

SITE DEVELOPMENT PLAN  
FOR  
NORTHEAST GREAT DANE

100 WORCESTER-PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS

APPLICANT:  
EASTLAND PARTNERS, INC.  
997 MILLBURY STREET, WORCESTER, MA 01607  
P: 508-647-1919

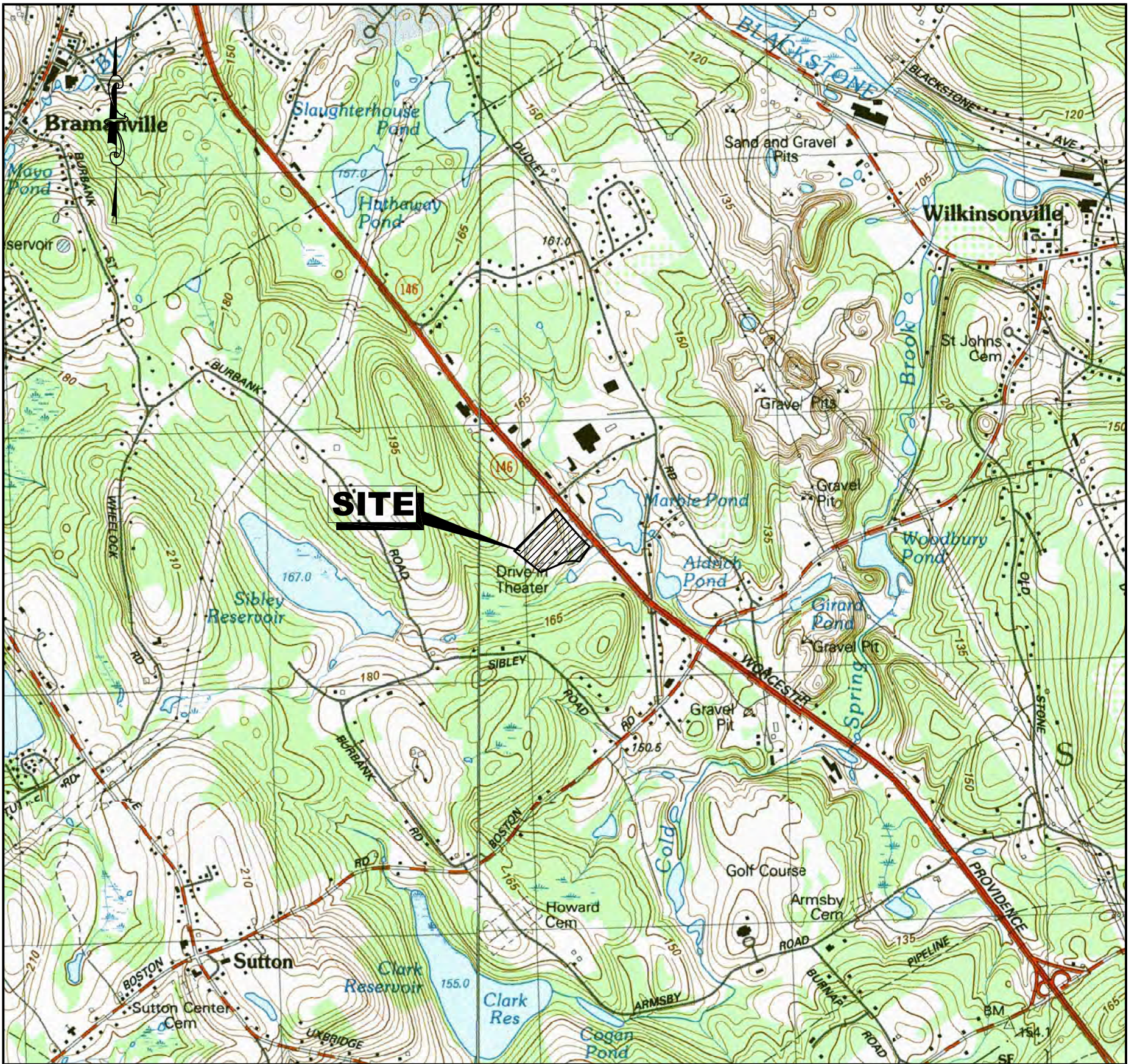
OWNER:  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540, WORCESTER, MA 01608

CIVIL ENGINEERING & LAND SURVEYING:  
TURNING POINT ENGINEERING  
P.O. BOX 757, SUTTON, MA 01590  
P: 508-381-1515

TRAFFIC:  
GREENMAN-PEDERSEN, INC.  
181 BALLARDVILLE STREET, SUITE 202 WILMINGTON, MA 01887  
P: 978-570-2999

WETLANDS CONSULTANT:  
B&C ASSOCIATES, INC.  
2 RICE STREET, HUDSON, MA 01749  
P: 978-568-0135

LANDSCAPE ARCHITECT:  
EARTHDESIGN LANDSCAPE  
ARCHITECTURE LLC  
280 BEVERLY ROAD, WORCESTER, MA 01605  
P: 508-852-2644




U.S.G.S MAP  
SCALE: 1" = 1,500'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0
GENERAL NOTES, ABBREVIATIONS & LEGEND	C-1.1
LOCATION PLAN	C-1.2
EXISTING CONDITIONS & DEMOLITION PLAN	C-2.1
LAYOUT & MATERIALS PLAN	C-3.1
UTILITY PLAN	C-4.1
GRADING & DRAINAGE PLAN	C-5.1
EROSION CONTROL PLAN, NOTES & DETAILS	C-6.1 - C-6.3
CONSTRUCTION DETAILS	C-7.1 - C-7.5
LANDSCAPE PLAN	L-1.0
LANDSCAPE SCHEDULE & DETAILS	L-2.0
LANDSCAPE NOTES	L-3.0
BUILDING PLANS	--

DRAWING LIST

<b>OWNER OF RECORD:</b> SUTTON MOTOR-IN TRUST ONE MERCANTILE STREET, SUITE 540 WORCESTER, MA 01608	<b>SUTTON ASSESSORS INFORMATION:</b> MAP 10, PARCEL 18 9.41± ACRES
<b>DEED REFERENCE:</b> BK. 9774, PG. 388	<b>SUTTON ZONING INFORMATION:</b> ROUTE 146 OVERLAY DISTRICT UNDERLYING ZONE: BUSINESS-HIGHWAY (B-2) MINIMUM AREA: 40,000 S.F. MINIMUM LOT WIDTH & FRONTAGE: 200' SETBACKS: FRONT 50', SIDE 20', REAR 40' OPENSOURCE: 35% (MIN.)
<b>PLAN REFERENCES:</b> P.B. 138, PL. 52 P.B. 509, PL. 84 1936 STATE HIGHWAY LAYOUT	

PROPERTY INFORMATION



TURNING POINT ENGINEERING

CIVIL SITE DESIGN

P.O. Box 757 • Sutton, MA 01590  
P: (508) 381-1515 F: (508) 647-0189  
www.tpecivildesign.com

APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

PROJECT NAME

NORTHEAST GREAT DANE  
#100 WORCESTER-PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
WORCESTER, MA 01608

PREPARED FOR

Eastland Partners, Inc.  
997 Millbury Street  
Worcester, MA 01607

REVISIONS

REV.	DATE	DESCRIPTION

PROJECT NO. TPE-1126

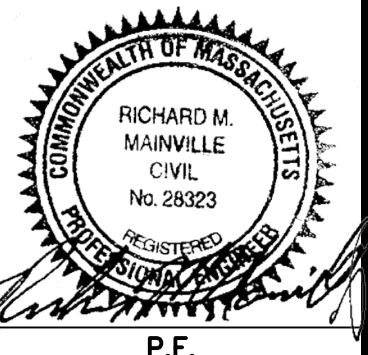
DESIGNED BY TRB, SJO


CHECKED BY RMM, BW

DATE DECEMBER 14, 2023

CAD FILE H:\GREAT DANE.SP.dwg

PLAN NO. L-412





P.E.

