

PROPOSED SITE PLAN DOCUMENTS

FOR

DRAKE PETROLEUM COMPANY, INC.

PROPOSED FUELING STATION IMPROVEMENTS

LOCATION OF SITE:

27 WORCESTER-PROVIDENCE TURNPIKE,

TOWN OF SUTTON,

WORCESTER COUNTY, MASSACHUSETTS

MAP #5, LOT #18

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
DATE: 05/25/2023
REVISED: 10/03/2023

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REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	10/17/2023	RESPONSE TO COMMENTS	AEH
2	10/31/2023	RESPONSE TO COMMENTS	AEH



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DRAWN BY: AEH/CPB
DATE: 07/26/2023
CAD ID: MAA230138.00-SFPD-2A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

DRAKE
PETROLEUM
COMPANY, LLC

PROPOSED FUELING
STATION IMPROVEMENTS

MAP: 5 BLOCK: 18
27 WORCESTER PROVIDENCE
TURNPIKE,
TOWN OF SUTTON,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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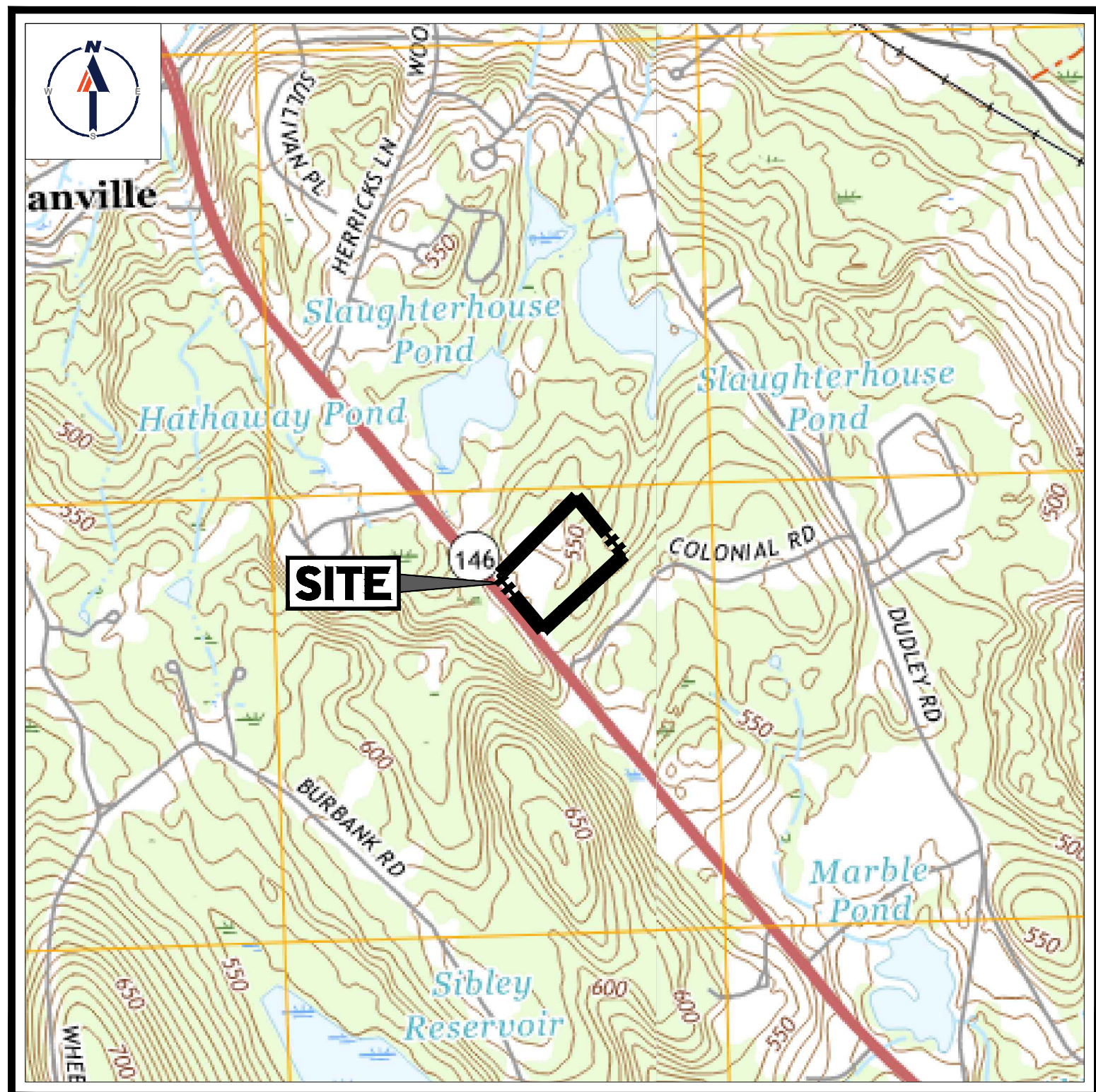
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

