

# SITE DEVELOPMENT PLAN FOR NORTHEAST GREAT DANE

## 100 WORCESTER-PROVIDENCE TURNPIKE SUTTON, MASSACHUSETTS

**APPLICANT:**

**EASTLAND PARTNERS, INC.**  
997 MILLBURY STREET, WORCESTER, MA 01607  
P: 508-647-1919

**OWNER:**

**SUTTON MOTOR-IN TRUST**  
ONE MERCANTILE STREET, SUITE 540, WORCESTER, MA 01608

**CIVIL ENGINEERING & LAND SURVEYING:**

**TURNING POINT ENGINEERING**  
P.O. BOX 757, SUTTON, MA 01590  
P: 508-381-1515

**TRAFFIC:**

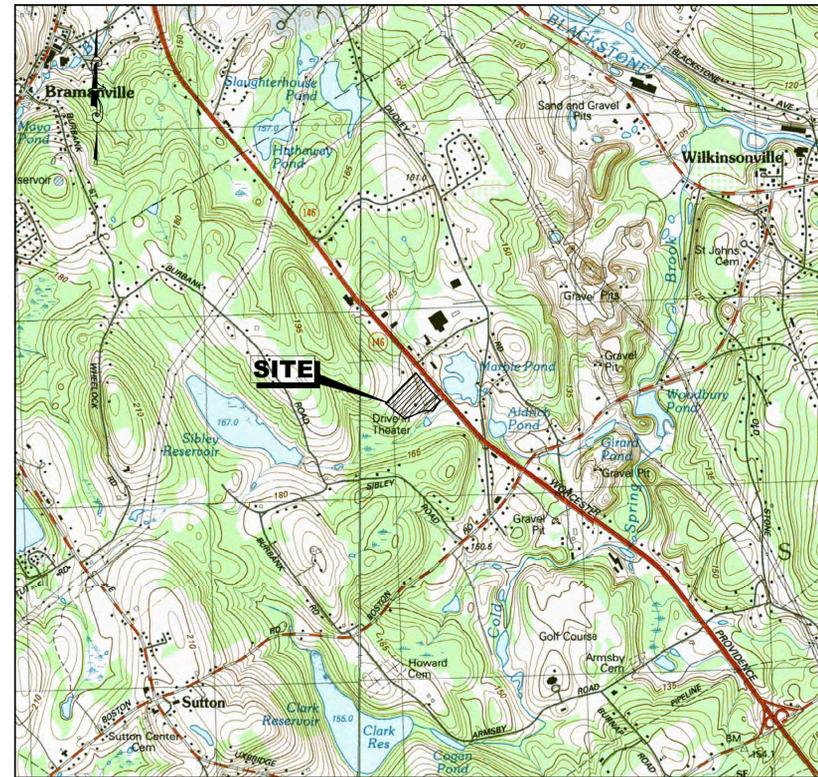
**GREENMAN-PEDERSEN, INC.**  
181 BALLARDVILLE STREET, SUITE 202 WILMINGTON, MA 01887  
P: 978-570-2999

**WETLANDS CONSULTANT:**

**B&C ASSOCIATES, INC.**  
2 RICE STREET, HUDSON, MA 01749  
P: 978-568-0135

**LANDSCAPE ARCHITECT:**

**EARTHDESIGN LANDSCAPE  
ARCHITECTURE LLC**  
280 BEVERLY ROAD, WORCESTER, MA 01605  
P: 508-852-2644



U.S.G.S MAP  
SCALE: 1" = 1,500'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0
GENERAL NOTES, ABBREVIATIONS & LEGEND	C-1.1
LOCATION PLAN	C-1.2
EXISTING CONDITIONS & DEMOLITION PLAN	C-2.1
LAYOUT & MATERIALS PLAN	C-3.1
UTILITY PLAN	C-4.1
GRADING & DRAINAGE PLAN	C-5.1
EROSION CONTROL PLAN, NOTES & DETAILS	C-6.1 - C-6.3
CONSTRUCTION DETAILS	C-7.1 - C-7.5
LANDSCAPE PLAN	L-1.0
LANDSCAPE SCHEDULE & DETAILS	L-2.0
LANDSCAPE NOTES	L-3.0
BUILDING PLANS	--

DRAWING LIST

<b>OWNER OF RECORD:</b> SUTTON MOTOR-IN TRUST ONE MERCANTILE STREET, SUITE 540 WORCESTER, MA 01608	<b>SUTTON ASSESSORS INFORMATION:</b> MAP 10, PARCEL 18 9.4± ACRES
<b>DEED REFERENCE:</b> BK. 9774, PG. 388	<b>SUTTON ZONING INFORMATION:</b> ROUTE 146 OVERLAY DISTRICT UNDERLYING ZONE: BUSINESS-HIGHWAY (B-2) MINIMUM AREA: 40,000 S.F. MINIMUM LOT WIDTH & FRONTAGE: 200' SETBACKS: FRONT 50', SIDE 20', REAR 40' OPENSOURCE: 35% (MIN.)
<b>PLAN REFERENCES:</b> P.B. 138, PL. 52 P.B. 509, PL. 84 1936 STATE HIGHWAY LAYOUT	

PROPERTY INFORMATION

**TURNING POINT ENGINEERING**  
CIVIL SITE DESIGN  
P.O. Box 757 • Sutton, MA 01590  
P:(508)381-1515 F:(508)647-0189  
www.tpecivildesign.com

APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD  
BEING A MAJORITY

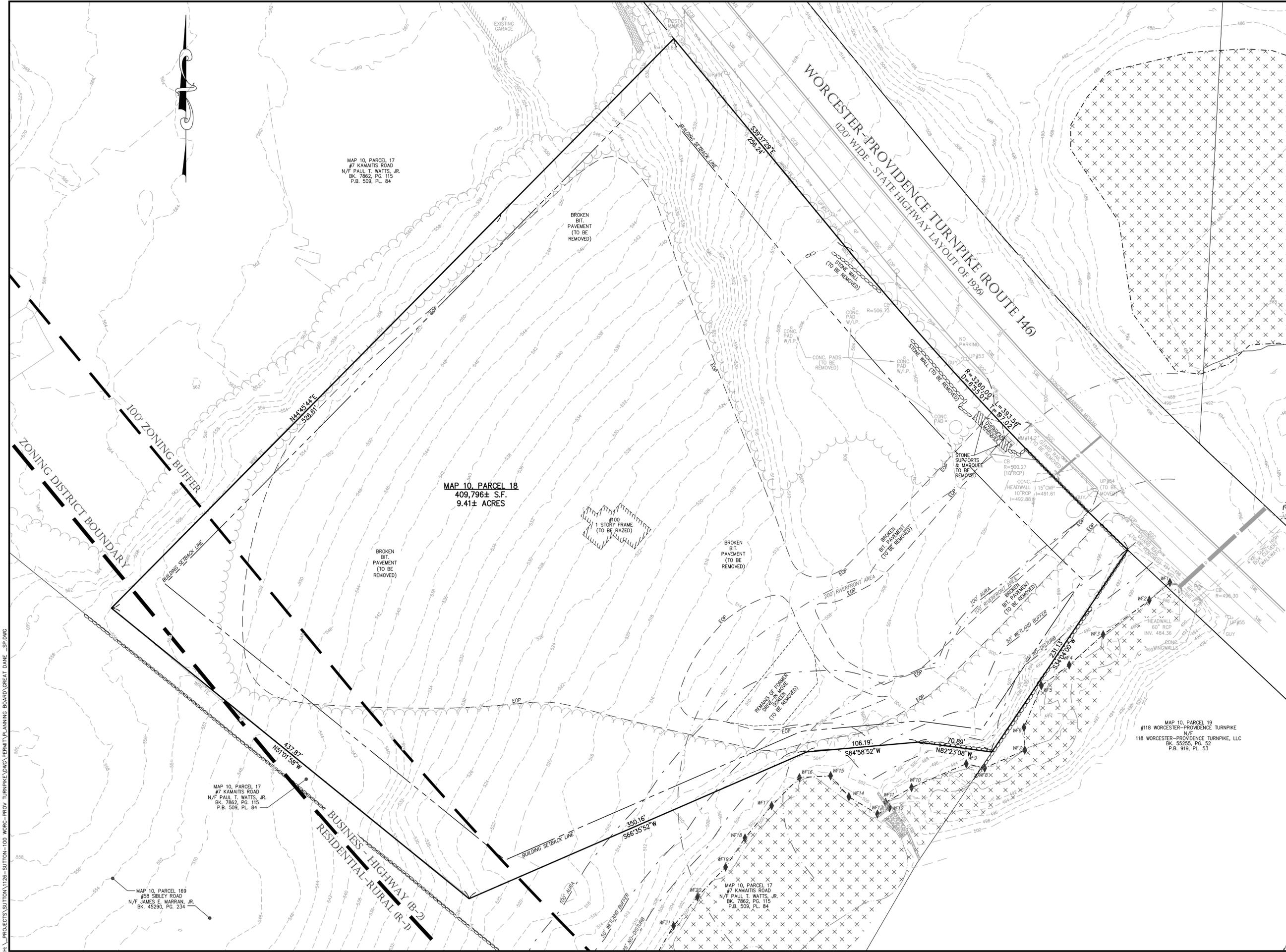
APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

PROJECT NAME	<b>NORTHEAST GREAT DANE</b>	
	<b>#100 WORCESTER-PROVIDENCE TURNPIKE</b>	
PREPARED FOR	<b>SUTTON MOTOR-IN TRUST</b>	
	ONE MERCANTILE STREET, SUITE 540 WORCESTER, MA 01608	
DESIGNED BY	TRB, SJO	
	IRMM, BW	
CHECKED BY	DATE	
	DECEMBER 14, 2023	
DATE	CAD FILE	
	H:\GREAT DANE.SP.dwg	
PLAN NO.	L-412	
REVISIONS	DESCRIPTION	
	REV. DATE	
SHEET TITLE		
COVER SHEET		
DRAWING ISSUED FOR:		SHEET NO.
■ PERMIT		C-0.0
<small>THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT BE USED FOR ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.</small>		

H:\PROJECTS\SUTTON\1126-SUTTON-100-WORC-PROV-TURNPIKE.DWG\PERMIT\PLANNING BOARD\GREAT DANE.SP.DWG







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SUTTON PLANNING BOARD

BEING A MAJORITY

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APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