P.L.S.

SHEET TITLE

COVER SHEET

DRAWING ISSUED FOR:

PERMIT

THIS PLAN IS INTENDED TO SHOW CONSTRUCTION AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

SHEET NO.

C-0.0









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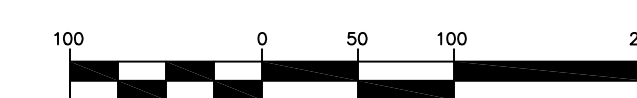
FOR FURTHER INFORMATION:

Eastland Partners, Inc.  
997 Millbury Street  
Worcester, MA 01607

Eastland

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GRAPHIC SCALE

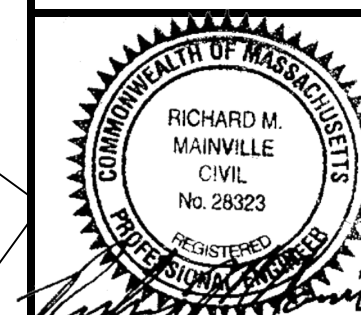


(IN FEET)

1 inch = 100 feet

SHEET TITLE

LOCATION PLAN



SHEET NO.

C-1.2

I:\PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE \_SP.DWG









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BEING A MAJORITY

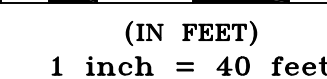
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**WORCESTER, MA 01608**

FOR FURTHER INFORMATION:

Eastland

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GRAPHIC SCALE



**SHEET TITLE**

## LAYOUT & MATERIALS PLAN



C-3.1

I:\PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE \_SP.DWG

MAP 10, PARCEL 17  
#7 KAMAITIS ROAD  
N/F PAUL T. WATTS, JR.  
BK. 7862, PG. 115  
P.B. 509, PL. 84

MAP 10, PARCEL 17  
#7 KAMAITIS ROAD  
N/F PAUL T. WATTS, JR.  
BK. 7862, PG. 115  
P.R. 509, PL. 84 —

MAP 10, PARCEL 169  
#58 SIBLEY ROAD  
N/F JAMES E. MARRAN, JR.  
BK. 45290. PG. 234

**PARKING REQUIRED:**  
PER SECTION IV.B OF THE ZONING BY-LAW  
1 SPACES PER 250 S.F. OFFICE SPACE USE = 10 SPACES  
1 SPACES PER 1,000 S.F. INDUSTRIAL USE = 16 SPACES  
1 SPACES PER 2,000 S.F. WAREHOUSE USE = 5 SPACES  
TOTAL REQUIRED = 32 SPACES

**PARKING PROVIDED:**  
STANDARD: 32 SPACES  
HANDICAP: 2 SPACES  
TOTAL PROVIDED: 34 SPACES

ZONING INFORMATION TABLE			
ZONE: BUSINESS-HIGHWAY (B-2) & ROUTE 146 OVERLAY DISTRICT			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	40,000 S.F.	409,796 S.F.	409,796 S.F.
MIN. FRONTAGE	200'	649.80'	649.80'
MIN. SETBACKS:	---	---	---
FRONT	50'	314'±	179.0'
SIDE	20'	241'±	80.0'
REAR	40'	336'±	293.5'
MIN. OPENSPACE (%)	35% *	32.5%	35.3%
MAX. BLDG. HEIGHT (FT.)	35'	12'±	35'
MAX. BLDG. COVERAGE (%)	50%	<1%	7.0%

\* REQUIRED MIN. OPEN SPACE AS DEFINED IN THE ROUTE 146 OVERLAY DISTRICT (NOT INCLUDING BUILDING SETBACK AREAS) IS 35% IN THE 146 OVERLAY DISTRICT.





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APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD

### BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

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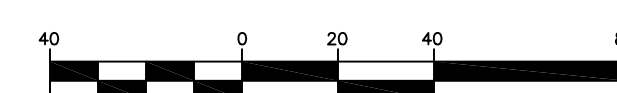
**PREPARED FOR**

Eastland Partners, Inc.  
997 Millbury Street  
Worcester, MA 01607

Eastland

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GRAPHIC SCALE

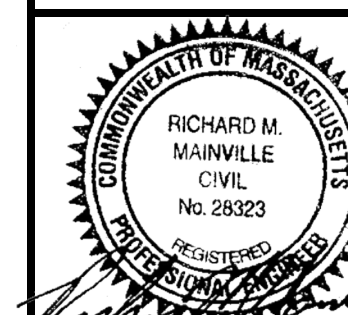


(IN FEET)

1 inch = 40 feet

**SHEET TITLE**

UTILITY PLAN



SHEET NO.

C-4.1

I:\\_PROJECTS\SUTTON\1126-SUTTON-100 WORC-PROV TURNPIKE\DWG\PERMIT\PLANNING BOARD\GREAT DANE \_SP.DWG



MAP 10, PARCEL 17  
#7 KAMAITIS ROAD  
N/F PAUL T. WATTS, JR.  
BK. 7862, PG. 115  
P.B. 509, PL. 84

MAP 10, PARCEL 17  
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BK. 7862, PG. 115  
P.B. 509, PL. 84 —

100' ZONING BUFFER

A topographic map of the study area. The map features contour lines with elevations of 344, 342, 340, 338, 336, and 330 feet. Three land use categories are labeled: BUSINESS-HIGHWAY (B), RESIDENTIAL (R), and RURAL (C). The map shows a network of roads and the distribution of these land use types across the terrain.

WORCESTER - PROVIDENCE TURNPIKE (ROUTE 146)  
 (120' WIDE ~ STATE HIGHWAY LAYOUT OF 1939)

UP #2502  
 C416

MAP 10, PARCEL 19  
#118 WORCESTER-PROVIDENCE TURNPIKE  
N/F  
118 WORCESTER-PROVIDENCE TURNPIKE, LLC  
BK. 55255, PG. 52  
P.B. 919, PL. 53

MAP 10, PARCEL 19  
#118 WORCESTER-PROVIDENCE TURNPIKE  
N/F  
118 WORCESTER-PROVIDENCE TURNPIKE, LLC  
BK. 55255, PG. 52  
P.B. 919, PL. 53











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EROSION AND SEDIMENT CONTROL REQUIREMENTS

PART 1 – GENERAL  
1.01 SUMMARY

A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS, BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, VEHICLE TRACKING PADS, DIVERSION CHANNELS AND BERMS, CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G. SOIL, MULCH, SOD) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS, OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, TRIBUTARIES TO WETLANDS, WETLAND BUFFER ZONES, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES.

B. ALL METHODS AND MATERIALS USED FOR EROSION CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AS PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, UNLESS OTHERWISE APPROVED IN WRITING.

C. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF LIMITS OF DISTURBANCE AND CONTROL MEASURES REQUIRED TO COMMENCE WORK. LIMITS OF DISTURBANCE SHALL BE MARKED WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING. THE DRAWINGS ARE NOT INTENDED TO GRAPHICALLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

D. BASED ON THE COMPOSITION OF SOILS ENCOUNTERED DURING THE EXPLORATION PROGRAM, SITE SOILS ARE GENERALLY CLASSIFIED AS TYPE A SOILS AS DEFINED BY (USGS) NATIONAL RESOURCES CONSERVATION SERVICE (NRCS), FORMERLY SOIL CONSERVATION SURVEY (SCS). TEMPORARY CONSTRUCTION SLOPES SHOULD BE DESIGNED IN STRICT COMPLIANCE WITH THE MOST RECENT GOVERNING REGULATIONS. STOCKPILES SHOULD BE PLACED WELL AWAY FROM THE EDGE OF THE EXCAVATION AND THEIR HEIGHT SHOULD BE CONTROLLED TO PREVENT SURCHARGE TO THE SIDES OF THE EXCAVATION. SURFACE DRAINAGE SHOULD BE CONTROLLED TO AVOID FLOW OF SURFACE WATER INTO THE EXCAVATIONS.

E. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

F. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.

G. DEVISE, EMPLOY AND MAINTAIN CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA.

H. ONCE THE SITE IS PERMANENTLY STABILIZED AND CERTIFIED AS SUCH BY ENGINEER, REMOVE TEMPORARY CONTROL MEASURES WHILE PROTECTING STABILIZED SURFACES.

1.02 SUBMITTALS

A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.

B. SUBMIT SKETCH SHOWING LOCATIONS OF PROPOSED STOCKPILE AREAS, CONSTRUCTION ENTRANCES AND EROSION CONTROLS IF NOT SHOWN ON THE SITE PLAN OR DIFFERENT FROM THOSE LOCATIONS SHOWN ON THE SITE PLAN.

C. A SITE SPECIFIC SEQUENCE OF CONSTRUCTION FOR EACH PORTION OF THE SITE.

1.03 QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY. WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 2 – PRODUCTS

2.01 MATERIALS

I. STRAW BALES: WEED FREE DRY GRASS OR STRAW, MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 42" X 16" X 16". EACH BALE SHALL BE STAKED WITH A MINIMUM OF TWO 24" LONG HARDWOOD STAKES.

J. STRAW WATTLES: NORTH AMERICAN GREEN MODEL WS1210 OR APPROVED EQUAL.

K. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM/SY MINIMUM, GRAB TENSILE RATED AT 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO. 2130 BY AMOCO FABRICS & FIBERS, OR APPROVED EQUAL.

L. MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.

M. SEED MIXES: SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION SECTION 6.03.0 OR 6.03.1 AS APPROPRIATE.

N. EXCELSIOR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, 80% OF FIBERS 6-INCHES LONG OR LONGER, WEIGHT 0.975 POUNDS / SY, CONTAINING NO CHEMICAL ADDITIVES. USE CURLEX I BLANKET BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL.

O. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TAILINGS.

P. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE.

PART 3 – EXECUTION

3.01 THROUGHOUT CONSTRUCTION

A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN CONTROL MEASURES SUCH AS DIVERSION CHANNELS AND BERMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBDIVIDE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.

B. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED AND THE CONSTRUCTION SPECIFICATIONS.

C. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

D. INSPECT EROSION CONTROLS DAILY THROUGHOUT CONSTRUCTION REPAIR DAMAGED CONTROLS IMMEDIATELY.

E. STRAW WATTLES SHALL BE PLACED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN FILL AREAS & SUBJECT TO STORMWATER RUN-OFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. NO SEDIMENTS SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.

F. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED STRAW WATTLES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.

G. ALL DISTURBED OR EXPOSED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.

H. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.

I. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW WATTLE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

J. ALL PROPOSED NON-RIPRAP SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EXCELSIOR BLANKETS AND PROTECTED FROM EROSION.

K. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.

PART 3 – CONTINUED

L. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE STRAW WATTLES, SILT FENCE AND STAKES, AND CRUSHED STONE.

M. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO ENSURE INTENDED FUNCTION; BY SUPPLEMENTING AS NECESSARY FOR ADEQUATE EXTENT; BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.

N. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITH CONTROL MEASURES AS SOON AS PRACTICABLE.

O. WHEN RAINFALL GREATER THAN 1.0" IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.

P. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.

Q. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.

3.02 SITE PREPARATION AND ACCESS

A. WALK SITE AND IDENTIFY LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.

B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFINING THE LIMIT OF WORK.

C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT.

3.03 CLEARING, GRUBBING, AND STRIPPING

A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.

B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE. NO GREATER THAN FIVE (5) ACRES SHALL BE UNSTABLE AT ANY TIME.

C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.

D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.

E. PROCESS TIMBER, STUMPS, SLASH, AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.

3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES

A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING SUMP AND WELL POINT PUMPS PRIOR TO EXCAVATION.

B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.

C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.

D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.

E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.

3.05 SITE GRADING

A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.

B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION BERMS AND CHECK DAMS. IN ALL AREAS EXCEPT THOSE THAT DO NOT PRESENT POTENTIAL PROBLEMS WITH REGARD TO FUTURE SOIL STABILITY, DRAINAGE, OR BEARING CAPACITY, REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.

C. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.

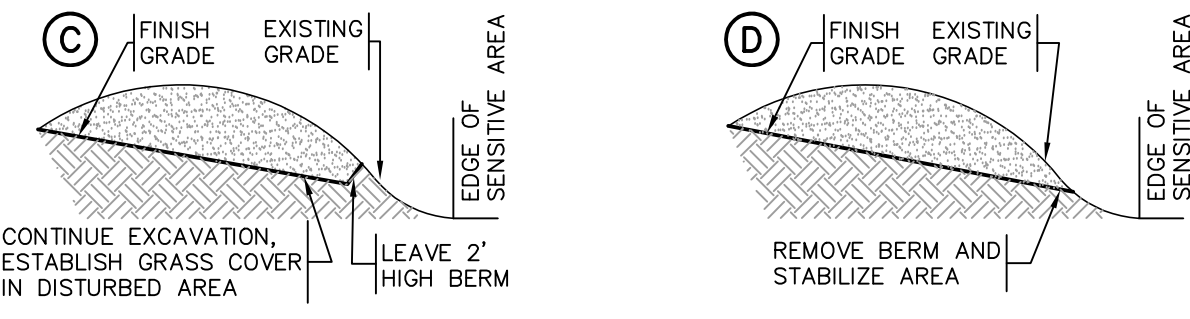
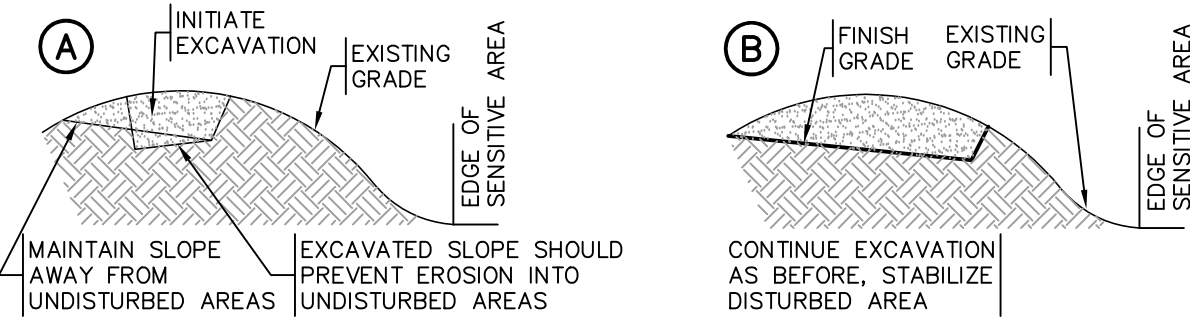
D. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER COMPLETION.