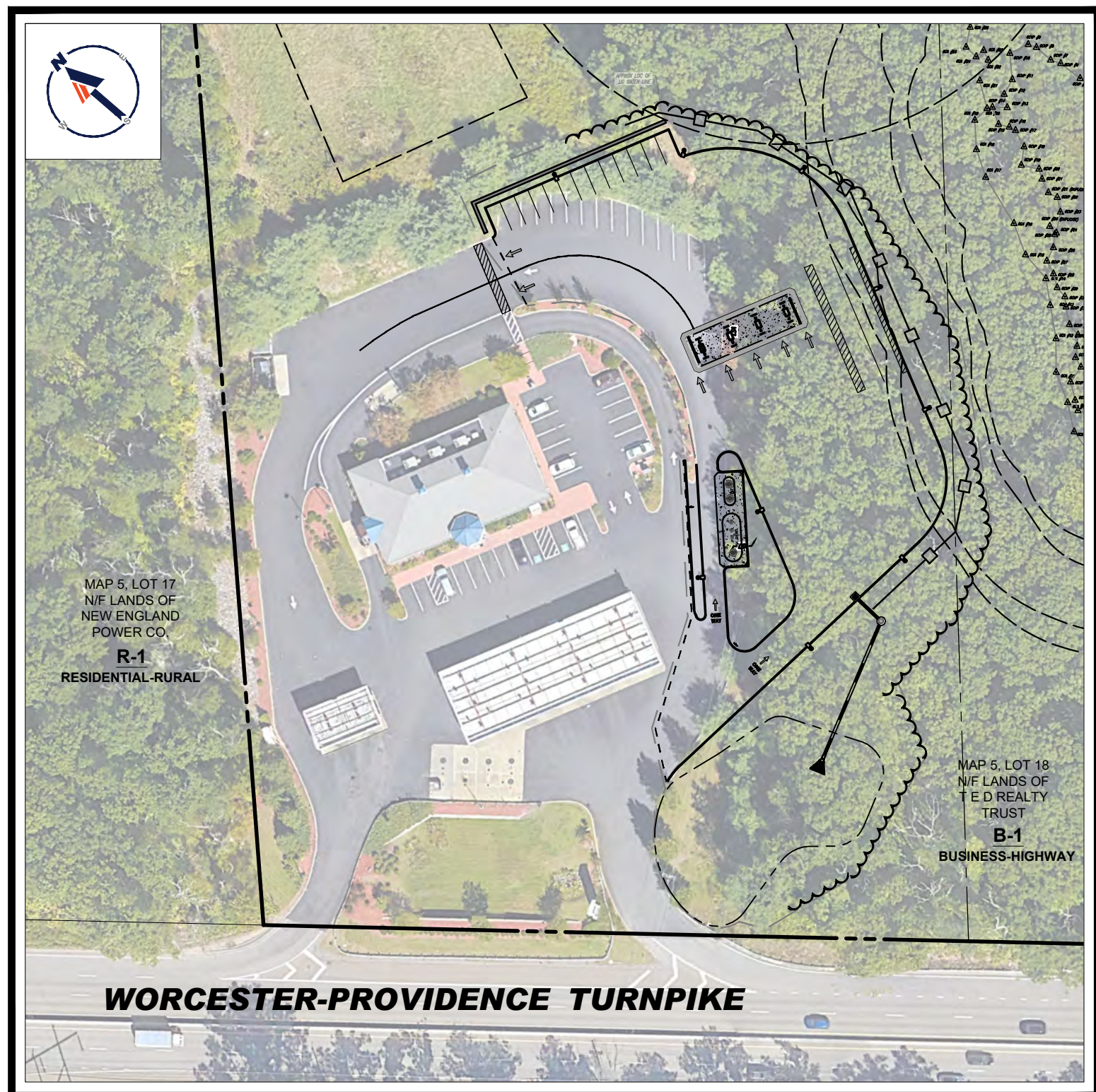
C-101

REVISION 2 - 10/31/2023



USGS MAP

SCALE: 1" = 1,000'
SOURCE: USGS



SITE MAP

SCALE: 1" = 80'
SOURCE: MICROSOFT AERIAL
IMAGERY 2023

PREPARED BY

BOHLER

DRAWING SHEET INDEX

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GRADING & DRAINAGE PLAN	C-401
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DETAIL SHEET	C-901
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REFERENCE PLANS	
BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY	3 SHEETS