**PROJECT NAME**

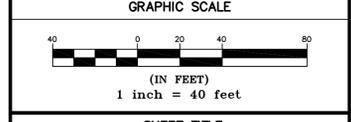
**NORTHEAST GREAT DANE**  
**#100 WORCESTER-PROVIDENCE TURNPIKE**  
**SUTTON, MASSACHUSETTS**  
**SUTTON MOTOR-IN TRUST**  
**ONE MERCANTILE STREET, SUITE 540**  
**WORCESTER, MA 01608**

PREPARED FOR  
**Eastland Partners, Inc.**  
997 Millbury Street  
Worcester, MA 01607

REV.	DATE	DESCRIPTION

PROJECT NO.	TPE-1126
DESIGNED BY	TRB, SJO
CHECKED BY	IRM, BW
DATE	DECEMBER 14, 2023
CAD FILE	H:\GREAT DANE_SP.dwg
PLAN NO.	L-412



**SHEET TITLE**

EXISTING  
CONDITIONS  
& DEMOLITION PLAN

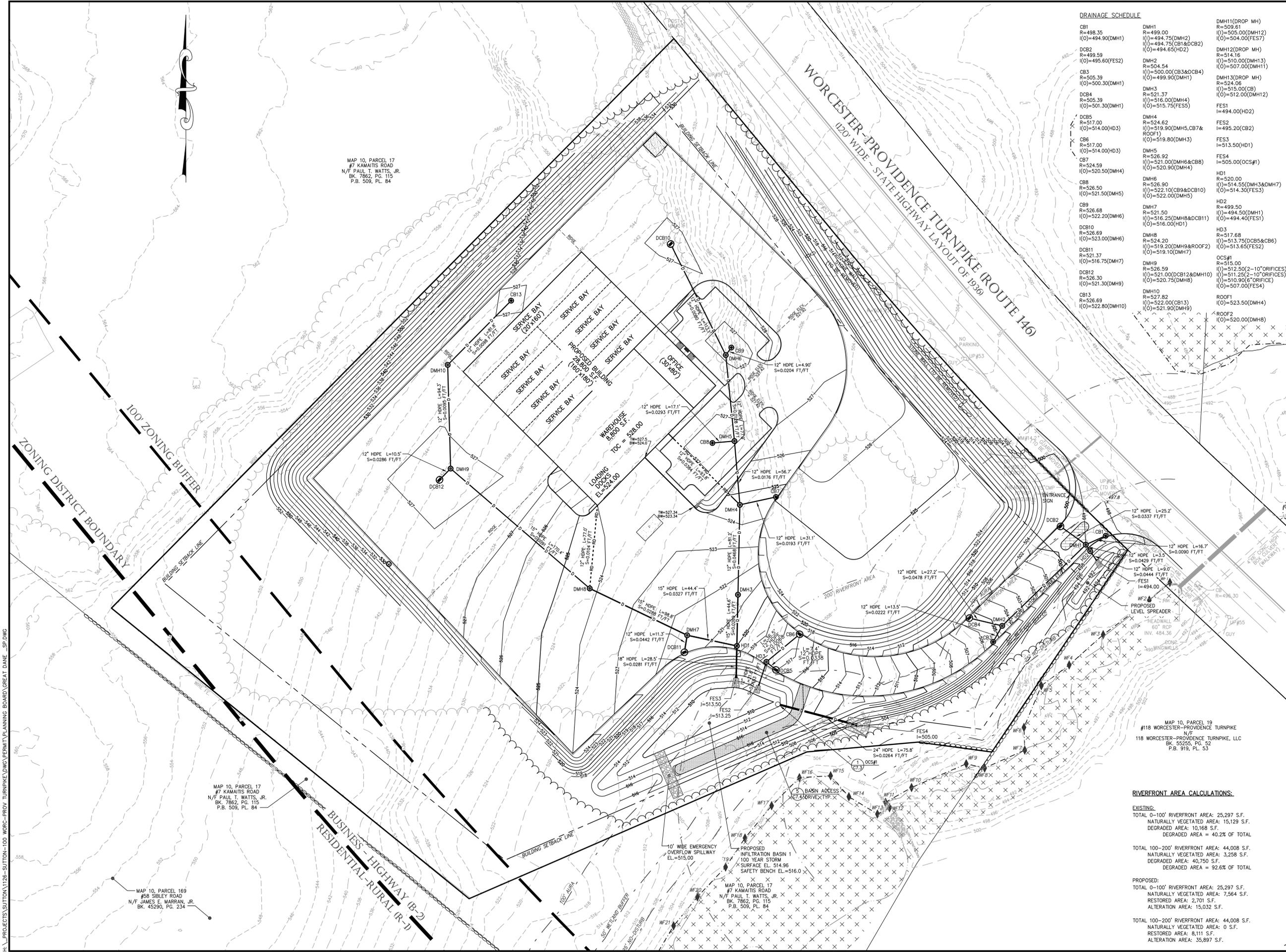
SHEET NO.

**C-2.1**









**DRAINAGE SCHEDULE**

CB1 R=498.35 (O)=494.90(DMH1)	DMH1 R=499.00 (I)=494.75(DMH2) (O)=494.75(CB1&DCB2) (C)=494.65(HD2)	DMH11(DROP MH) R=509.61 (I)=505.00(DMH12) (O)=504.00(FES7)
DCB2 R=499.59 (O)=495.60(FES2)	DMH2 R=504.54 (I)=500.00(CB3&DCB4) (C)=499.90(DMH1)	DMH12(DROP MH) R=514.16 (I)=510.00(DMH13) (O)=507.00(DMH11)
CB3 R=505.39 (O)=500.30(DMH1)	DMH3 R=521.37 (I)=516.00(DMH4) (O)=515.75(FES5)	DMH13(DROP MH) R=524.08 (I)=515.00(CB) (O)=512.00(DMH12)
DCB4 R=505.39 (O)=501.30(DMH1)	DMH4 R=524.62 (I)=519.90(DMH5, CB7 & ROOF1) (O)=519.80(DMH3)	FES1 I=494.00(HD2)
DCB5 R=517.00 (O)=514.00(HD3)	DMH5 R=526.92 (I)=521.00(DMH6&CB8) (O)=520.90(DMH4)	FES2 I=495.20(CB2)
CB6 R=517.00 (O)=514.00(HD3)	DMH6 R=526.90 (I)=522.10(CB9&DCB10) (O)=522.00(DMH5)	FES3 I=513.50(HD1)
CB7 R=524.59 (O)=520.50(DMH4)	DMH7 R=521.50 (I)=516.25(DMH8&DCB11) (O)=516.00(HD1)	FES4 I=505.00(OC#1)
CB8 R=526.50 (O)=521.50(DMH5)	DMH8 R=524.20 (I)=519.20(DMH9&ROOF2) (O)=519.10(DMH7)	HD1 R=520.00 (I)=514.55(DMH3&DMH7) (O)=514.30(FES3)
CB9 R=526.68 (O)=522.20(DMH6)	DMH9 R=526.59 (I)=521.00(DCB12&DMH10) (O)=520.75(DMH8)	HD2 R=499.50 (I)=494.50(DMH1) (O)=494.40(FES1)
DCB10 R=526.69 (O)=523.30(DMH6)	DMH10 R=527.82 (I)=522.00(CB13) (O)=521.90(DMH9)	HD3 R=517.68 (I)=513.75(DCB5&CB6) (O)=513.65(FES2)
DCB11 R=521.37 (O)=516.75(DMH7)	DMH9 R=526.59 (I)=521.00(DCB12&DMH10) (O)=520.75(DMH8)	OC#1 R=515.00 (I)=512.50(2-10"ORIFICES) (O)=511.25(2-10"ORIFICES)
DCB12 R=526.30 (O)=521.30(DMH9)	DMH10 R=527.82 (I)=522.00(CB13) (O)=521.90(DMH9)	OC#2 R=515.00 (I)=511.25(2-10"ORIFICES) (O)=510.90(6"ORIFICE)
CB13 R=526.69 (O)=522.80(DMH10)	DMH10 R=527.82 (I)=522.00(CB13) (O)=521.90(DMH9)	ROOF1 I=523.50(DMH4)
		ROOF2 I=520.00(DMH8)

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APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD  
BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

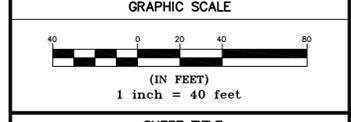
**PROJECT NAME**  
**NORTHEAST GREAT DANE**  
**#100 WORCESTER-PROVIDENCE TURNPIKE**  
**SUTTON, MASSACHUSETTS**  
**SUTTON MOTOR-IN TRUST**  
**ONE MERCANTILE STREET, SUITE 540**  
**WORCESTER, MA 01608**

**PREPARED FOR**  
Eastland Partners, Inc.  
987 Millbury Street  
Worcester, MA 01607

**REVISIONS**

REV.	DATE	DESCRIPTION

PROJECT NO. TPE-1126  
DESIGNED BY TRB, SJO  
CHECKED BY IRM, BW  
DATE DECEMBER 14, 2023  
CAD FILE H:\GREAT DANE\_LP.dwg  
PLAN NO. L-412



**SHEET TITLE**  
**GRADING & DRAINAGE PLAN**

**SHEET NO.**  
**C-5.1**

MAP 10, PARCEL 19  
#118 WORCESTER-PROVIDENCE TURNPIKE  
N/F  
118 WORCESTER-PROVIDENCE TURNPIKE, LLC  
BK. 55259, PG. 52  
P.B. 919, PL. 53

**RIVERFRONT AREA CALCULATIONS:**

**EXISTING:**  
TOTAL 0-100' RIVERFRONT AREA: 25,297 S.F.  
NATURALLY VEGETATED AREA: 15,129 S.F.  
DEGRADED AREA: 10,168 S.F.  
DEGRADED AREA = 40.2% OF TOTAL

TOTAL 100-200' RIVERFRONT AREA: 44,008 S.F.  
NATURALLY VEGETATED AREA: 3,258 S.F.  
DEGRADED AREA: 40,750 S.F.  
DEGRADED AREA = 92.6% OF TOTAL

**PROPOSED:**  
TOTAL 0-100' RIVERFRONT AREA: 25,297 S.F.  
NATURALLY VEGETATED AREA: 7,564 S.F.  
RESTORED AREA: 2,701 S.F.  
ALTERATION AREA: 15,032 S.F.

TOTAL 100-200' RIVERFRONT AREA: 44,008 S.F.  
NATURALLY VEGETATED AREA: 0 S.F.  
RESTORED AREA: 8,111 S.F.  
ALTERATION AREA: 35,897 S.F.

