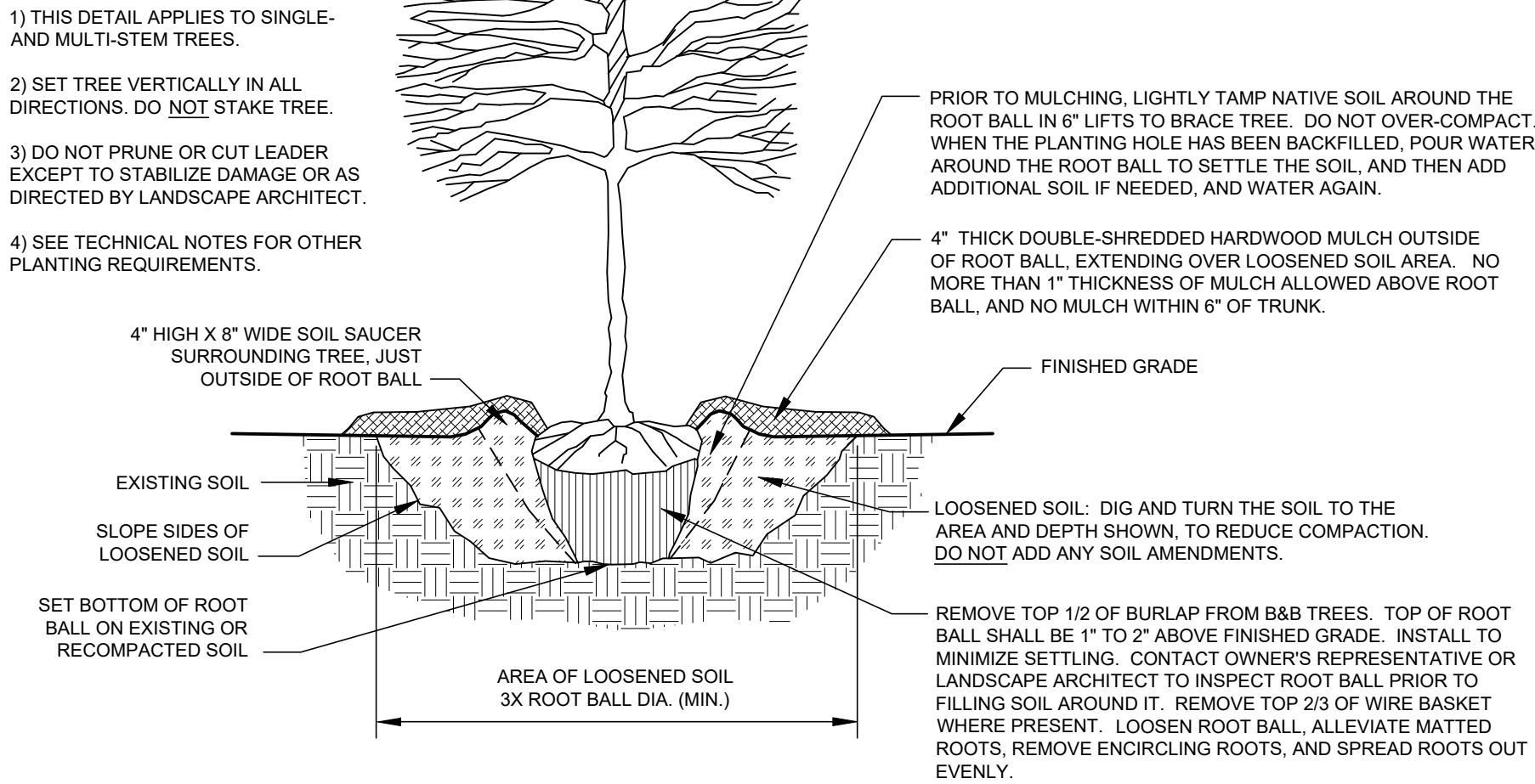
** EXCEPT AS NOTED UNDER "PLANT SPACING & NOTES" IN THE PLANT SCHEDULE, BUT THOSE SUBSTITUTIONS MAY ONLY BE USED IF THE SPECIFIED PLANT IS NOT AVAILABLE AT ANY WHOLESALE NURSERIES IN THE REGION, AS NOTED ABOVE.