APPROVAL BLOCK

TOWN PLANNING BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWN OF SUTTON, MA.

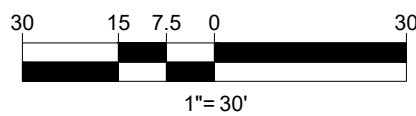
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PLAN DOCUMENTS**

— FOR —
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 COMPANY, LLC**

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MAP: 5 BLOCK: 18
27 WORCESTER PROVIDENCE
TURNPIKE,
TOWN OF SUTTON,
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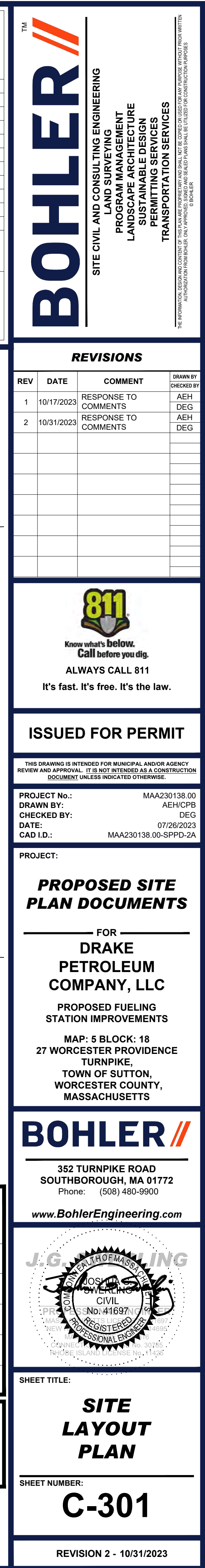
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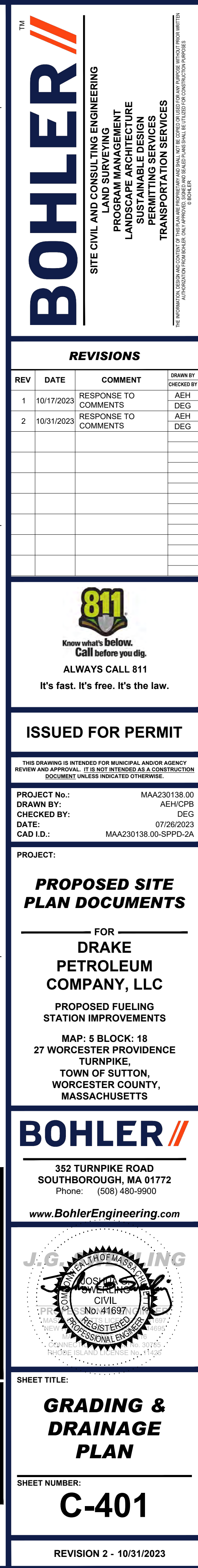
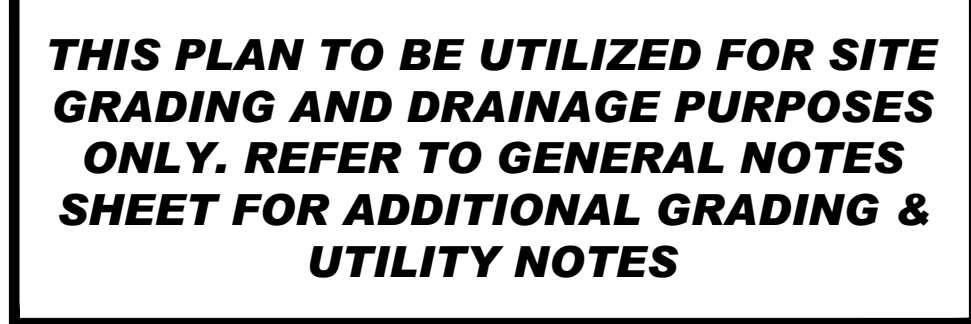
DEMOLITION PLAN