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MAP 10, PARCEL 17  
#7 KAWATIS ROAD  
N/F PAUL T. WATTS, JR.  
BK. 7862, PG. 115  
P.B. 509, PL. 84

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#7 KAWATIS ROAD  
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#7 KAWATIS ROAD  
N/F PAUL T. WATTS, JR.  
BK. 7862, PG. 115  
P.B. 509, PL. 84

MAP 10, PARCEL 169  
#58 SIBLEY ROAD  
N/F JAMES E. MARRAN, JR.  
BK. 45290, PG. 234





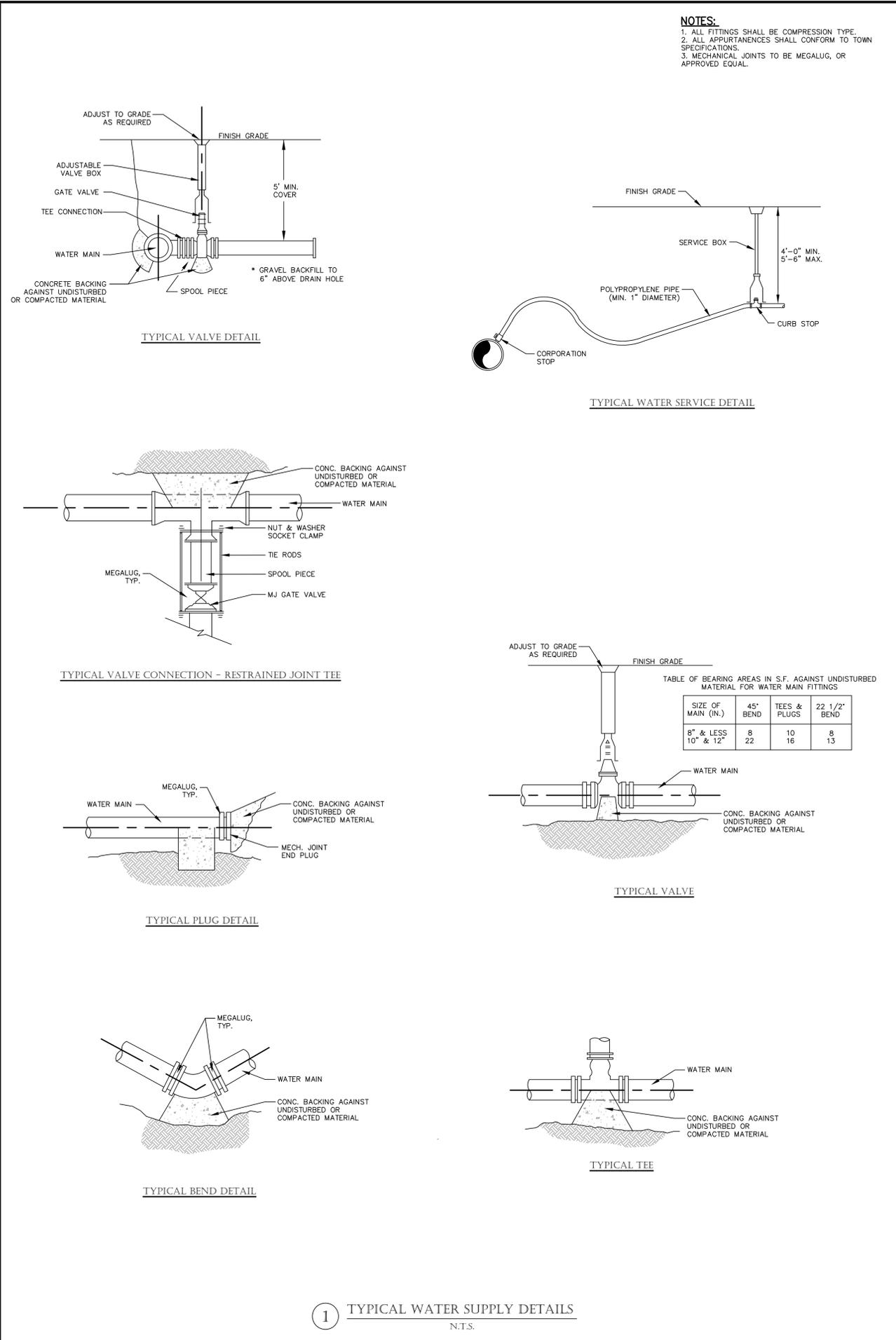




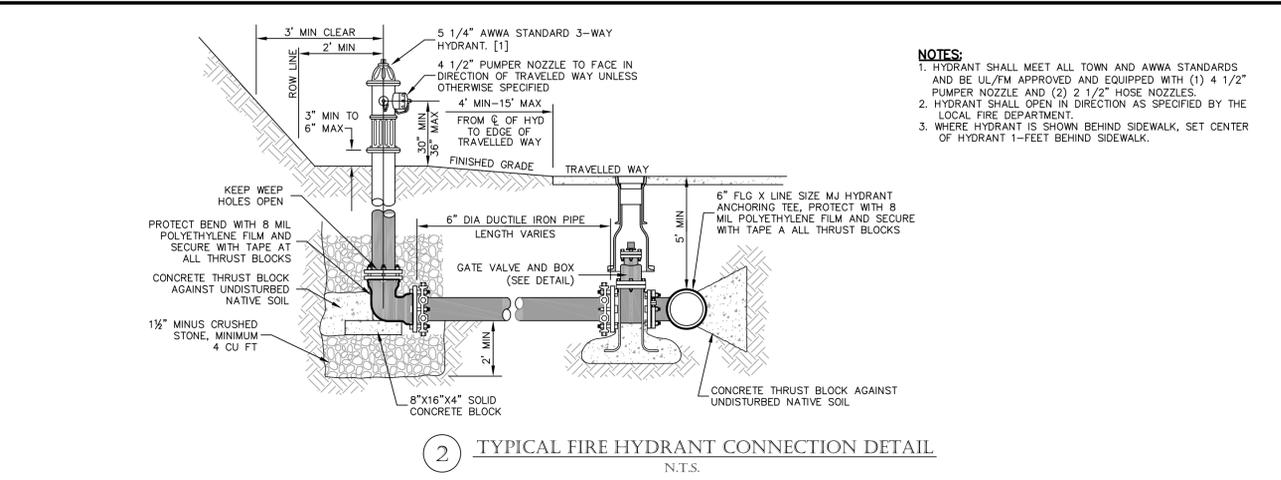




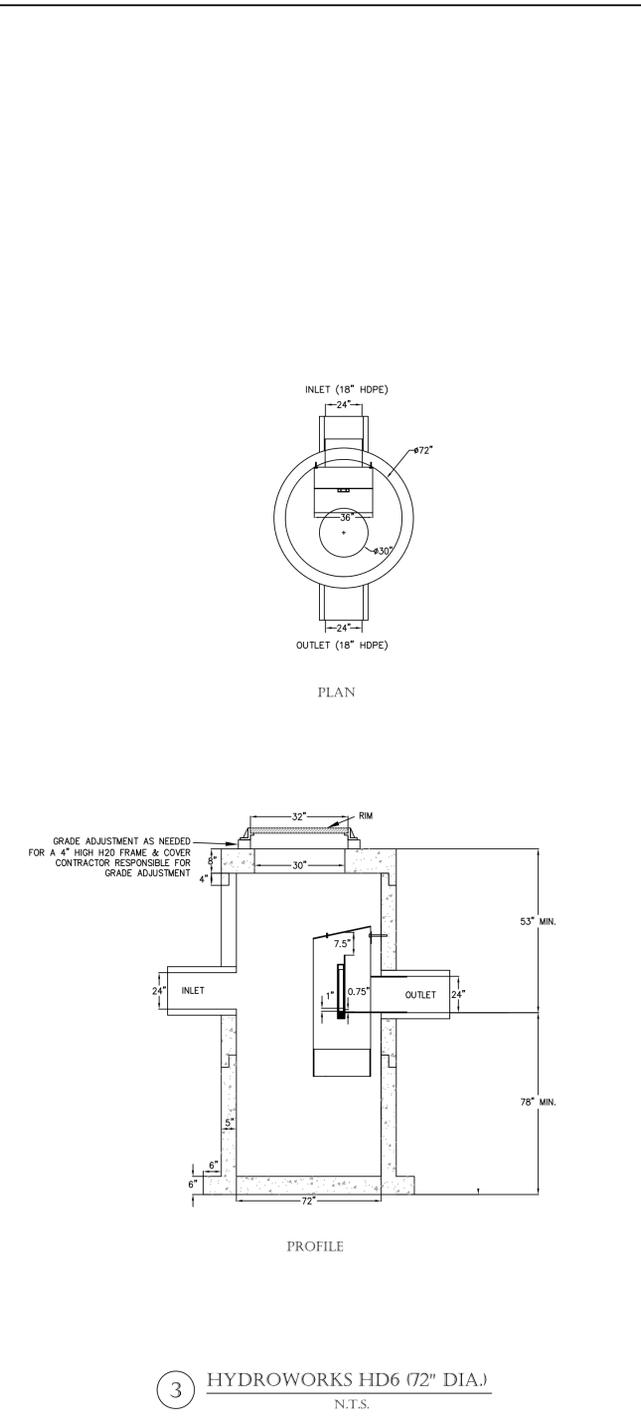




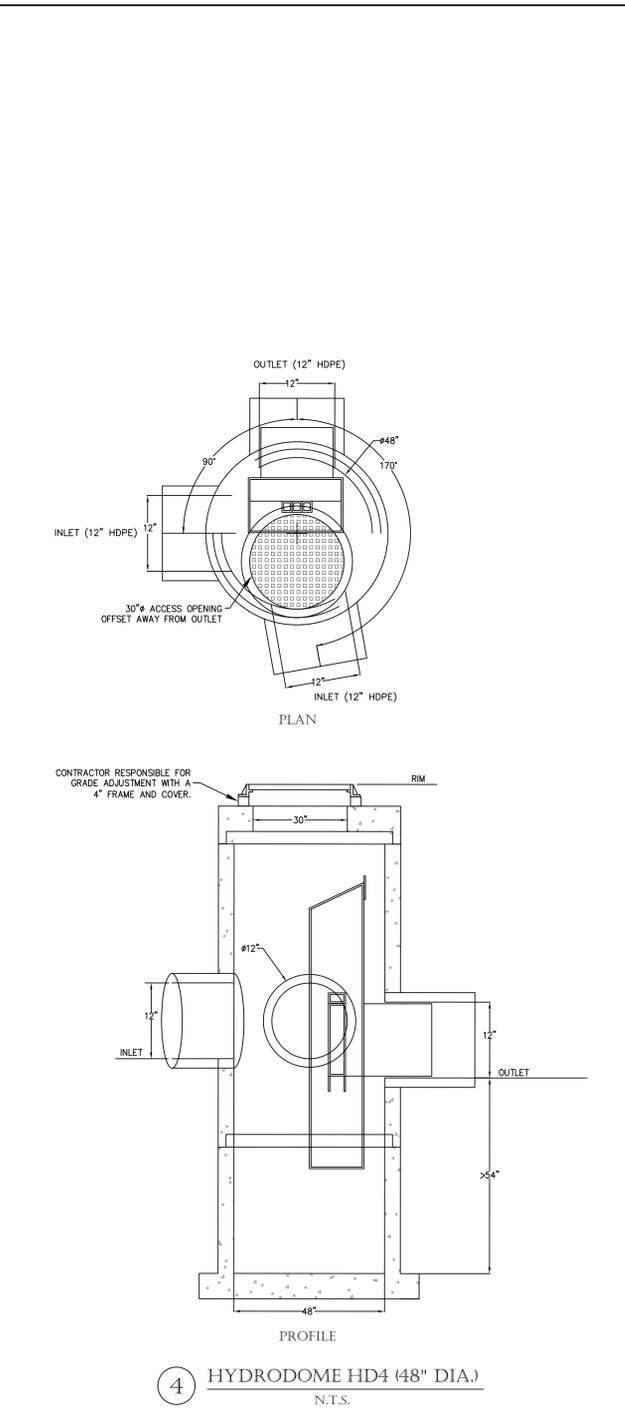
1 TYPICAL WATER SUPPLY DETAILS  
N.T.S.