3.06 LANDSCAPING

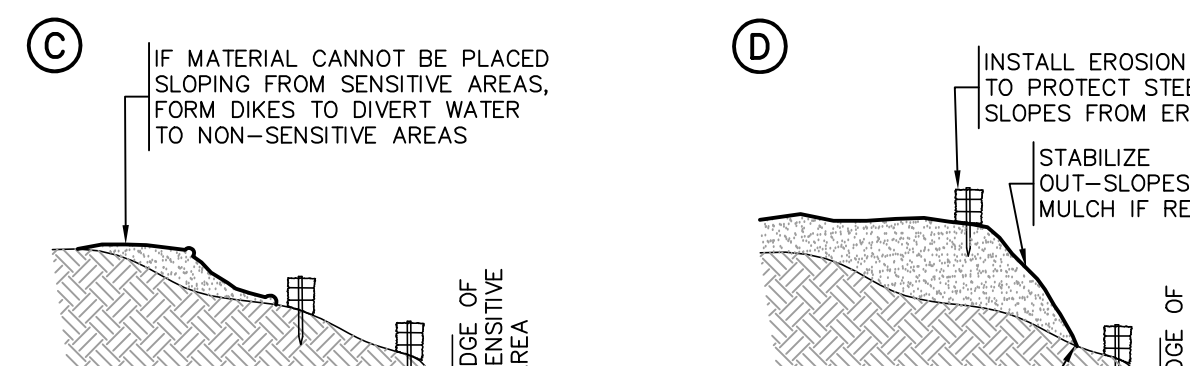
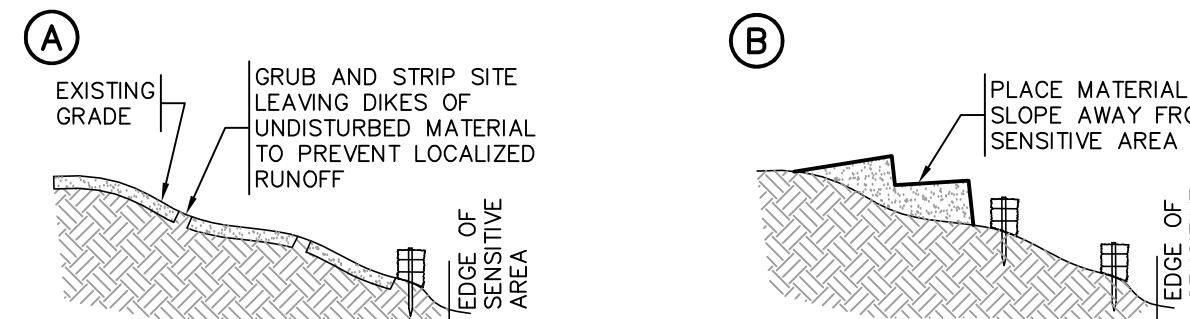
A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE.

B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING, BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET.

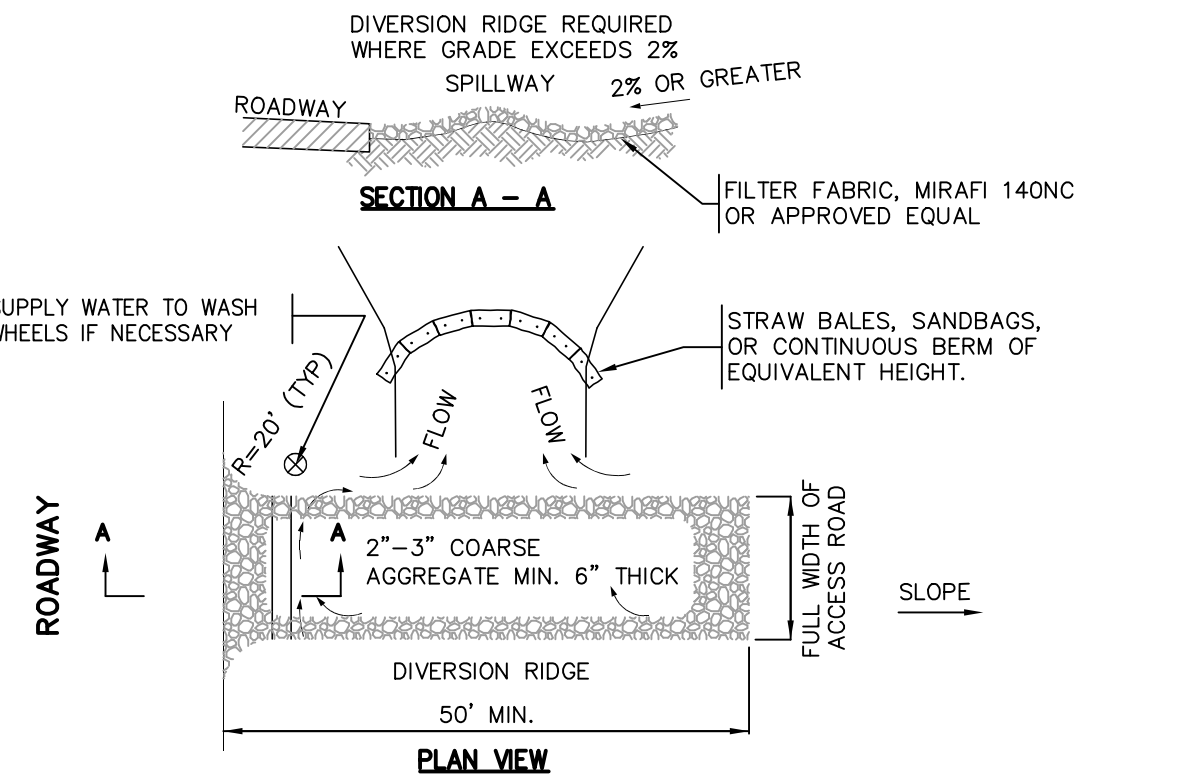
C. PERMANENT SEEDING MAY BE PERFORMED IN THE SPRING PRIOR TO JULY 1 AND IN BETWEEN AUGUST 1 AND OCTOBER 15. PERMANENT SEEDING AT OTHER TIMES SHALL BE APPROVED AND SHALL ONLY BE ALLOWED WITH AN APPROVED MULCHING AND IRRIGATION PROGRAM.