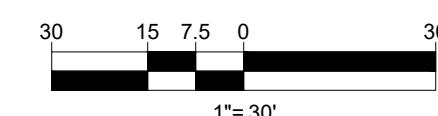
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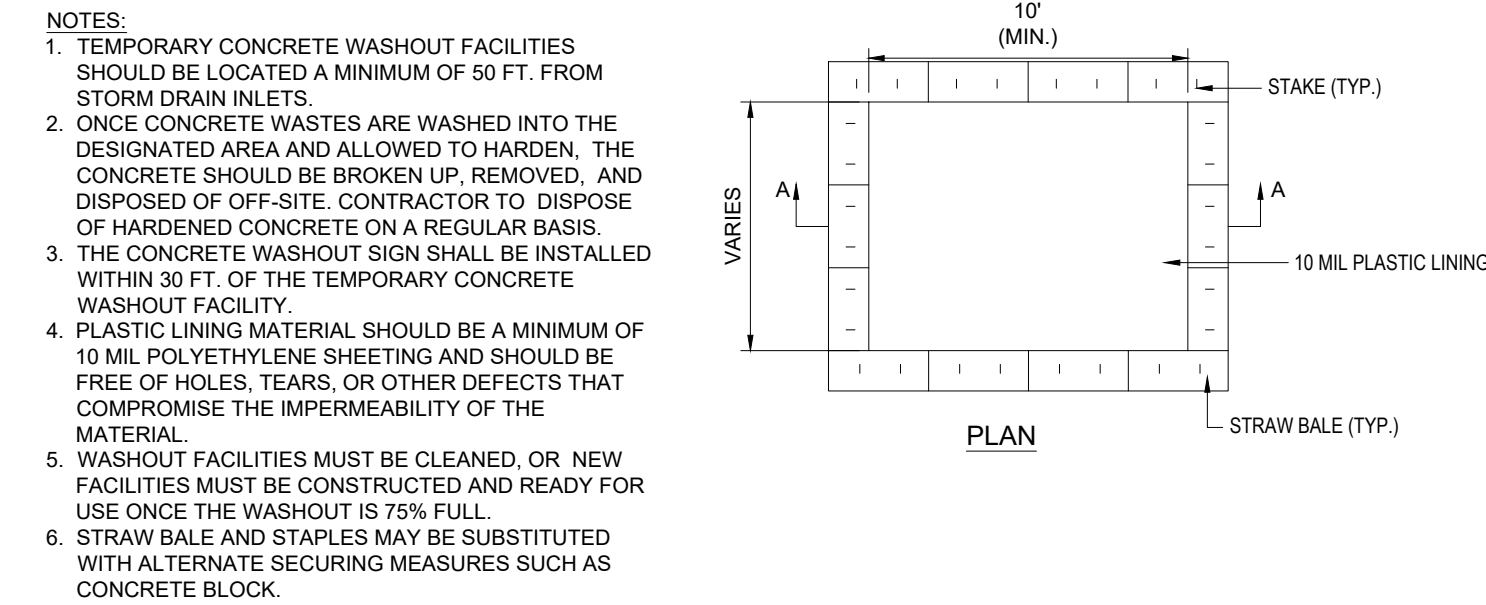
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STABILIZATION WORK AND ANY MULCH SHALL BE REMOVED.
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR CORROSION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOUSE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (ORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS SHALL BE REVEGETATED OTHERWISE GRASSED, SLOPED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF SOIL WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING REED FESCUE, 15% REDTOP, 15% PERENNIAL RYEGRASS, 15% KENTUCKY BLUE GRASS, 4% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOON FOR SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
12. WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

1. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND TO PREVENT INFILTRATION. STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
16. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
17. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
18. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
19. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
20. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
21. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
22. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
23. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL. EROSION CONTROL IS LISTED IN ITEM 6 ABOVE.
24. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHURING TECHNIQUE.
25. FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PREPARED WITH MULCH OR TEMPORARILY SEEDING. AREAS WITH EXPOSED AREAS FINE GRADED AND IS SMOOTH THEN MULCH MAY BE USED TO TEMPORARILY SEED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCH AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE TEMPORARY SURFACE TREATMENT, EROSION CONTROL SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
26. MULCHING REQUIREMENTS:
 - 26.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%, AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
27. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
28. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 1.84 ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - A. STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON SITE.
 - B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR MIN. 12" BODIEDGRABBER MULCH MATTLIES AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STABILIZATION.
 - C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM THE INLET PROTECTION.
7. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
8. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
9. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN PROPER EROSION CONTROL MEASUREMENTS.
17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



N.I.S.