2 TYPICAL FIRE HYDRANT CONNECTION DETAIL  
N.T.S.



3 HYDROWORKS HD6 (72" DIA.)  
N.T.S.



4 HYDRODOME HD4 (48" DIA.)  
N.T.S.

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#100 WORCESTER-PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
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**PREPARED FOR**  
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997 Millbury Street  
Worcester, MA 01607

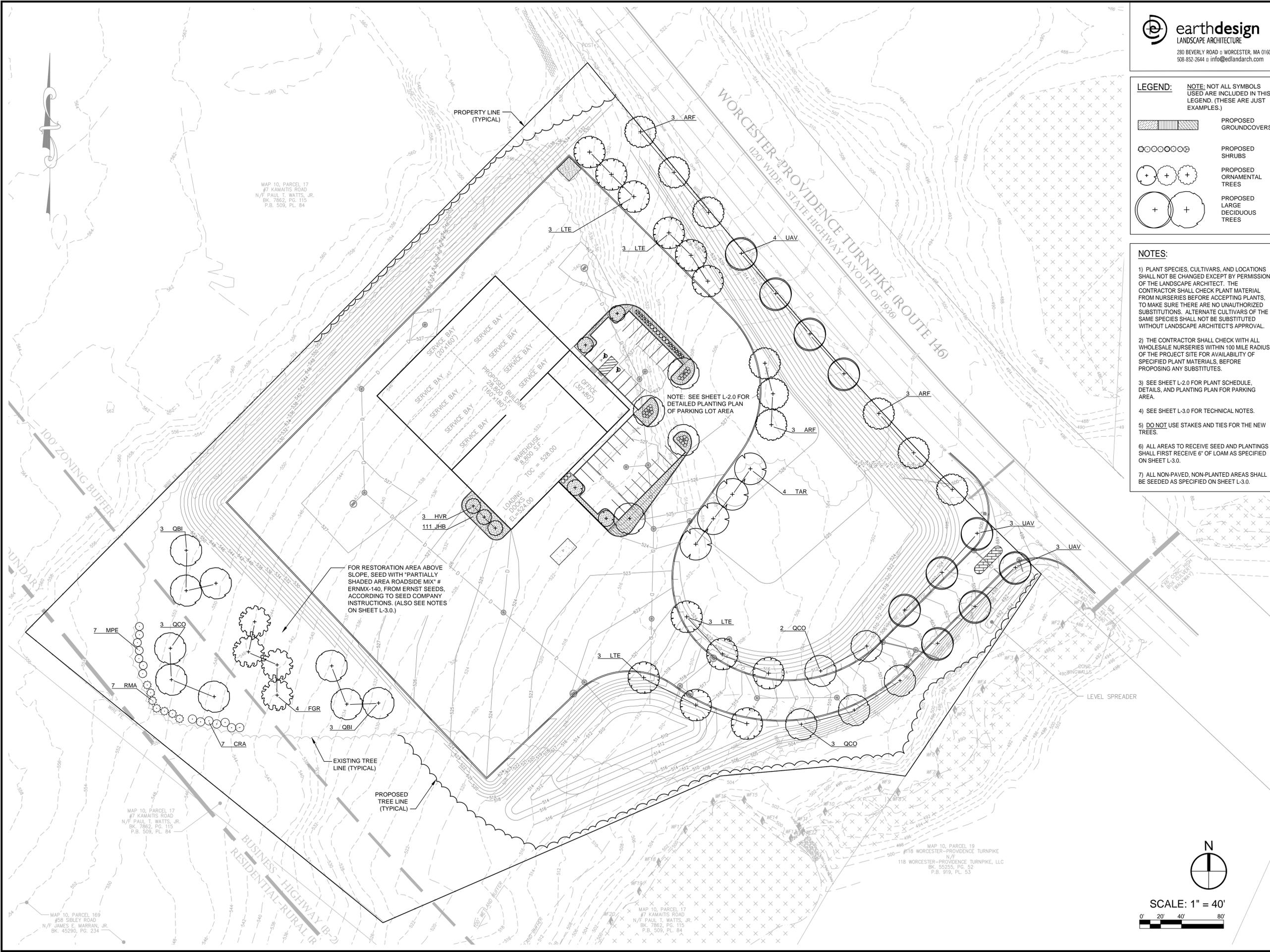
REV.	DATE	DESCRIPTION

PROJECT NO. TPE-1126  
DESIGNED BY TRB, SJO  
CHECKED BY IRM, BW  
DATE DECEMBER 14, 2023  
CAD FILE H:\GREAT DANE\_SP.dwg  
PLAN NO. L-412

**SHEET TITLE**  
CONSTRUCTION DETAILS  
SHEET 5 OF 5

**SHEET NO.**  
C-7.5

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**earthdesign**  
 LANDSCAPE ARCHITECTURE  
 280 BEVERLY ROAD • WORCESTER, MA 01605  
 508-852-2644 • info@earthdesign.com

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 www.tpengineering.com

**LEGEND:**

NOTE: NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)

- PROPOSED GROUNDCOVERS
- PROPOSED SHRUBS
- PROPOSED ORNAMENTAL TREES
- PROPOSED LARGE DECIDUOUS TREES

**NOTES:**

- 1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
- 2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
- 3) SEE SHEET L-2.0 FOR PLANT SCHEDULE, DETAILS, AND PLANTING PLAN FOR PARKING AREA.
- 4) SEE SHEET L-3.0 FOR TECHNICAL NOTES.
- 5) DO NOT USE STAKES AND TIES FOR THE NEW TREES.
- 6) ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L-3.0.
- 7) ALL NON-PAVED, NON-PLANTED AREAS SHALL BE SEED AS SPECIFIED ON SHEET L-3.0.

APPROVAL UNDER SITE PLAN REVIEW.  
 SUTTON PLANNING BOARD  
 BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
 ENDORSEMENT DATE: \_\_\_\_\_

PROJECT NAME  
**NORTHEAST GREAT DANE**  
 #100 WORCESTER-PROVIDENCE TURNPIKE  
 SUTTON, MASSACHUSETTS  
**SUTTON MOTOR-IN TRUST**  
 ONE MERCANTILE STREET, SUITE 540  
 WORCESTER, MA 01608

PREPARED FOR  
**Eastland Partners, Inc.**  
 987 Millbury Street  
 Worcester, MA 01607

REV.	DATE	DESCRIPTION

PROJECT NO.	TPE-1126
DESIGNED BY	AWW
CHECKED BY	AWW
DATE	DECEMBER 1, 2023
CAD FILE	H:\GREAT DANE_LP.dwg
PLAN NO.	L-

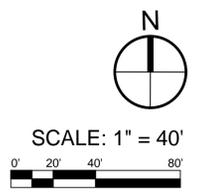
MASSACHUSETTS  
 REGISTERED LANDSCAPE ARCHITECT  
 L.A.:

SHEET TITLE  
**LANDSCAPE PLAN**

DRAWING ISSUED FOR:  
 ■ PERMIT

SHEET NO.  
**L-1.0**

THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT REFLECT ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.



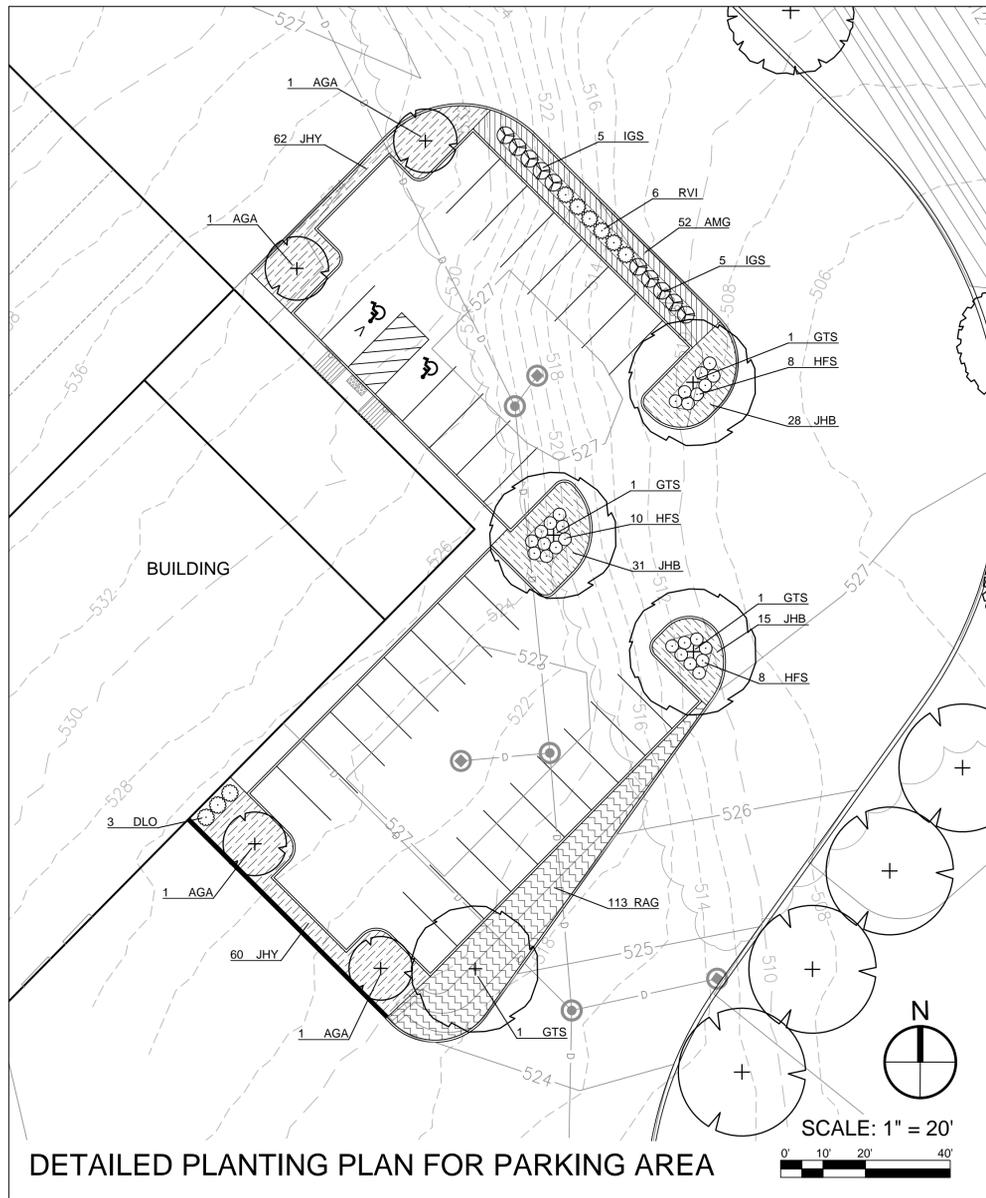
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 P.B. 509, PL. 84

