

Robert S. Largess Jr., Chair
Scott Paul, Vice Chair
Walter A. Baker
Michael Gagan
William Talcott
Erica McCallum, Associate

Jennifer S. Hager,
Community Development Director



Sutton Town Hall
4 Uxbridge Road
Sutton, Massachusetts 01590
(508) 865-8729
www.suttonma.org

TOWN OF SUTTON

PLANNING BOARD & DEPARTMENT

MEMORANDUM

TO: Planning Board

FROM: Jen Hager,
Community Development Director

DATE: January 15, 2024

RE: 100 Worcester Providence Turnpike - Great Dane Trailer Repair

I have reviewed the Site Plans and submittal materials for this project in accordance with Section IV.C.- Site Plan Review, V.B. – Groundwater Protection District, and V.D. - Route 146 Overlay District Bylaw of the Zoning Bylaws and have the following comments:

General

- Why is there a monitoring well shown on the detail sheets and where is it located?
- Please provide sight line rendering from closest residential abutter. There are at least seven homes closer than the one utilized, labeled #98 Sibley (actually #80 Burbank), which is over 1,800' away from the site.

Traffic

Please provide a plan showing the required sight distance and sight triangle for the entrance/exit for this facility on Route 146. Any action by the Board should be conditioned on the approval of MassDOT.

Stormwater Calculations

Storm water calculations show the use of three Hydroworks stormwater structures. Please provide required maintenance requirements which should be specifically referenced as part of the Board's approval.

IV.C. - Site Plan Review

- 4.d. Are there any structures within 100' of the site?
- 4.e. Please show exterior entrances to the building on the site plan.

- 4.f. Is there an exterior dumpster? What is the metal trash rack shown in the detail sheets and where will it be located?
- 4.g. Please provide more detail including intensity, color and cut sheet/brochure for proposed lighting. Also provide photometric plan to understand any potential effects on abutters and drivers on Route 146
- 4.h. Will there be any signage?
- 4.k. All earth removal/disturbance must obtain a permit. In this case, as the site is going through a site plan approval and special permit process, it qualifies to apply for a Class 2 abbreviated permit (application attached) which does not require a public hearing but will require applicant to provide the information required by the Earth Disturbance and Removal bylaw.
- 4.l. One of the goals of site plan review is if at all possible to retain any existing trees and forest cover particularly in the front yard setback which per its definition is to remain in its natural state or be improved. Please address why it appears you are removing existing trees and forest cover in the front setback, as opposed to shifting site work West into a portion of the site that is already largely deforested. It does not appear you are buffering a residential use, as the nearest residential structure at 34 Sibley Road is one lot removed and almost 900 feet away. Additionally, although there is a vacant residential property in closer proximity, due to a stream, forested wetlands, and an historic New England restriction on this property, it is very unlikely that any residential or other structures or uses will be able to be placed in proximity to this business lot.
- 4.m. Zoning district boundaries must be added to the locus plan
- 4.n. Traffic flow patterns within the site need to be shown.
- 4.p. Provide photographs of the brick colored metal panel in use as it can appear in real life drastically different than shown on a rendering. Provide specific architectural block type and color for proposed building stone face.
- 4.s. Provide a list of waivers with their justification.

IV.B. – Parking and Loading Space Regulations

General – Although the parking shown is in compliance with the parking regulations, it appears excessive for the use as described. Is it possible to reduce the amount of parking and therefore the amount of pavement/impervious area and site disturbance?

4.e. – Maximum driveway width is 30 feet.

5.c. – 5% of the interior parking lot must be landscaped, show calculation in accordance with adjusted bylaw provision.

V.B – Groundwater Protection Overlay District

General – It is my understanding you have only applied for a groundwater protection district permit as a public water supply well head related to the prior drive-in use exists on the site. Although a public water supply well head will likely not be required for the new use, please provide detail on any hazardous substances that are anticipated to be utilized on the site.

6.c.6. – See the stormwater calculations section above.

V.D. - Route 146 Overlay District Bylaw

Waiver Requests: Please provide section reference, waiver requested with reasoning for waiver requests along with any mitigation

4.a.3. Work is proposed on slopes over 15%.

- 4.a.4. See comment to 4.l. above. A goal of the Route 146 Overlay District is also to preserve natural features of the site including existing vegetation.
- 4.b.1. Required open space to be maintained must be clearly indicated on the plan set.
- 4.c.1.d. A gathering place and/or location of visual interest must be provided. For a non-commercial use this is usually accomplished through an outdoor employee seating/lunch area.
- 4.c.1.f. HVAC Structures are not shown on the site plan. Their location is particularly important if they might end up on the roof where they will have to be screened.
- 4.c.2.d. Features that support transit should be included.
- 4.c.2.e. Traffic flow patterns need to be shown on the site plan .
- 4.c.3.d. More than 25% of the parking is in front of the building.
- 4.c.3.e. 5% of the interior parking lot must be landscaped, show calculation in accordance with adjusted bylaw provision.
- 4.c.3.f. Sidewalks should be block or block like material. Label the area on the site plan and the show the specific block type and color in the detail sheets.
- 4.c.3.g. Carpool spaces are required.
- 4.c.5. Provide a photometric plan and more lighting detail including intensity, color and cut sheet/brochure for proposed lighting.
- 4.c.6. Is any signage proposed?
- 4.c.10. Provide photographs of the brick colored metal panel in use as it can appear drastically different than shown on a drawing. Provide specific architectural block type and color for proposed building stone facing.