1 EXCAVATION PROCEDURE  
N.T.S.



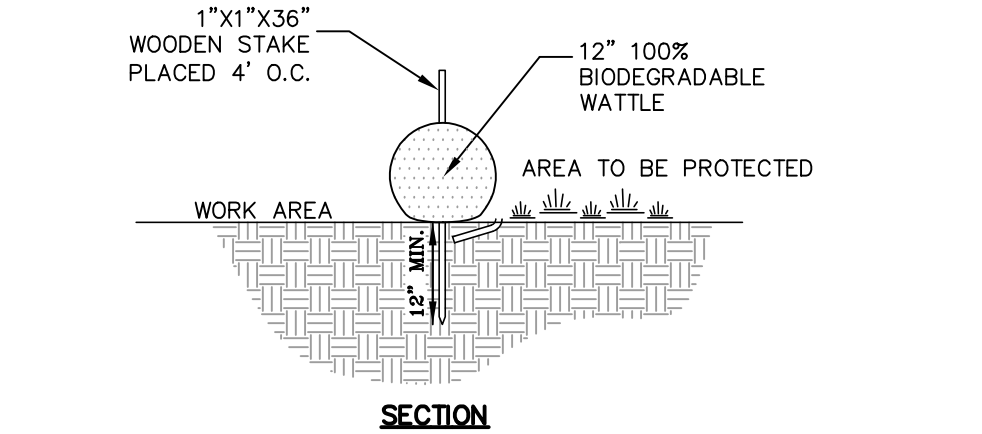
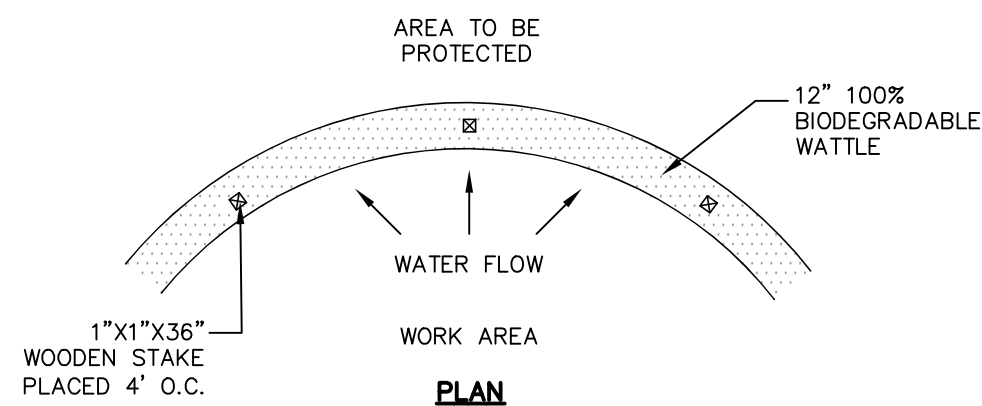
3 FILL PROCEDURE  
N.T.S.



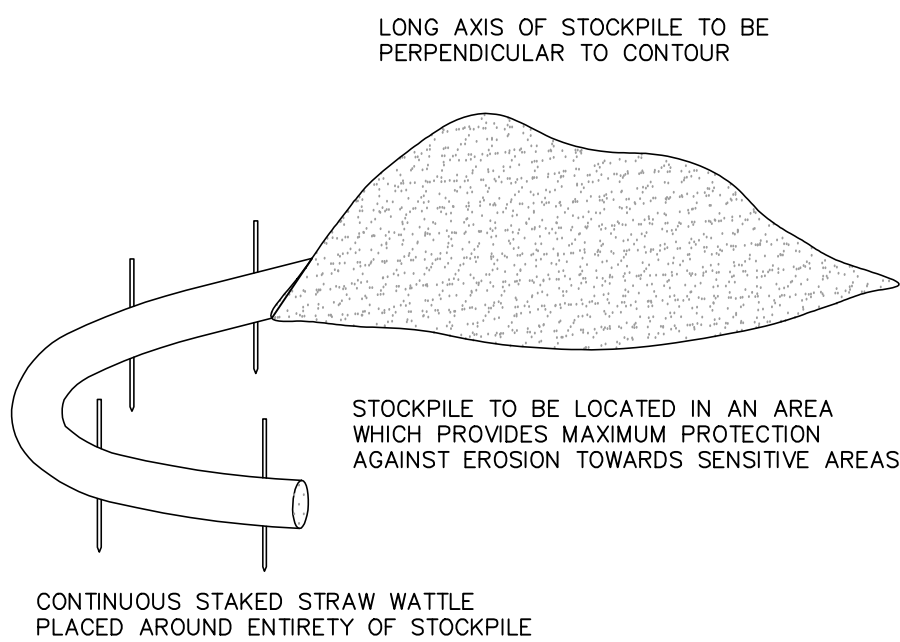
NOTES:

- [1] THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- [2] WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- [3] WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- [4] USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

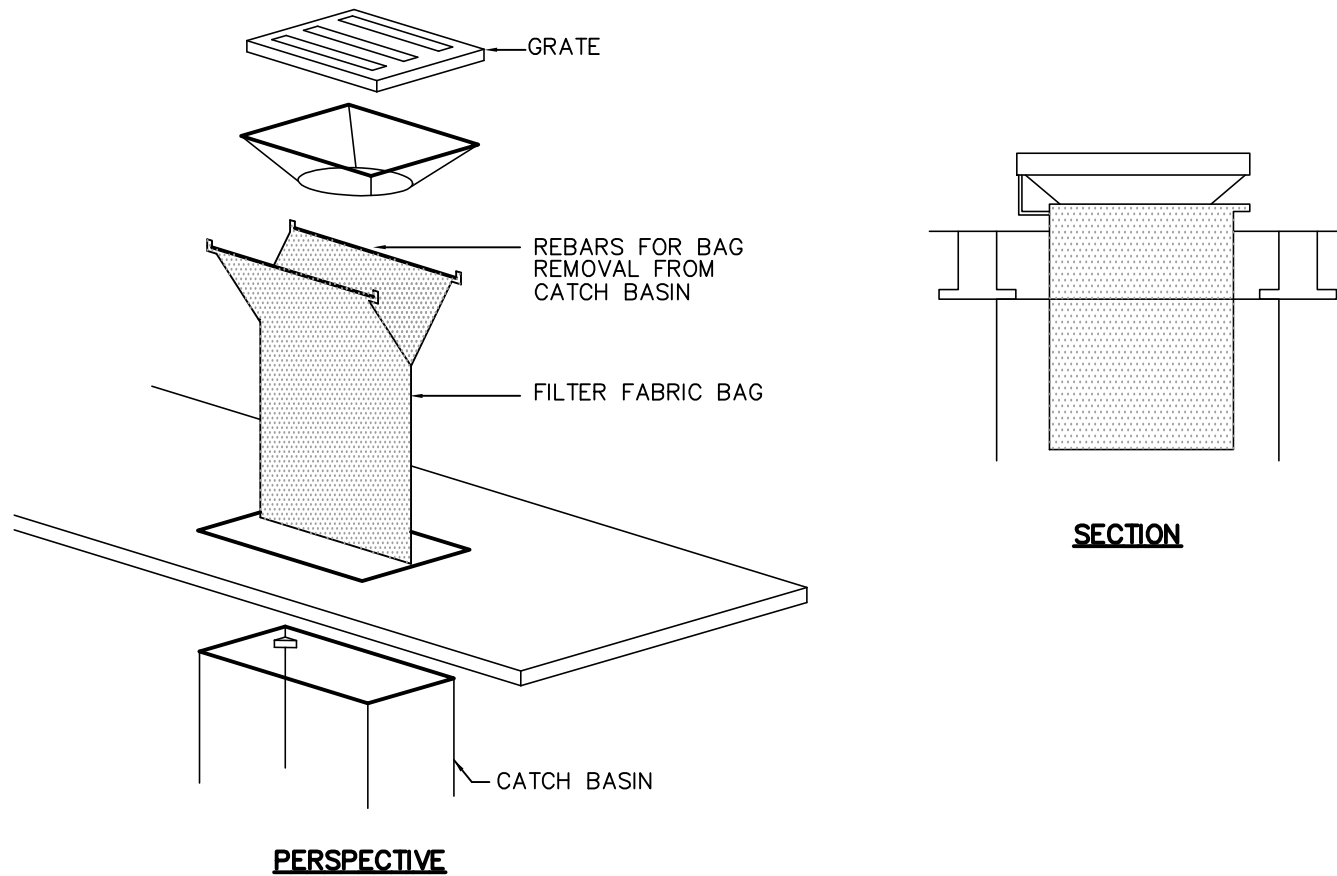
5 CONSTRUCTION ENTRANCE  
N.T.S.