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF GAS CANOPY
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER



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FOR
**DRAKE
PETROLEUM
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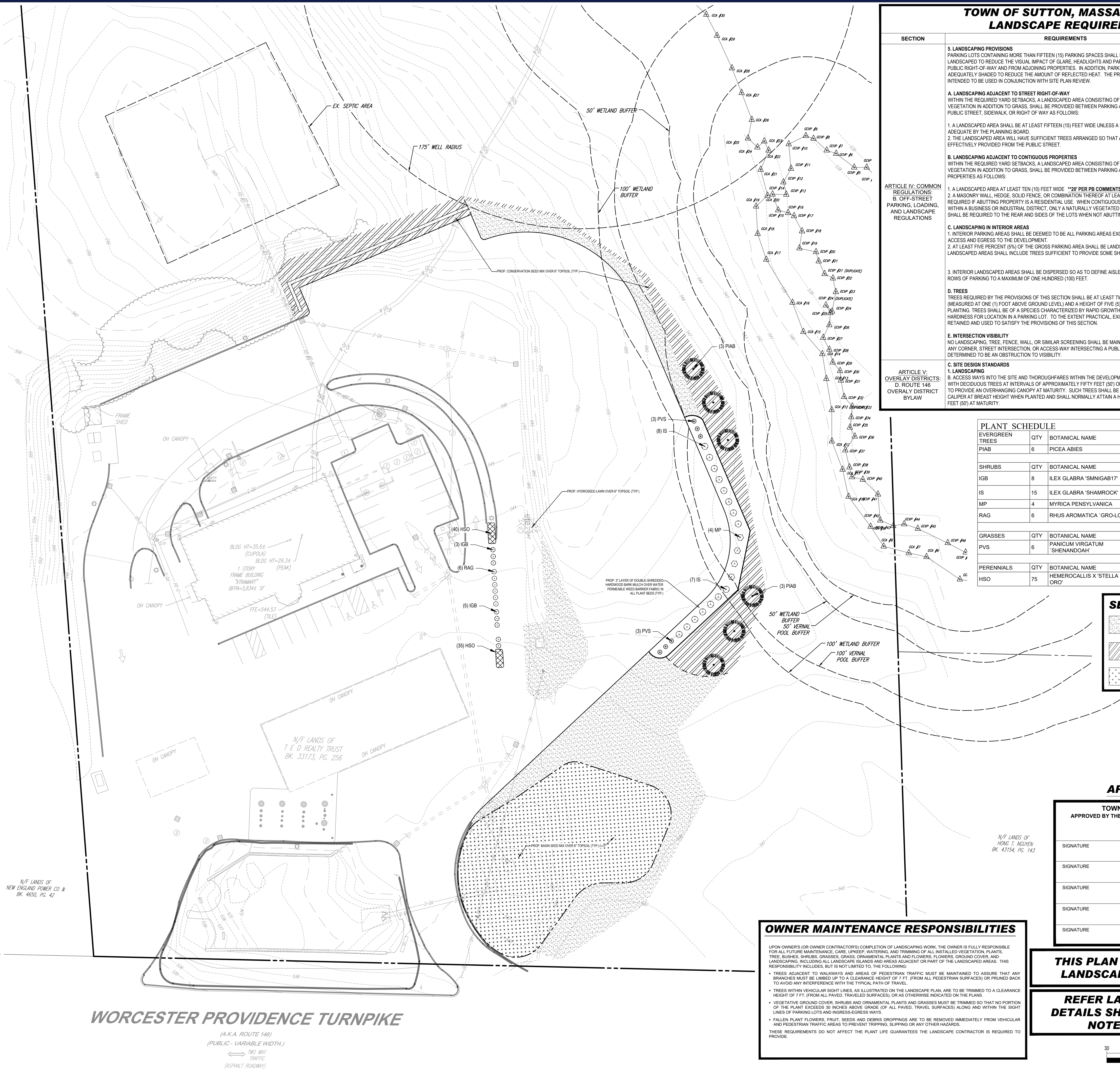
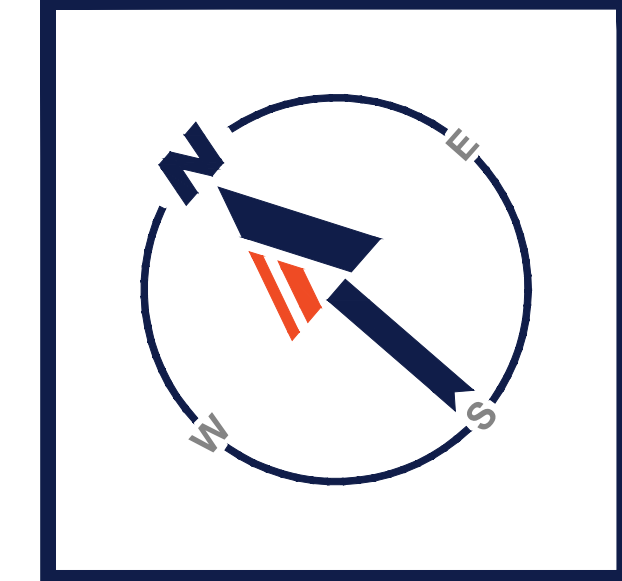
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COMMENCEMENT DATE: 03/07/85
RENEWAL DATE: 03/07/15
HAWAIIAN ISLAND LICENSE No. 11428