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 N/F PAUL T. WATTS, JR.  
 BK. 7862, PG. 115  
 P.B. 509, PL. 84

MAP 10, PARCEL 169  
 #58 SIBLEY ROAD  
 N/F JAMES E. MARRAN, JR.  
 BK. 45290, PG. 234

MAP 10, PARCEL 17  
 #7 KAMATIS ROAD  
 N/F PAUL T. WATTS, JR.  
 BK. 7862, PG. 115  
 P.B. 509, PL. 84

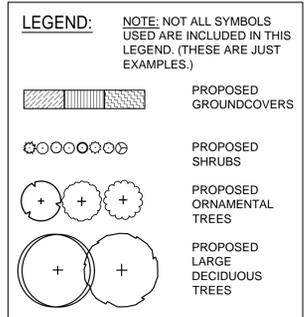
MAP 10, PARCEL 19  
 #118 WORCESTER-PROVIDENCE TURNPIKE  
 N/F  
 118 WORCESTER-PROVIDENCE TURNPIKE, LLC  
 BK. 55255, PG. 52  
 P.B. 919, PL. 53



PLANT SCHEDULE					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE AT PLANTING	PLANT SPACING & NOTES
<b>LARGE TREES</b>					
ARF	9	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG RTE. 146 AND 30' ON CENTER ELSEWHERE
FGR	4	FAGUS GRANDIFOLIA	AMERICAN BEECH	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER
GTS	4	GLEDITZIA TRIACANTHOS F. 'INERMIS' 'SKYLINE'	SKYLINE HONEYLOCUST	2" CAL., 6' HT.	B&B, PLANT WHERE SHOWN
LTE	12	LIRIODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP POPLAR	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG ENTRANCE DRIVE AND 30' ON CENTER ELSEWHERE
QBI	6	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER EXCEPT WHERE SHOWN FURTHER APART
QCO	8	QUERCUS COCCINEA	SCARLET OAK	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER ALONG ENTRANCE DRIVE, AND 30' ON CENTER ELSEWHERE EXCEPT WHERE SHOWN FURTHER APART
TAR	4	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN BASSWOOD	2" CAL., 6' HT.	B&B, PLANT 30' ON CENTER
UAV	10	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	2" CAL., 6' HT.	B&B, PLANT 50' ON CENTER
<b>SMALL ORNAMENTAL TREES</b>					
AGA	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	B&B, PLANT WHERE SHOWN
HVR	3	HAMAMELIS VIRGINIANA	AMERICAN WITCHHAZEL	6' HEIGHT	B&B, PLANT 15' ON CENTER
<b>SHRUBS</b>					
CRA	7	CORNUS RACEMOSA	GRAY DOGWOOD	# 5 POT	PLANT 8' ON CENTER
DLO	3	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	# 3 POT	PLANT 4' ON CENTER
HFS	26	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	# 3 POT	PLANT 3' ON CENTER; IF UNAVAILABLE, THIS MAY BE SUBSTITUTED WITH HYPERICUM KALMIANUM 'DEPPE' (SUNNY BOULEVARD ST. JOHN'S WORT)
IGS	10	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	# 3 POT	PLANT 4' ON CENTER
MPE	7	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	# 5 POT	PLANT 8' ON CENTER
RMA	7	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	# 5 POT	PLANT 8' ON CENTER
RVI	6	ROSA VIRGINIANA	VIRGINIA ROSE	# 3 POT	PLANT 4' ON CENTER
<b>GROUNDCOVERS</b>					
AMG	52	ARONIA MELANOCARPA 'GROUND HUG'	GROUND HUG CHOKEBERRY	# 3 POT	PLANT 3' ON CENTER
JHB	185	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	# 3 POT	PLANT 3' ON CENTER
JHY	122	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	# 3 POT	PLANT 3' ON CENTER
RAG	113	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	# 3 POT	PLANT 3' ON CENTER

**NOTE:** PLANT SPECIES, CULTIVARS, SIZES, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. \*\* THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. \*\* THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.

\*\* EXCEPT AS NOTED UNDER 'PLANT SPACING & NOTES' IN THE PLANT SCHEDULE, BUT THOSE SUBSTITUTIONS MAY ONLY BE USED IF THE SPECIFIED PLANT IS NOT AVAILABLE AT ANY WHOLESALE NURSERIES IN THE REGION, AS NOTED ABOVE.

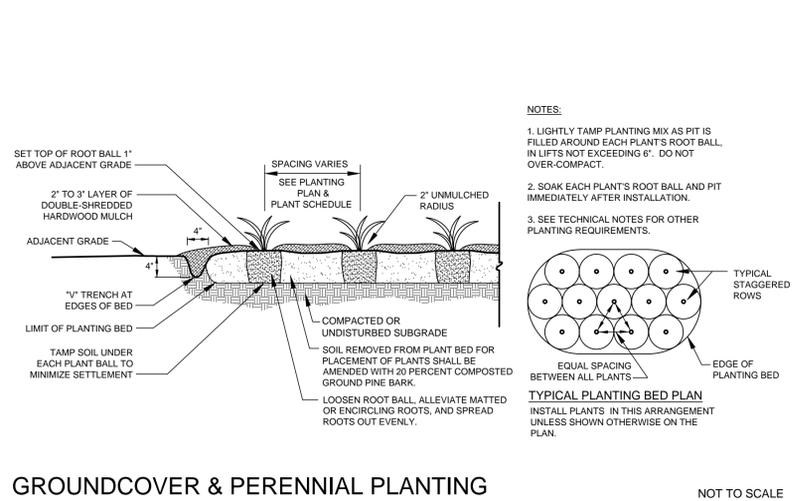
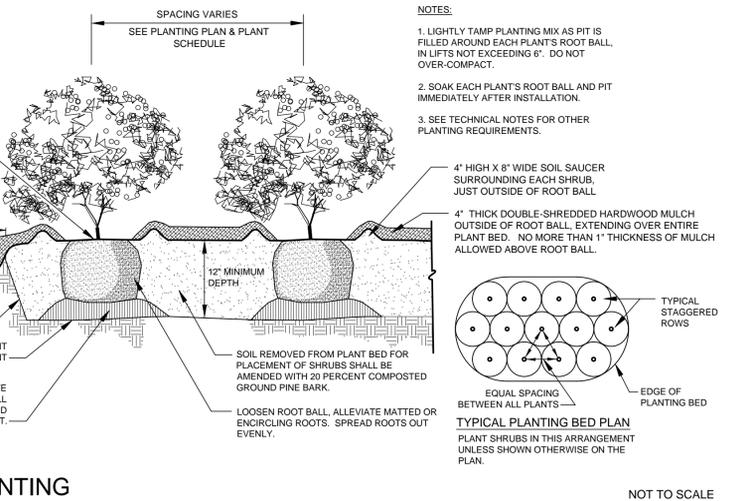
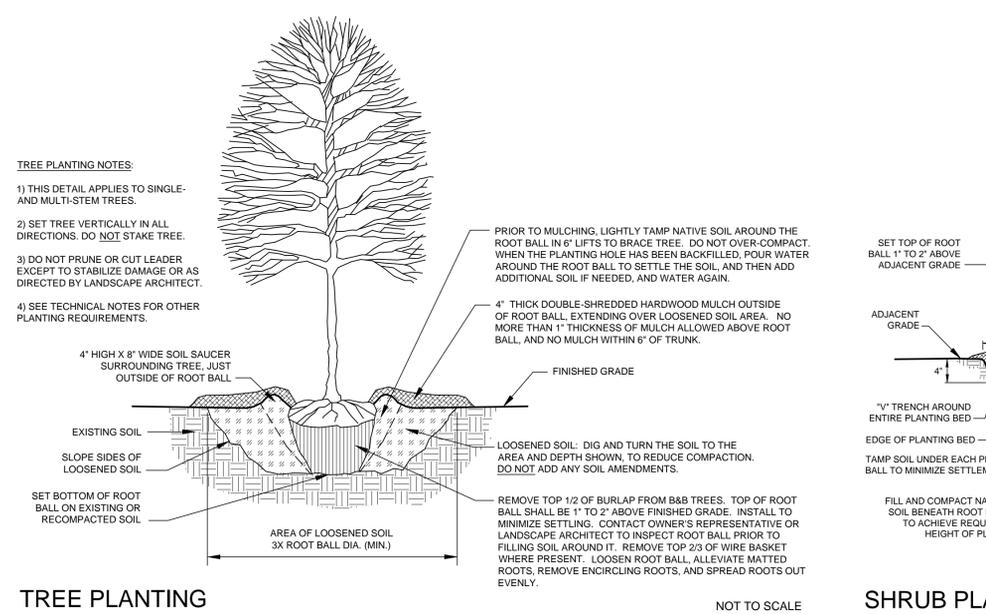


- NOTES:**
- 1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
  - 2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
  - 3) SEE SHEET L-1.0 FOR PLANTING PLAN FOR THE REST OF THE SITE.
  - 4) SEE SHEET L-3.0 FOR TECHNICAL NOTES.
  - 5) DO NOT USE STAKES AND TIES FOR THE NEW TREES.
  - 6) ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L-3.0.
  - 7) ALL NON-PAVED, NON-PLANTED AREAS SHALL BE SEEDED AS SPECIFIED ON SHEET L-3.0.

APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

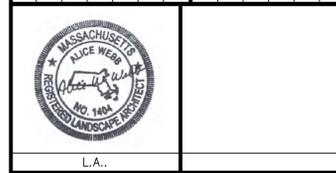


PROJECT NAME  
**NORTHEAST GREAT DANE**  
**#100 WORCESTER-PROVIDENCE TURNPIKE**  
**SUTTON, MASSACHUSETTS**  
**SUTTON MOTOR-IN TRUST**  
**ONE MERCANTILE STREET, SUITE 540**  
**WORCESTER, MA 01608**

PREPARED FOR  
**Eastland Partners, Inc.**  
987 Military Street  
Worcester, MA 01607

REV.	DATE	DESCRIPTION

PROJECT NO. TPE-1126  
DESIGNED BY AWW  
CHECKED BY AWW  
DATE DECEMBER 1, 2023  
CAD FILE H:\GREAT DANE\_SP.dwg  
PLAN NO. L-



SHEET TITLE  
**LANDSCAPE SCHEDULE & DETAILS**

DRAWING ISSUED FOR: **PERMIT**

SHEET NO. **L-2.0**

THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT REFLECT ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.



280 BEVERLY ROAD ■ WORCESTER, MA 01605  
508-852-2644 ■ info@earthdesign.com



TURNING POINT ENGINEERING

CIVIL SITE DESIGN

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APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

**TECHNICAL NOTES FOR LOAM BORROW:**

- 1) **SCOPE OF WORK:** FOR THIS PROJECT, THE WORK SHALL INCLUDE PLACING LOAM ALL AREAS TO RECEIVE PLANTS AND TURFGRASS SEEDING.
- 2) THE CONTRACTOR SHALL FURNISH A CERTIFIED LABORATORY REPORT SHOWING THE SOILS CLASSIFICATION AND NUTRIENT ANALYSIS OF REPRESENTATIVE SAMPLES OF THE LOAM THIS IS PROPOSED TO BE USED, INCLUDING THE EXTENT OF LIME AND FERTILIZER REQUIRED. ALL COSTS FOR SUCH WORK SHALL BE BORNE BY THE CONTRACTOR.
- 3) IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THIS PROJECT, EXISTING ON-SITE SOIL MAY BE RE-USED AS LOAM BORROW ONLY IF IT MEETS THIS SPECIFICATION. EXISTING TOPSOIL THAT DOES NOT MEET THIS SPECIFICATION MAY BE RE-USED ONLY UP TO THE SUBGRADE ELEVATION WITHIN THE LIMITS OF AREAS TO RECEIVE NEW LOAM BORROW. THE CONTRACTOR SHALL FURNISH ALL REQUIRED LOAM BORROW, FROM OFF-SITE SOURCES, AS NECESSARY, TO COMPLETE THE PROJECT.
- 4) SCREENED LOAM SHALL BE "FINE SANDY LOAM" OR "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS (ASTM D-422) AND BASED ON THE "USDA CLASSIFICATION SYSTEM". SCREENED LOAM SHALL HAVE THE FOLLOWING MECHANICAL ANALYSIS:

TEXTURAL CLASS PERCENTAGE	PERCENTAGE OF TOTAL WEIGHT	AVERAGE PERCENTAGE
SAND (0.05 - 2.0 MM)	45 - 75	60
SILT (0.002 - 0.05 MM)	5 - 35	25
CLAY (LESS THAN 0.002 MM)	5 - 20	15

- 5) SCREENED LOAM SHALL BE A NATURAL PRODUCT CONSISTING PRIMARILY OF NATURAL TOPSOIL, FREE FROM SUBSOIL, AND OBTAINED FROM AN AREA THAT HAS NEVER BEEN STRIPPED BEFORE. SCREENED LOAM SHALL NOT CONTAIN LESS THAN FIVE PERCENT (5%) NOR MORE THAN TEN PERCENT (10%) ORGANIC MATTER. TO ADJUST ORGANIC MATTER CONTENT, THE SOIL MAY BE AMENDED, PRIOR TO SITE DELIVERY, BY THE ADDITION OF COMPOSTED LEAF MOLD OR PEAT MOSS. NO MIXING OR AMENDING OF LOAM IS PERMITTED ON SITE.
- 6) THE LOAM SHALL NOT BE DELIVERED IN A WET OR FROZEN CONDITION.
- 7) SCREENED LOAM SHALL CONSIST OF FERTILE, FRIABLE, LOAM CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. LOAM SHALL BE WITHOUT ADMIXTURE OF SUBSOIL, AND REFUSE. IT SHALL BE A HOMOGENEOUS MATERIAL FREE OF STONES GREATER THAN ONE-HALF (1/2) INCH IN THE LONGEST DIMENSION; FREE OF LUMPS, PLANTS, GRASS, ROOTS, STICKS, EXCESSIVE STONE CONTENT, DEBRIS, AND EXTRANEUS MATTER AS DETERMINED BY THE OWNER.
- 8) SCREENED LOAM SHALL BE WITHIN THE PH RANGE OF 6.0 TO 6.5. IT SHALL BE UNCONTAMINATED BY SALT WATER, FOREIGN MATTER, AND SUBSTANCES HARMFUL TO PLANT GROWTH. THE MAXIMUM SOLUBLE SALT INDEX SHALL BE 100. SCREENED LOAM SHALL NOT HAVE LEVELS OF ALUMINUM GREATER THAN 200 PARTS PER MILLION.
- 9) SEE TURFGRASS NOTES FOR LIME AND FERTILIZER REQUIREMENTS FOR LAWN AREAS.
- 10) TOPSOIL STRUCTURE SHALL NOT BE DESTROYED THROUGH EXCESSIVE AND UNNECESSARY HANDLING OR COMPACTION. INAPPROPRIATE HANDLING LEADING TO THE COMPACTION OF DETERIORATION OF SOIL STRUCTURE WILL RESULT IN REJECTION OF TOPSOIL FOR USE.
- 11) AT NO TIME SHALL EQUIPMENT OR MATERIAL REST ON THE SOIL.

12) THE CONTRACTOR SHALL FURNISH AND SPREAD LOAM TO A MINIMUM 6 INCH DEPTH (AFTER SOIL SETTLEMENT) IN ALL LAWN AND PLANT BED AREAS. SUBSOIL SHALL BE SCARIFIED PRIOR TO PLACEMENT OF LOAM. THE TOP OF THE SETTLED LOAM BORROW LAYER SHALL BE TO GRADES SPECIFIED ON THE DRAWINGS. NO COMPACTION SHALL BE REQUIRED BEYOND THAT EXTENT NECESSARY TO PLACE SOD OR TO PLANT TREES AND SHRUBS TO ENSURE AGAINST UNEVENNESS OR SETTLING BELOW ACCEPTED GROWTH LINES.

**TECHNICAL NOTES FOR TURFGRASS & PERENNIAL SEEDING:**

- 1) **SCOPE OF WORK:** FOR THIS PROJECT, THE WORK SHALL INCLUDE SEEDING AREAS DENUDED BY CONSTRUCTION.
- 2) ALL AREAS SHALL BE SEEDED WITHIN 30 DAYS AFTER FINISHED GRADES ARE ESTABLISHED AND OTHER ELEMENTS INCLUDED IN THIS CONTRACT ARE CONSTRUCTED.
- 3) **SEED SPECIFICATIONS:**
  - A) RESTORATION AREA (ABOVE SLOPE, AS NOTED ON PLAN):
    - SEED MIXTURE SHALL BE "PARTIALLY SHADED AREA ROADSIDE MIX" # ERNMX-140 SUPPLIED BY ERNST SEEDS, MEADVILLE, PA, PHONE # 800-873-3321. PREPARE SOIL AND SOW SEED IN ACCORDANCE WITH THIS COMPANY'S INSTRUCTIONS FOR THIS TYPE OF SEED MIX.
  - B) LOW-MAINTENANCE TURFGRASS: SLOPES STEEPER THAN 3:1:
    - MIXTURE REQUIREMENTS ARE AS FOLLOWS (WITH APPROXIMATE PERCENTAGES):
      - 24% CREEPING RED FESCUE
      - 24% CHEWINGS FESCUE
      - 24% SHEEPS FESCUE
      - 24% HARD FESCUE
      - 4% PERENNIAL RYEGRASS
  - C) TURFGRASS: AREAS RECEIVING FULL SUN OR PART SHADE, IN AREAS WITH SLOPES 3:1 OR LESS STEEP:
    - MIXTURE REQUIREMENTS ARE AS FOLLOWS (WITH APPROXIMATE PERCENTAGES):
      - 35% FINE FESCUE (ENDOPHYTIC)
      - 35% KENTUCKY BLUEGRASS
      - 30% PERENNIAL RYEGRASS (ENDOPHYTIC)
  - D) TURFGRASS: AREAS RECEIVING MOSTLY SHADE, IN AREAS WITH SLOPES 3:1 OR LESS STEEP:
    - MIXTURE REQUIREMENTS ARE AS FOLLOWS (WITH APPROXIMATE PERCENTAGES):
      - 90% FINE FESCUE (ENDOPHYTIC)
      - 10% PERENNIAL RYEGRASS (ENDOPHYTIC)
  - E) ANY PROPOSED SUBSTITUTIONS SHALL BE PRESENTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SEEDING.
  - F) ALL TURFGRASS SEED SHALL HAVE A MINIMUM PURITY OF 98 PERCENT AND A GERMINATION RATE OF 85 PERCENT.
  - G) ALL TURFGRASS SEED SHALL BE LABELED TO SHOW THAT IT IS WITHIN THE REQUIREMENTS OF THE USDA AS TO PURITY, GERMINATION, AND PRESENCE OF RESTRICTED OR PROHIBITED WEEDS.

4) BED PREPARATION FOR AREAS TO BE SEEDED WITH TURFGRASS: A ROTOVATOR, CHISEL PLOW, OR CULTIVATOR SHALL BE USED TO WORK THE SOIL TO A DEPTH OF SIX INCHES. AFTER THIS OPERATION, REMOVE AND DISPOSE OF STICKS, STONES OVER 1 INCH DIAMETER, AND RUBBISH TO A MINIMUM DEPTH OF TWO INCHES.