2 EROSION CONTROL BARRIER (ECB)  
N.T.S.



4 TEMPORARY STOCKPILE  
N.T.S.



NOTES:

- [1] TO BE SILTSTACK BY ATLANTIC CONSTRUCTION FABRICS, INC., OR APPROVED EQUAL.
- [2] TO BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN STRUCTURE AND REMAIN UNTIL FINISH COURSE IS PLACED.
- [3] FILTER BAG SHALL BE MAINTAINED AND CLEANED AS NEEDED.

6 CATCH BASIN FILTER BAG  
N.T.S.



TURNING POINT ENGINEERING

CIVIL SITE DESIGN

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APPROVAL UNDER SITE PLAN REVIEW.  
SUTTON PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_

ENDORSEMENT DATE: \_\_\_\_\_

PROJECT NAME  
**NORTHEAST GREAT DANE  
#100 WORCESTER-PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS**

**SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
WORCESTER, MA 01608**

PREPARED FOR

Eastland Partners, Inc.  
987 Milbury Street  
Worcester, MA 01607

**Eastland**

REVISIONS		PROJECT NO.		DESIGNED BY		CHECKED BY		DATE		CAD FILE		PLAN NO.	
REV.	DATE												

SHEET TITLE	
EROSION CONTROL PLAN, NOTES & DETAILS	
SHEET 2 OF 3	

SHEET NO.	
C-6.2	













③ MONOLITHIC CEMENT CONCRETE CURB  
NTS



⑥ ACCESSIBLE CURB RAMPS (AR)  
N.T.S.



10 DETECTABLE WARNING PLATE FOR ACCESSIBLE RAMPS  
N.T.S.

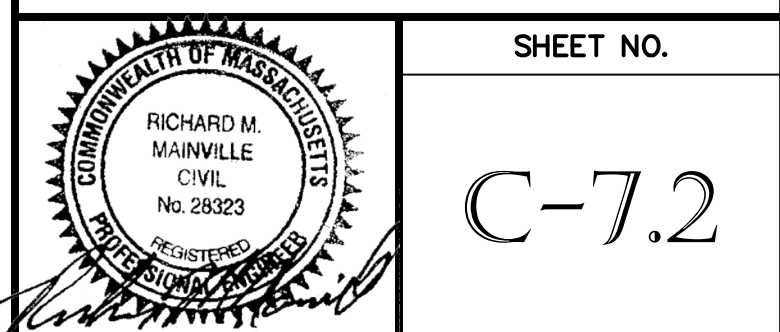






Diagram illustrating the top view of a mechanical part. The part features a central collar and a wider base. The width of the central collar is labeled  $B$ . The total width of the base is labeled  $W$ . The distance from the centerline to the edge of the base is labeled  $A$ . The height of the base is labeled  $L$ . The top of the part is labeled **COLLAR**.



Diagram illustrating the typical outfall rip-rap apron. The apron is shown as a trapezoidal area filled with rip-rap. The top width is labeled as 5'-0". The vertical dimension is labeled as LENGTH. The bottom width is labeled as WIDTH.



Technical drawing showing a cross-section of a pipe or tube. The drawing includes a section labeled "FLARED END SECTION" and a section labeled "A-A". The section "A-A" is indicated by a line with arrows pointing to the right, labeled "A" and "SEE PLANS". The drawing shows the internal structure of the pipe, including a central core and a surrounding material with a porous or cellular appearance.

Technical drawing of a mechanical part with the following dimensions:

- Total height:  $1\frac{3}{8}$  inch
- Top section height: 1 inch
- Hole diameter: 24" D.I.A.
- Base width:  $4\frac{3}{8}$  inch

ALTERNATE TOP SLAB SECTION  
(STEEL REINFORCED FOR HS-20 LOADING)



ALTERNATE TOP SLAB SECTION  
(STEEL REINFORCED FOR HS-20 LOADING)



7 PRECAST CONCRETE DOUBLE GRATE DEEP SUMP CATCH BASIN  
N.T.S.

APPROVAL UNDER SITE PLAN REVIEW.  
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BEING A MAJORITY

**NORTHEAST GREAT DANE**  
# 100 WORCESTER-PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
WORCESTER, MA 01608

Eastland

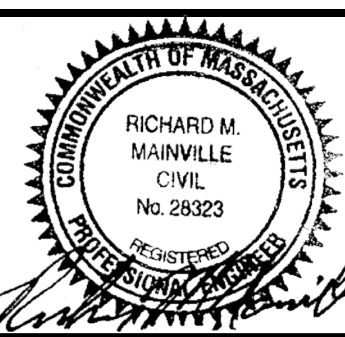
<b>REVISIONS</b>					
<b>REV.</b>	<b>DATE</b>	<b>DESCRIPTION</b>			
<b>PROJECT NO.</b> TPE-1126					
<b>DESIGNED BY</b> TRB, SJO					
<b>CHECKED BY</b> RMM, BW					
<b>DATE</b> DECEMBER 14, 2023					
<b>DWG FILE</b> H:\GREAT DANE_SP.dwg					
<b>PLAN NO.</b> L-412					

SHEET TITLE

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CONSTRUCTION DETAILS

SHEET 3 OF 5



**SHEET NO.**

C-7.3



1. ALL TOP AND SUBSOIL SHALL BE REMOVED PRIOR TO CONSTRUCTION OF INFILTRATION BASIN.
2. INFILTRATION BASINS NOT TO BE USED FOR SEDIMENT BASINS DURING CONSTRUCTION.



1. EMBANKMENT TO BE CONSTRUCTED OF CLEAN FILL FREE OF ORGANIC SOILS/MATERIALS WITH NO STONES OVER 12" MAX. DIMENSION. EMBANKMENT TO BE CONSTRUCTED IN COMPACTED LIFTS NOT TO EXCEED 8".
2. BASIN BOTTOM AND SIDE SLOPES (INSIDE AND OUT) TO BE COVERED WITH 4" LOAM AND SEED.
3. RIP-RAP SPILLWAY STONE (M2.02.2).