SHEET NUMBER:

REVISION 2 - 10/31/2023



WORCESTER PROVIDENCE TURNPIKE

(A.K.A. ROUTE 146)
(PUBLIC - VARIABLE WIDTH.)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)

OWNER MAINTENANCE RESPONSIBILITIES

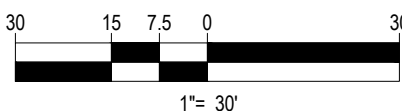
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION. PLANTS, TREES, BURNES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLAN.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND ACCESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



TOWN OF SUTTON, MASSACHUSETTS LANDSCAPE REQUIREMENTS

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
5. LANDSCAPING PROVISIONS	PARKING LOTS CONTAINING MORE THAN FIFTEEN (15) PARKING SPACES SHALL BE EFFECTIVELY LANDSCAPED TO REDUCE THE VISUAL IMPACT OF GLARE, HEADLIGHTS AND PARKING LOT LIGHTS FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJOINING PROPERTIES. IN ADDITION, PARKING LOTS SHALL BE ADEQUATELY SHADED TO REDUCE THE AMOUNT OF REFLECTED HEAT. THE PROVISIONS BELOW ARE INTENDED TO BE USED IN CONJUNCTION WITH SITE PLAN REVIEW.	
A. LANDSCAPING ADJACENT TO STREET RIGHT-OF-WAY	WITHIN THE REQUIRED YARD SETBACKS, A LANDSCAPED AREA CONSISTING OF EXISTING AND/OR NEW VEGETATION IN ADDITION TO GRASS, SHALL BE PROVIDED BETWEEN PARKING AREAS AND ANY ADJACENT PUBLIC STREET, SIDEWALK, OR RIGHT OF WAY AS FOLLOWS: 1. A LANDSCAPED AREA SHALL BE AT LEAST FIFTEEN (15) FEET WIDE UNLESS A LESSER AMOUNT IS DEEMED ADEQUATE BY THE PLANNING BOARD. 2. THE LANDSCAPED AREA WILL HAVE SUFFICIENT TREES ARRANGED SO THAT A VEGETATED BUFFER IS EFFECTIVELY PROVIDED FROM THE PUBLIC STREET.	PROVIDED PROVIDED
B. LANDSCAPING ADJACENT TO CONTIGUOUS PROPERTIES	WITHIN THE REQUIRED YARD SETBACKS, A LANDSCAPED AREA CONSISTING OF EXISTING AND/OR NEW VEGETATION IN ADDITION TO GRASS, SHALL BE PROVIDED BETWEEN PARKING AREAS AND CONTIGUOUS PROPERTIES AS FOLLOWS: 1. A LANDSCAPED AREA SHALL BE AT LEAST TEN (10) FEET WIDE. "20" PER PB COMMENTS 2. A MASONRY WALL, HEDGE, SOLID FENCE, OR COMBINATION THEREOF AT LEAST SIX (6) FEET HIGH MAY BE REQUIRED IF ADJUTING PROPERTY IS A RESIDENTIAL USE. WHEN CONTIGUOUS PROPERTIES ARE LOCATED WITHIN A BUSINESS OR INDUSTRIAL DISTRICT, ONLY A NATURALLY VEGETATED OR LANDSCAPED BUFFER SHALL BE REQUIRED TO THE REAR AND SIDES OF THE LOTS WHEN NOT ADJUTING A PUBLIC RIGHT-OF-WAY.	PROVIDED PROVIDED