5) LIME AND NUTRIENTS FOR TURFGRASS AREAS: LIME SHALL BE GROUND DOLOMITIC LIMESTONE, APPLIED AT THE RATE OF 50 POUNDS PER 1000 SQUARE FEET. LIME SHALL BE WELL-MIXED INTO THE TOP THREE INCHES OF LOAM.

6) FERTILIZER FOR TURFGRASS AREAS: FERTILIZER SHALL BE A COMMERCIAL GRADE WITH A MINIMUM OF 50 PERCENT OF THE NITROGEN COMPONENT IN A CONTROLLED RELEASE FORM LABELED TO RELEASE NITROGEN FOR A MINIMUM OF SIX WEEKS. FERTILIZER SHALL HAVE AN N/P/K RATIO IN THE RANGE OF 1:1:1 TO 1:2:2. IT SHALL BE APPLIED AT A RATE WHICH ACHIEVES ONE POUND OF NITROGEN PER 1000 SQUARE FEET.

7) SEEDING PROCEDURE FOR TURFGRASS: SOWING OF SEED SHALL BE DONE ONLY AFTER THE PREPARED SOIL, TO WHICH LIME AND FERTILIZER HAVE BEEN ADDED AS SPECIFIED, HAS BEEN THOROUGHLY SETTLED BY RAINFALL OR ARTIFICIAL WATERING. IMMEDIATELY BEFORE ANY SEED IS SOWN, THE GROUND SHALL BE SCARIFIED AS SPECIFIED. LAWN AREAS SHALL BE SEEDED EVENLY WITH A MECHANICAL SPREADER. SEED MIXTURES SHALL BE SOWN AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. AFTER SEEDING, THE LAWN SHALL BE LIGHTLY RAKED, ROLLED WITH A 200-POUND ROLLER, AND WATERED WITH A FINE SPRAY. THIS METHOD OF SEEDING MAY BE VARIED AT THE DISCRETION OF THE CONTRACTOR ON HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH, UNIFORMLY GRASSED LAWN.

8) SEED FOR PERMANENT TURFGRASS SHALL ONLY BE SOWN FROM THE THIRD WEEK IN APRIL THROUGH JUNE AND DURING THE MONTH OF SEPTEMBER.

9) TEMPORARY SEEDING FOR EROSION CONTROL: IN THE EVENT THAT THE CONTRACT IS SUSPENDED, TEMPORARY SEEDING SHALL BE USED ON ANY BARE AREAS THAT MAY BE SUBJECT TO EROSION AND WHERE TEMPORARY VEGETATION CAN BE USED TO RETARD EROSION FROM 2 TO 12 MONTHS. THE SEED TYPE USED FOR TEMPORARY COVER SHALL BE 100 PERCENT TALL FESCUE APPLIED AT A RATE OF 300 POUNDS PER ACRE.

10) MAINTENANCE: MAINTAIN THE TURFGRASS FROM TIME OF INSTALLATION UNTIL THE FINAL INSPECTION IMMEDIATELY PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD. MAINTENANCE SHALL INCLUDE WATERING OF TURF AREAS, REPAIRS TO TURF AREAS, AND OTHER NECESSARY OPERATIONS. THE MAINTAINED TURF AREAS (EXCEPT FOR LOW-MAINTENANCE TURF ON STEEP SLOPES) SHALL BE MOWED TO A UNIFORM HEIGHT OF APPROXIMATELY TWO AND ONE-HALF INCHES. MOWING SHALL BE PROVIDED AS REQUIRED SO THAT THE TURF NEVER EXCEEDS FOUR INCHES IN HEIGHT. TURF SHALL BE PROTECTED AND REPLANTED AS NECESSARY TO ESTABLISH A UNIFORM STAND OF THE SPECIFIED TURF AND UNTIL ACCEPTANCE. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQUARE FOOT, WILL BE ALLOWED UP TO A MAXIMUM OF THREE PERCENT OF ANY TURF AREA. WHEN TURF AREAS ARE READY FOR FINAL INSPECTION, THE MAINTAINED TURF AREAS SHALL BE NEATLY MOWED TO THE UNIFORM HEIGHTS AS NOTED ABOVE. THE LAWNS SHALL BE CONSIDERED ESTABLISHED ONLY WHEN THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL IN ADDITION TO MEETING THE OTHER REQUIREMENTS SPECIFIED. AT THE TIME OF ACCEPTANCE FOLLOWING FINAL INSPECTION, THE CONTRACTOR IS RELIEVED OF ROUTINE MAINTENANCE RESPONSIBILITIES FOR THE TURF UNDER THIS CONTRACT.

11) FINAL INSPECTION, CLEANUP AND COMPLETION: FINAL INSPECTION SHALL BE FOR THE COMPLETED LANDSCAPE AND SHALL BE MADE AT THE CONCLUSION OF THE LANDSCAPE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL EQUIPMENT AND OTHER ARTICLES USED. ALL EXCESS SOIL, STONES, AND DEBRIS SHALL BE REMOVED FROM THE SITE. ALL WORK AREAS SHALL BE LEFT IN A CLEAN AND NEAT CONDITION. ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY THE LANDSCAPING OPERATIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

12) GUARANTY AND REPLACEMENT: IF A SATISFACTORY STAND OF MAINTAINED TURF HAS BEEN PRODUCED AT THE TIME OF FINAL INSPECTION, IT SHALL BE GUARANTEED THROUGH ONE COMPLETE GROWING SEASON. IF RENOVATION AND/OR RESEEDING ARE REQUIRED AT THE END OF THE GUARANTEE PERIOD, THIS WORK SHALL BE DONE IN CONFORMANCE WITH THE REQUIREMENTS NOTED ABOVE. IF A SATISFACTORY STAND OF MAINTAINED TURF HAS NOT BEEN PRODUCED AT THE TIME OF FINAL INSPECTION, NECESSARY REPAIRS SHALL BE PERFORMED IN CONFORMANCE WITH THE REQUIREMENTS NOTED ABOVE. UPON COMPLETION OF THESE REPAIRS, THE TURF GRASS SHALL BE GUARANTEED AS NOTED ABOVE.

**TECHNICAL NOTES FOR TREE, SHRUB, GROUNDCOVER, AND PERENNIAL PLANTINGS:**

1) **NOMENCLATURE:** THE NAMES OF PLANTS REQUIRED UNDER THIS CONTRACT SHALL CONFORM TO THOSE GIVEN IN STANDARDIZED PLANT NAMES, LATEST EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN SHALL CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2) **QUALITY AND SIZE:** PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES. THEY SHALL BE MEASURED BEFORE PRUNING IS DONE AT TIME OF PLANTING. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF PLANTS IN THE PLANT LIST SHALL FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATIONS OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK.

3) **SUBSTITUTIONS:** SUBSTITUTIONS WILL BE PERMITTED ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT AS SPECIFIED IS NOT OBTAINABLE DURING THE SCHEDULED PLANTING SEASON. WRITTEN AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE REQUIRED FOR ANY SUBSTITUTION. THE NEAREST EQUIVALENT SIZE OR VARIETY OF PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS SHALL BE PROPOSED FOR SUBSTITUTION.

4) **BALLED AND BURLAPPED MATERIALS:** PLANTS DESIGNATED 'B&B' IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. MATERIAL SHALL BE IN A CONDITION WHERE THE NATURAL ROOT COLLAR OF THE PLANT IS WITHIN APPROXIMATELY TWO (2) INCHES OF THE SOIL LEVEL OF THE BALL. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE, CORD, OR WIRE MESH. NO SYNTHETIC FABRIC IS ALLOWED. WHERE NECESSARY TO PREVENT BREAKING OR CRACKING OF THE BALL DURING THE PROCESS OF PLANTING, THE BALL MAY BE SECURED TO A PLATFORM. BALLS SHALL BE KEPT MOIST AND SHADED UNTIL THEY ARE PLANTED. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL PRIOR TO PLANTING. PLANT IN ACCORDANCE WITH TREE AND SHRUB PLANTING DETAILS. BALLED AND BURLAPPED TREES SHALL ONLY BE DUG IN THE SPRING.

5) **CONTAINER-GROWN MATERIALS:** PLANTS NOT DESIGNATED OTHERWISE IN THE PLANT LIST MAY BE PURCHASED AS CONTAINER-GROWN OR BALLED/BURLAPPED. CONTAINER-GROWN PLANTS, IF STORED ON THE SITE, SHALL BE WATERED THOROUGHLY AT LEAST ONCE EVERY 48 HOURS. ROOT SYSTEMS OF CONTAINER-GROWN PLANTS SHALL BE WELL-DEVELOPED BUT NOT IN 'POT-BOUND' CONDITION OF DENSE, ENCIRCLING ROOTS. THE ROOT BALL OF THE PLANT SHALL BE LOOSENESED TO ALLEVIATE ENCIRCLING ROOTS AND TO PROVIDE AN INCREASED ROOT INTERFACE WITH THE FILL SOIL. PLANT IN ACCORDANCE WITH TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS. CONTAINER-GROWN TREES SHALL ONLY BE PLANTED IN THE FALL (SEPTEMBER - OCTOBER).

6) **PROTECTION OF PLANTS PRIOR TO INSTALLATION:** THE ROOT ZONE OF ALL PLANTS NOT YET INSTALLED SHALL BE PROTECTED FROM FREEZING, DRYING, AND DIRECT SUNLIGHT.

7) **MULCHING:** DOUBLE-SHREDDED HARDWOOD MULCH SHALL BE USED AS THE MULCH FOR ALL PLANT BEDS INDICATED ON THE LANDSCAPE PLAN, INCLUDING AREAS SURROUNDING THE PLANTS AS SHOWN ON THE TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS.

8) **PLANTING SEASON:** THE NORMAL PLANTING SEASON IS APRIL THROUGH NOVEMBER. SOME PLANTS SPECIFIED AS BALLED AND BURLAPPED CANNOT BE DUG DURING PORTIONS OF THIS PLANTING SEASON -- CHECK WITH NURSERIES FOR SPECIFICS. PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS DURING THE NORMAL PLANTING SEASON.

9) **WEATHER CONDITIONS:** PLANTING SHALL NOT TAKE PLACE WHEN SOILS ON SITE ARE FROZEN OR WET AND IN POOR TILTH.

10) **LAYOUT:** NEW PLANTINGS SHALL BE LOCATED ACCORDING TO THE LANDSCAPE PLAN. THE CONTRACTOR SHALL STAKE THE PLANT LOCATIONS, AND SHALL THEN CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL.