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\_\_\_\_\_

APPROVAL DATE: \_\_\_\_\_

ENDORSEMENT DATE: \_\_\_\_\_



**NOTE:**  
1. SEED ACCESS ROAD AND AREAS IDENTIFIED AS LOAM &  
SEED WITH SEED MIX NOTED BELOW

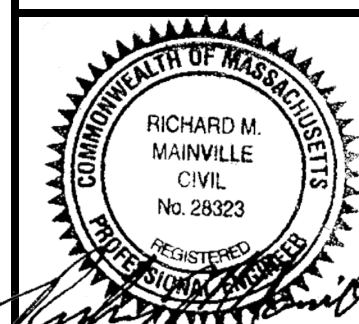
<u>SEED</u>	<u>% BY WEIGHT</u>
CREeping FESCUE IMPROVED VARIETIES	70
KENTUCKY BLUE GRASS IMPROVED VARIETIES	15
PERENNIAL RYE GRASS IMPROVED VARIETIES	15



1. MONITORING WELL TO BE MINIMUM 2IN DIAMETER PERFORATED SCH-40 PVC PIPE.
2. PIPE SHALL BE WRAPPED IN FILTER FABRIC IF INSTALLED IN OPEN HOLE.
3. END OF PIPE TO BE HAVE SCREW CAP AND BE RAISED 1 FOOT ABOVE THE SURROUNDING GROUND.



SHEET TITLE	
CONSTRUCTION DETAILS	
SHEET 4 OF 5	

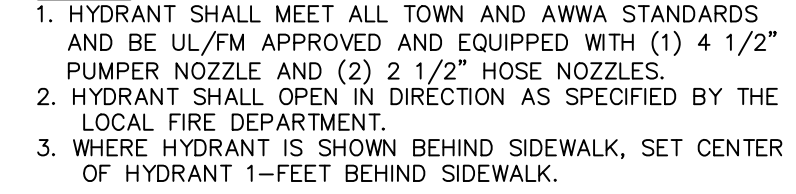


C-7.4





1. ALL FITTINGS SHALL BE COMPRESSION TYPE.
2. ALL APPURTANANCES SHALL CONFORM TO TOWN SPECIFICATIONS.
3. MECHANICAL JOINTS TO BE MEGALUG, OR APPROVED EQUAL.



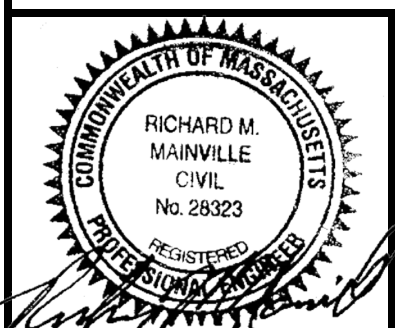
APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_



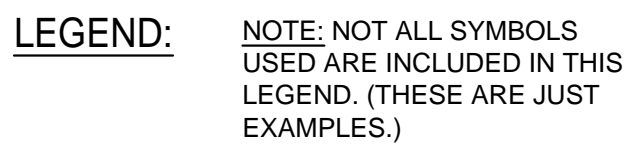
N.T.S.



N.T.S.

C-7.5



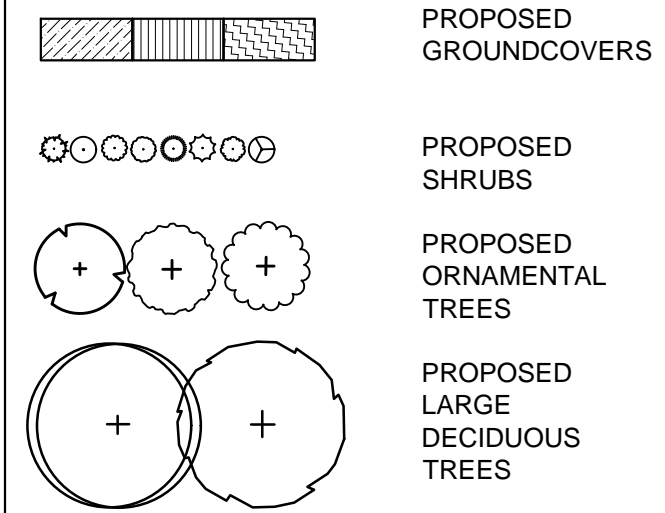


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**LEGEND:**

**NOTE:** NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)



1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.

2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.

3) SEE SHEET L-2.0 FOR PLANT SCHEDULE,  
DETAILS, AND PLANTING PLAN FOR PARKING  
AREA.

4) SEE SHEET L-3.0 FOR TECHNICAL NOTES.

5) DO NOT USE STAKES AND TIES FOR THE NEW TREES.

6) ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L-3.0.

7) ALL NON-PAVED, NON-PLANTED AREAS SHALL BE SEEDED AS SPECIFIED ON SHEET L-3.0.

PROJECT NAME  
NORTHEAST GREAT DANE  
#100 WORCESTER—PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
WORCESTER, MA 01608  
PREPARED FOR

**Eastland**  
Eastland Partners, Inc.  
937 Millbury Street  
Worcester, MA 01607

REVISIONS					
	REV.	DATE	DESCRIPTION		
	PROJECT NO.	TPE-1126			
	DESIGNED BY	AWW			
	CHECKED BY	AWW			
	DATE	DECEMBER 1, 2023			
	CAD FILE	H:\GREAT DANE_SP.dwg			
	PLAN NO.	L-			



SHEET TITLE

## LANDSCAPE PLAN

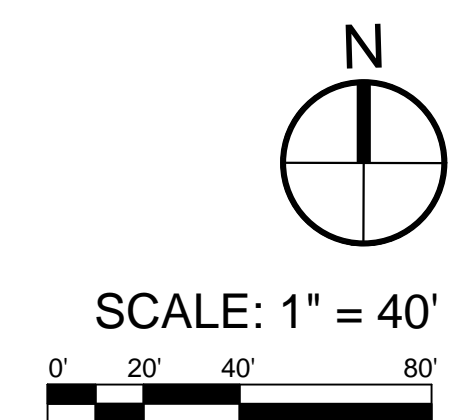
DRAWING ISSUED FOR:

**PERMIT**

THIS PLAN IS INTENDED TO SHOW CONSTRUCTIBILITY AND MAY NOT SHOW ALL CONSTRUCTION DETAILS AND SPECIFICATIONS FOR THE SHOWN IMPROVEMENTS AND MAY NOT IDENTIFY ALL CONSTRUCTION ITEMS/AREAS OF CONTRACTOR JURISDICTION.

SHEET NO.

L-1.0

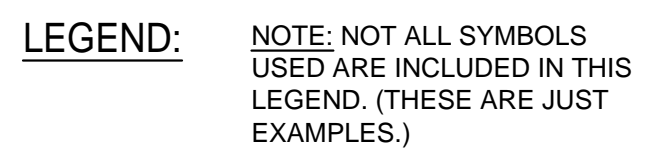






NOTE: PLANT SPECIES, CULTIVARS, SIZES, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT.\*\* THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.\*\* THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.

\*\*\* EXCEPT AS NOTED UNDER "PLANT SPACING & NOTES" IN THE PLANT SCHEDULE, BUT THOSE SUBSTITUTIONS MAY ONLY BE USED IF THE SPECIFIED PLANT IS NOT AVAILABLE AT ANY WHOLESALE NURSERIES IN THE REGION, AS NOTED ABOVE.



- 1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS. TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
- 2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
- 3) SEE SHEET L-1.0 FOR PLANTING PLAN FOR THE REST OF THE SITE.
- 4) SEE SHEET L-3.0 FOR TECHNICAL NOTES.
- 5) DO NOT USE STAKES AND TIES FOR THE NEW TREES.
- 6) ALL AREAS TO RECEIVE SEED AND PLANTINGS SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L-3.0.
- 7) ALL NON-PAVED, NON-PLANTED AREAS SHALL BE SEEDDED AS SPECIFIED ON SHEET L-3.0.