NOTE: Sections not mentioned may not be applicable to this particular single structure and use, industrial site.



Town of Sutton, MA

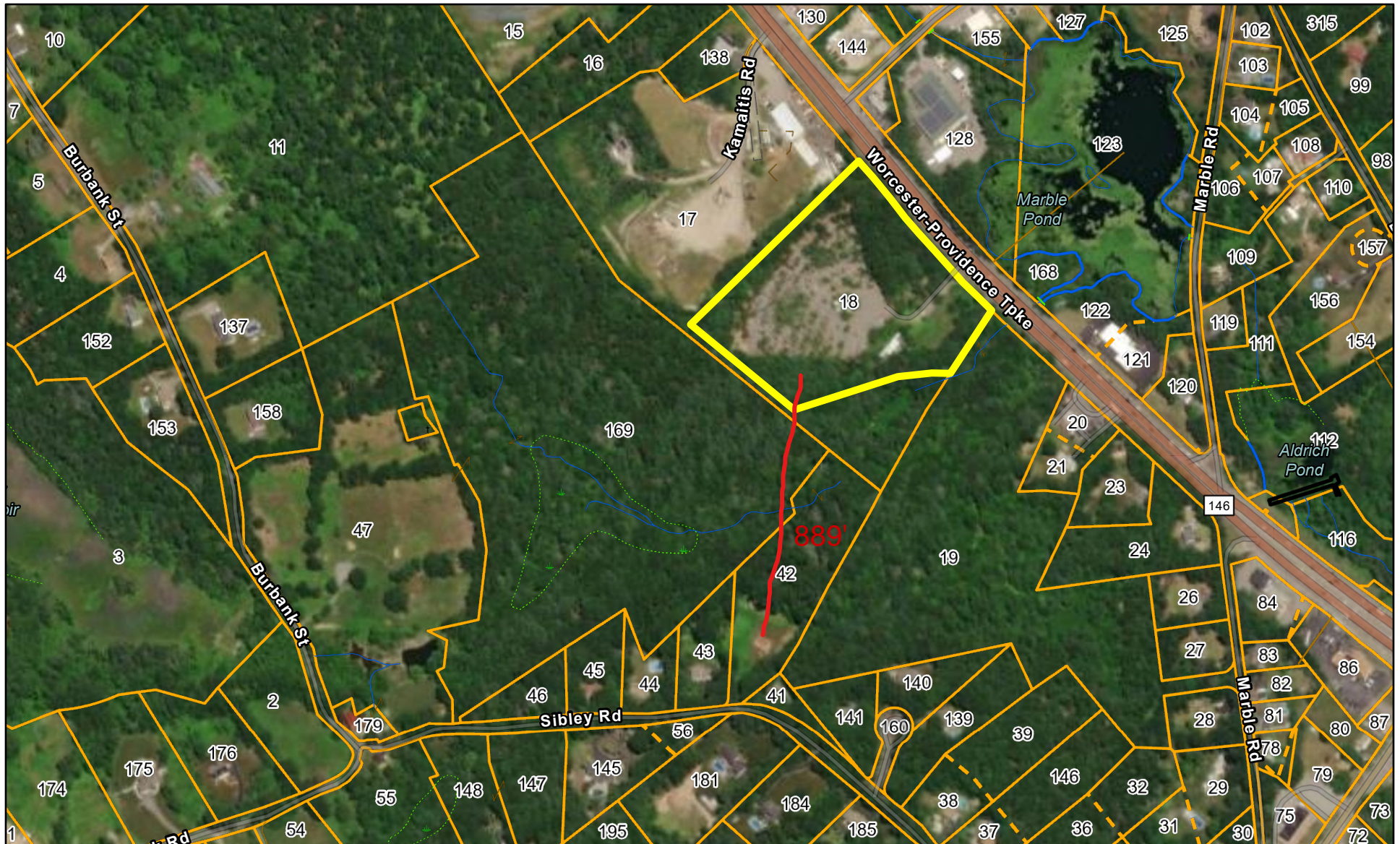
1 inch = 450 Feet



January 15, 2024

www.cai-tech.com

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SUTTON PLANNING BOARD

Class 2 or 3 - Earth Disturbance and/or Removal Application – Abbreviated

1. Location of proposed excavation:
2. Property Owner Address/phone & email:
3. Applicant Address/phone & email:
4. Engineer and/or Surveyor Address/phone & email:
5. Do potable water wells exist on this parcel: Yes____ No____
If wells exist on the site their location must be shown along with any wellhead protection areas.
6. Hours of disturbance/removal operations:
7. Amount of cut _____ Amount of fill _____ Groundwater Elevation _____
Is any earth being removed from the site: Yes____ No____
If yes:
Volume being removed _____
Estimated # of truck trips _____
Receiving location _____
Travel Route _____

I certify that all the required information is provided with this application, and I have reviewed the application for completeness, and I understand that if any information is missing, my application will be rejected in whole or in part and that I will be required to resubmit the application or portion thereof that is missing along with another nonrefundable application fee.

Applicant's Signature _____

Date: _____

Owner's Signature _____

Date: _____

*Submit with site plan showing at a minimum lot lines, 2' topography, entrance/exit, cut and fill areas with volumes in two different colors or patterns, ground water elevation, wetlands and/or other water resources.