CONCRETE PAVER SURFACING

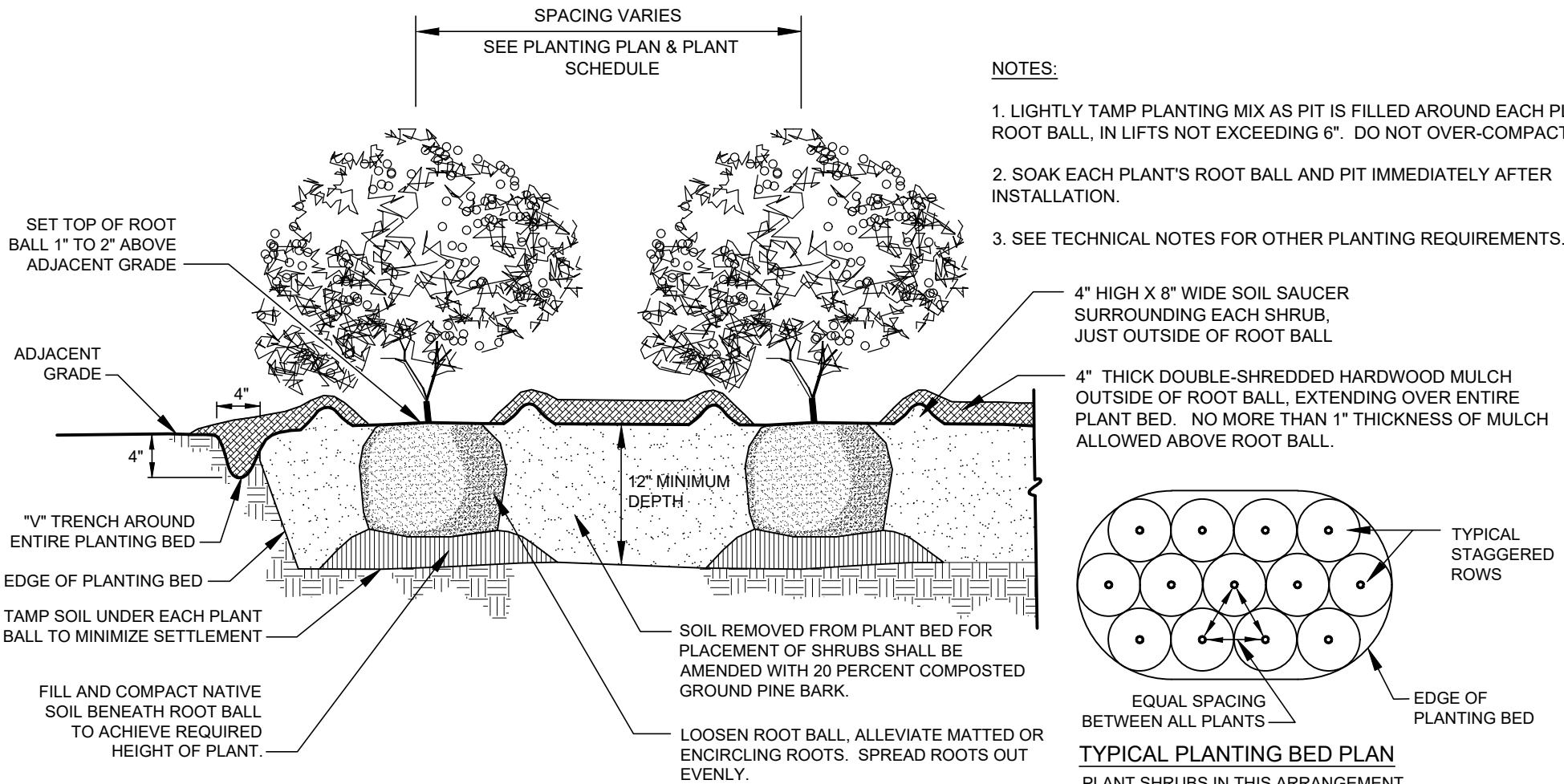
NOT TO SCALE

TREE PLANTING NOTES:



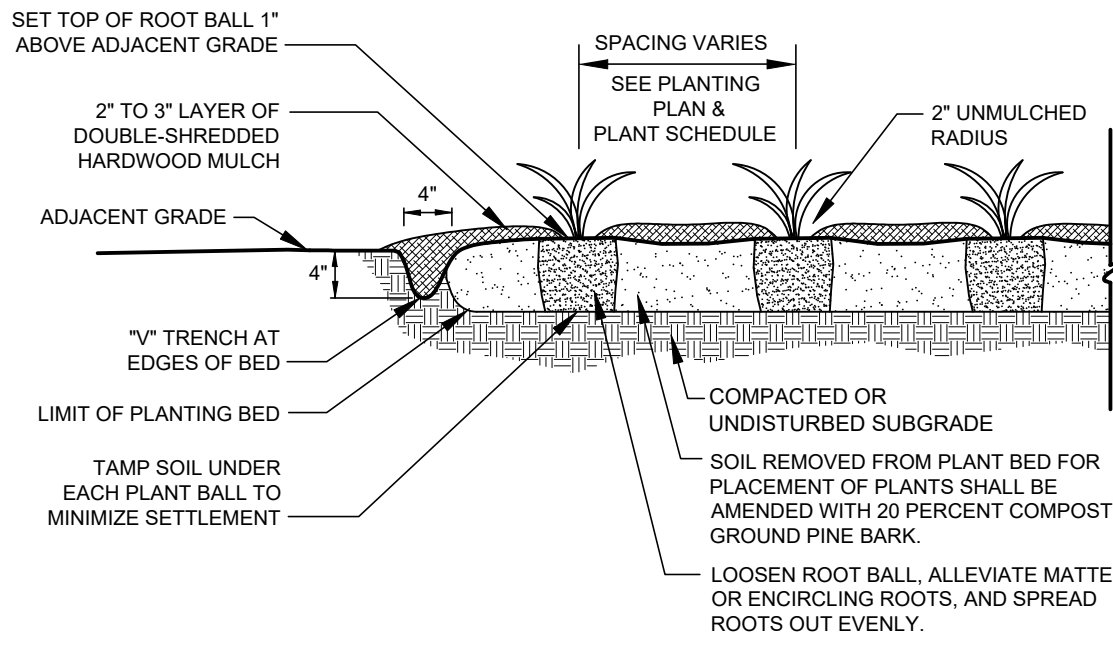
TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

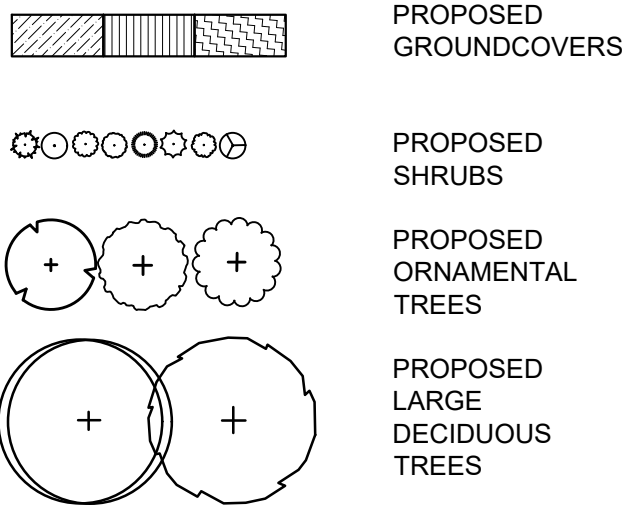
NOT TO SCALE



GROUNDCOVER & PERENNIAL PLANTING

NOT TO SCALE

LEGEND: NOTE: NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)



NOTES:
1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
3) SEE SHEET L-1.0 FOR PLANTING PLAN FOR THE REST OF THE SITE.
4) SEE SHEET L-3.0 FOR TECHNICAL NOTES.
5) DO NOT USE STAKES AND TIES FOR THE NEW TREES.
6) ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE 6\"/>

APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD
BEING A MAJORITY

APPROVAL DATE: _____
ENDORSEMENT DATE: _____

PROJECT NAME

NORTHEAST GREAT DANE

#100 WORCESTER-PROVIDENCE TURNPIKE

SUTTON, MASSACHUSETTS

SUTTON MOTOR-IN TRUST

ONE MERCANTILE STREET, SUITE 540

WORCESTER, MA 01608

PREPARED FOR

Eastland Partners, Inc.

987 Milbury Street

Worcester, MA 01607

REV.	DATE	DESCRIPTION	REVISIONS
1	1/29/24	NO REVISIONS THIS SHEET	
2	2/29/24	PLANTING REV & PATIO ADDITION	
PROJECT NO. TPE-1126			
DESIGNED BY AWW			
CHECKED BY AWW			
DATE DECEMBER 1, 2023			
CAD FILE H:\GREAT DANE_SP.dwg			
PLAN NO. L-			

MASSACHUSETTS

REGISTERED LANDSCAPE ARCHITECT

NO. 1404

L.A.

SHEET TITLE

LANDSCAPE SCHEDULE & DETAILS

DRAWING ISSUED FOR: ■ PERMIT

SHEET NO. L-2.0

THIS PLAN IS INTENDED TO SHOW CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