11) **SETTING PLANTS:** ALL PLANTS SHALL BE PLANTED IN PREPARED SOILS BEDS, AND SET ON FIRM SOIL TO SUCH DEPTH AS INDICATED IN THE PLANTING DETAILS. TREES, SHRUBS, GROUNDCOVERS, AND PERENNIALS SHALL BE SET SO THAT THE PLANT'S NATURAL ROOT COLLAR OR CROWN IS ABOVE FINISHED GRADE AT THE HEIGHTS INDICATED IN THE PLANTING DETAILS. NO BURLAP SHALL BE PULLED FROM UNDER THE BALLS. ROOTS ON BARE-ROOT PLANTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAYED ROOTS SHALL BE CUT OFF CLEANLY. PREPARED SOIL SHALL BE PLACED AND COMPACTED CAREFULLY TO AVOID INJURY TO ROOTS, TO FILL ALL VOIDS, AND TO MINIMIZE ROCKING OF ROOT BALL. ADD WATER AND TAMP THE BACKFILL UNTIL THE BACKFILL IS COMPLETELY SATURATED, THEN ALLOW IT TO SOAK AWAY. FILL THE HOLE TO FINISHED GRADE, AND FORM A SAUCER AROUND EACH TREE AND SHRUB BY PLACING A RIDGE OF TOPSOIL AROUND THE EDGE OF EACH ROOT BALL, IN ACCORDANCE WITH THE PLANTING DETAILS. AFTER THE GROUND SETTLES, ADDITIONAL SOIL SHALL BE FILLED IN TO THE LEVEL OF THE FINISHED GRADE, AND WATERED.

12) **STAKING TREES:** DO NOT STAKE TREES, UNLESS TREES ARE PLANTED ON STEEP SLOPES, IN WHICH CASE THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR PERMISSION TO STAKE THOSE TREES.

13) **MAINTENANCE:** MAINTAIN PLANTS AND PLANT BEDS FROM THE TIME OF INSTALLATION UNTIL THE FINAL INSPECTION IMMEDIATELY PRIOR TO COMMENCEMENT OF THE GUARANTEE PERIOD. MAINTENANCE SHALL INCLUDE WATERING AND PROTECTION OF PLANTINGS AND OTHER NECESSARY OPERATIONS.

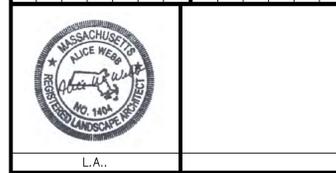
14) **FINAL INSPECTION:** WHEN THE TREE AND SHRUB PLANTINGS ARE READY FOR FINAL INSPECTION, ALL MULCHED AREAS SHALL BE FREE FROM WEEDS AND MULCHED TO THE EXTENT INDICATED ON THESE DRAWINGS. PLANT TAGS SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO THE INSPECTION FOR ACCEPTANCE.

15) **GUARANTEE:** AFTER ACCEPTANCE AT TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) YEAR. PLANTINGS SHALL BE ALIVE AND IN SATISFACTORY VIGOR AT THE END OF THE GUARANTEE PERIOD.

16) **REPLACEMENT:** AT THE END OF THE GUARANTEE PERIOD, ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR IN POOR VIGOR SHALL BE REMOVED FROM THE SITE. THESE AND ANY MISSING PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT, BUT DURING THE NORMAL PLANTING SEASON. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE EQUAL TO THAT ATTAINED BY ADJACENT PLANTS OF THE SAME KIND AT THE TIME REPLACEMENT IS MADE. ONLY ONE REPLACEMENT WILL BE REQUIRED FOR EACH PLANT DECLARED DEAD, IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, OR MISSING AT THE TIME OF FINAL INSPECTION.

PROJECT NAME  
**NORTHEAST GREAT DANE**  
 #100 WORCESTER-PROVIDENCE TURNPIKE  
 SUTTON, MASSACHUSETTS  
 SUTTON MOTOR-IN TRUST  
 ONE MERCANTILE STREET, SUITE 540  
 WORCESTER, MA 01608  
 PREPARED FOR  
**Eastland**  
 Eastland Partners, Inc.  
 987 Military Street  
 Worcester, MA 01607

REV.	DATE	DESCRIPTION	PROJECT NO.	DESIGNED BY	CHECKED BY	DATE	CAD FILE	PLAN NO.
			TPE-1126	AWW	AWW	DECEMBER 1, 2023	H:\GREAT DANE_SP.dwg	L-



L.A.:

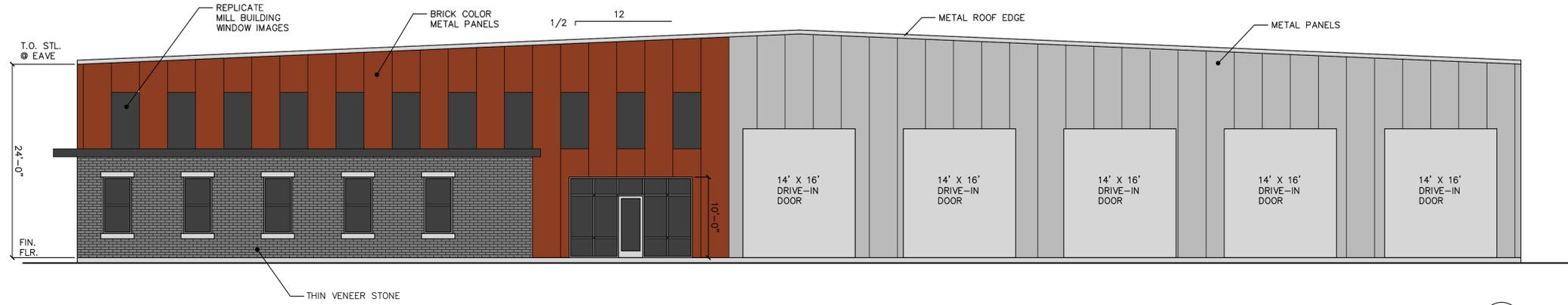
SHEET TITLE

LANDSCAPE NOTES

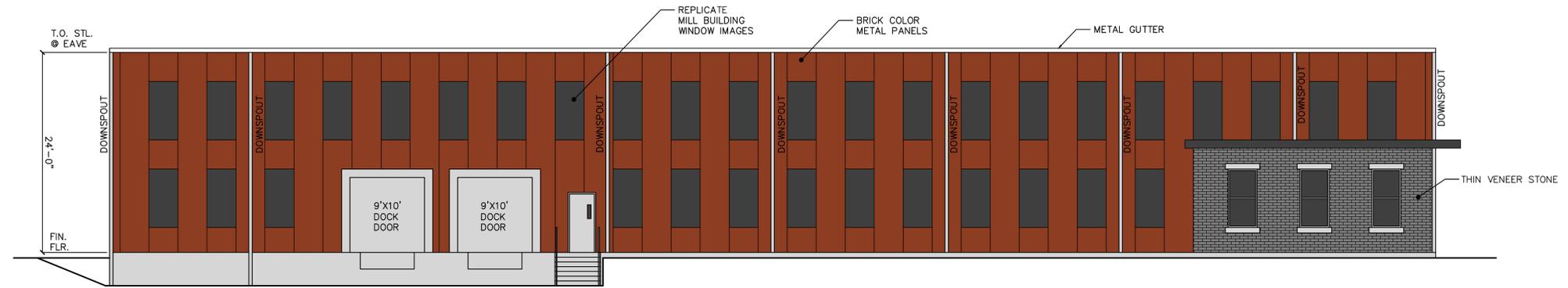
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■ PERMIT  
 THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

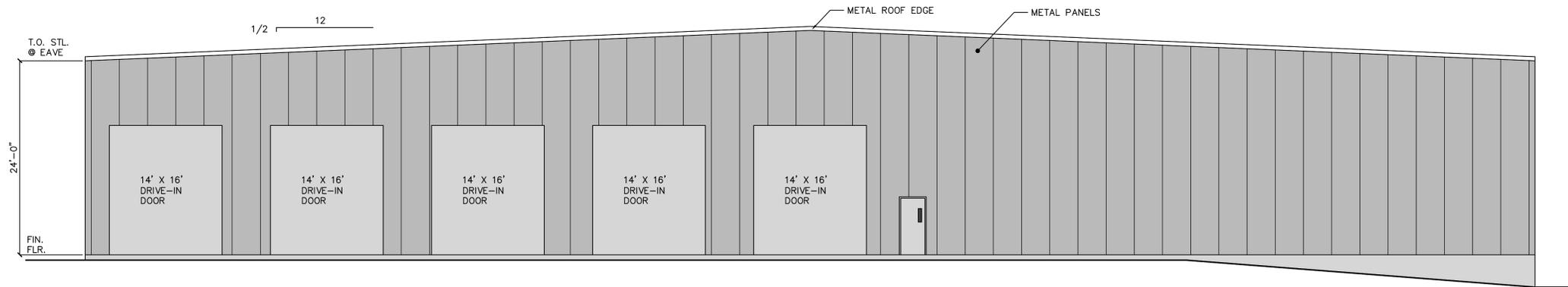
**L-3.0**



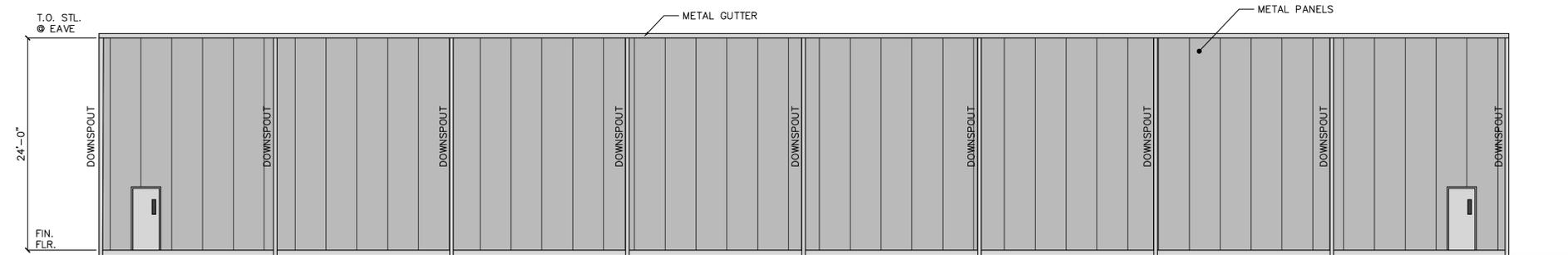
NORTH ELEVATION 1  
SCALE: 1/8" = 1'-0" A4.1



EAST ELEVATION 2  
SCALE: 1/8" = 1'-0" A4.1



SOUTH ELEVATION 3  
SCALE: 1/8" = 1'-0" A4.1



WEST ELEVATION 4  
SCALE: 1/8" = 1'-0" A4.1

NO.	REVISION