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SUTTON PLANNING BOARD

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APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

PROJECT NAME  
NORTHEAST GREAT DANE  
#100 WORCESTER—PROVIDENCE TURNPIKE  
SUTTON, MASSACHUSETTS  
SUTTON MOTOR-IN TRUST  
ONE MERCANTILE STREET, SUITE 540  
WORCESTER, MA 01608

**Eastland**  
Eastland Partners, Inc.  
997 Millbury Street  
Worcester, MA 01607

LANDSCAPE  
SCHEDULE & DETAILS

DRAWING ISSUED FOR:

SHIFT NO.

THIS PLAN IS INTENDED TO SHOW  
CONSTRUCTIBILITY AND MAY NOT  
SHOW ALL CONSTRUCTION DETAIL  
AND SPECIFICATIONS FOR THE  
SHOWN IMPROVEMENTS AND MAY  
NOT IDENTIFY ALL CONSTRUCTION  
ITEMS/AREAS OF CONTRACTOR  
JURISDICTION.

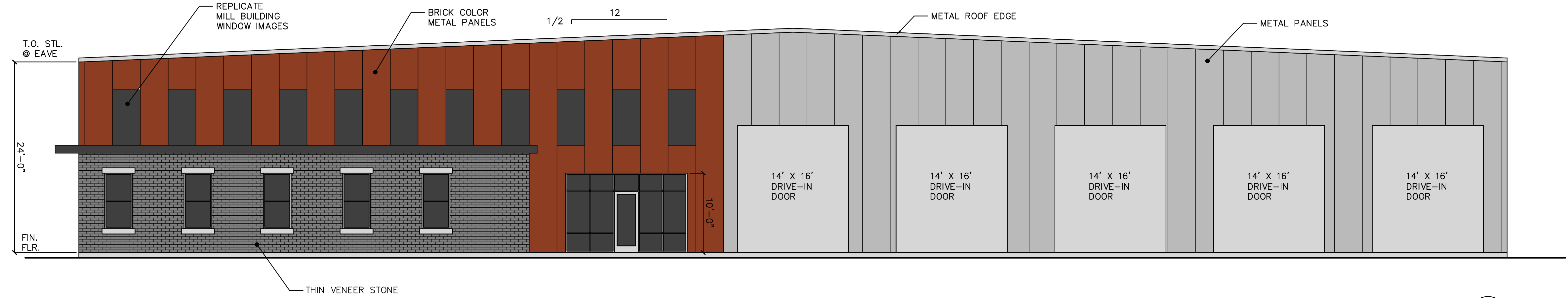
L-2.0

L-2.0



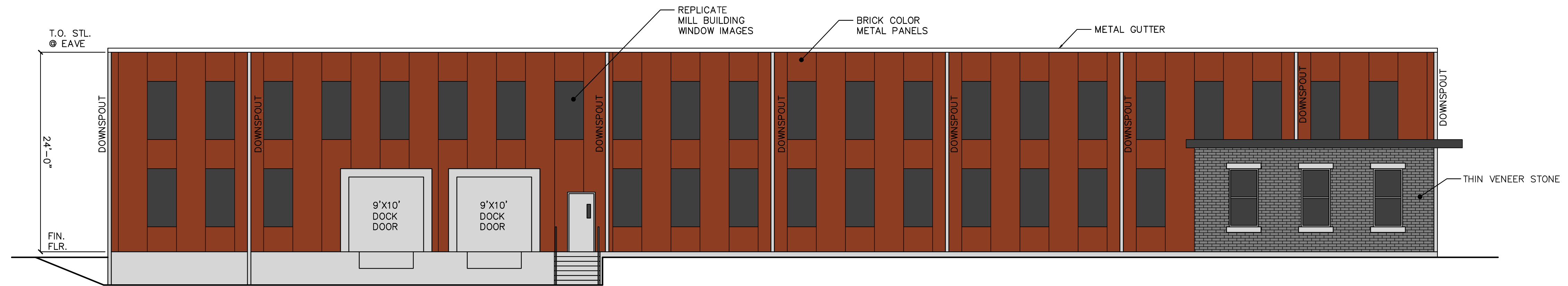






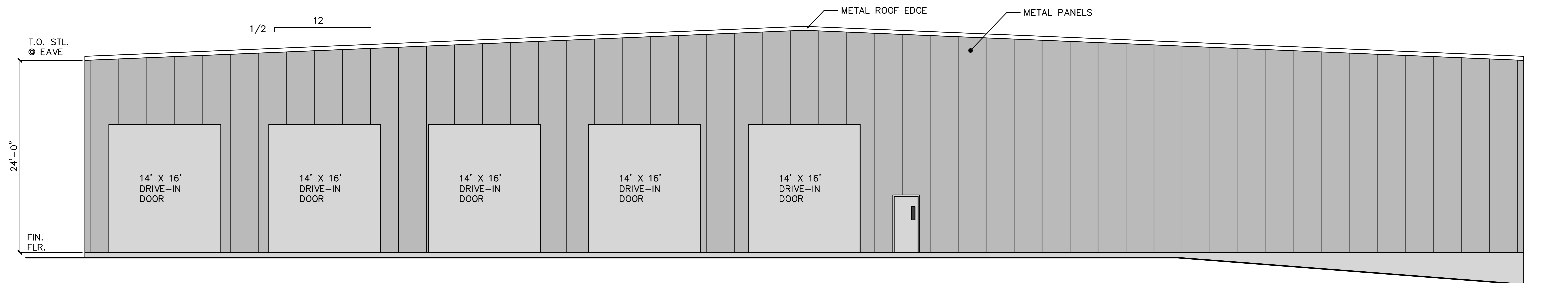
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

1  
A4.1



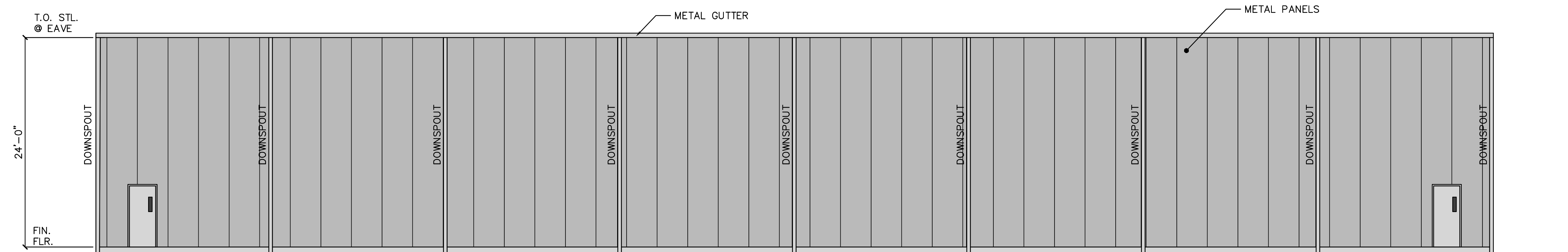
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

2  
A4.1



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

3  
A4.1



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

4  
A4.1



Gregory J. O'Connor Associates, Inc.  
ARCHITECTS  
339 Main Street • Worcester, MA 01608 • 508-757-1377

NO.	REVISION

NORTHEAST GREAT DANE  
100 WORCESTER PROVIDENCE TURNPIKE  
SUTTON MA

ELEVATIONS

DATE: 12/20/23  
JOB NO: 23-1395  
SHEET NUMBER:

A4.1