C. LANDSCAPING IN INTERIOR AREAS	1. INTERIOR PARKING AREAS SHALL BE DEEMED TO BE ALL PARKING AREAS EXCEPT DRIVEWAYS PROVIDING ACCESS AND EGRESS TO THE DEVELOPMENT. 2. AT LEAST FIVE PERCENT (5%) OF THE GROSS PARKING AREA SHALL BE LANDSCAPED. THESE LANDSCAPED AREAS SHALL INCLUDE TREES SUFFICIENT TO PROVIDE SOME SHADING OF PARKING AREAS. 3. INTERIOR LANDSCAPED AREAS SHALL BE DISPERSED SO AS TO DEFINE AISLES AND LIMIT UNBROKEN ROWS OF PARKING TO A MAXIMUM OF ONE HUNDRED (100) FEET.	PROVIDED REQUIRED: 42,800 SF X 5% = 2,140 SF LSA PROVIDED
D. TREES	TREES REQUIRED BY THE PROVISIONS OF THIS SECTION SHALL BE AT LEAST TWO (2) INCHES IN DIAMETER (MEASURED AT ONE (1) FOOT ABOVE GROUND LEVEL) AND A HEIGHT OF FIVE (5) FEET AT THE TIME OF PLANTING. TREES SHALL BE OF A SPECIES CHARACTERIZED BY RAPID GROWTH AND BY SUITABILITY AND HARDINESS FOR LOCATION IN A PARKING LOT. TO THE EXTENT PRACTICAL, EXISTING TREES SHALL BE RETAINED AND USED TO SATISFY THE PROVISIONS OF THIS SECTION.	PROVIDED
E. INTERSECTION VISIBILITY	NO LANDSCAPING, TREE, FENCE, WALL, OR SIMILAR SCREENING SHALL BE MAINTAINED IN THE VICINITY OF ANY CORNER, STREET INTERSECTION, OR ACCESS-WAY INTERSECTING A PUBLIC RIGHT-OF-WAY THAT IS DETERMINED TO BE AN OBSTRUCTION TO VISIBILITY.	PROVIDED
C. SITE DESIGN STANDARDS	1. LANDSCAPING B. ACCESS WAYS INTO THE SITE AND THOROUGHFARES WITHIN THE DEVELOPMENT SHALL BE PROVIDED WITH DECIDUOUS TREES AT INTERVALS OF APPROXIMATELY FIFTY FEET (50') ON BOTH SIDES OF THE ROAD TO PROVIDE AN OVERHANGING CANOPY AT MATURITY. SUCH TREES SHALL BE A MINIMUM OF TWO-INCH (2") CALIPER AT BREAST HEIGHT WHEN PLANTED AND SHALL NORMALLY ATTAIN A HEIGHT OF AT LEAST FIFTY FEET (50') AT MATURITY.	PROVIDED

ARTICLE IV: COMMON REGULATIONS:
B. OFF-STREET PARKING, LOADING, AND LANDSCAPE REGULATIONS

ARTICLE V: OVERLAY DISTRICTS:
D. ROUTE 146 OVERLAY DISTRICT BY-LAW

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PIAB	6	PICEA ABIES	NORWAY SPRUCE	6-8"	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
IGB	8	ILEX GLABRA 'SMINGAB17'	GEM BOX INKBERRY HOLLY	18-24"	CONTAINER
IS	15	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	30-36"	CONTAINER
MP	4	MYRICIA PENSYLVANICA	NORTHERN BAYBERRY	30-36"	CONTAINER
RAG	6	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PVS	6	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	CONTAINER
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
HSO	75	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL.	CONTAINER

SEED MIX KEY

	PROPOSED HYDROSEED
	PROPOSED CONSERVATION/ WILDLIFE SEED MIX
	PROPOSED BASIN SEED MIX

APPROVAL BLOCK

TOWN PLANNING BOARD APPROVAL APPROVED BY THE PLANNING BOARD OF THE TOWN OF SUTTON, MA.	
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

TM

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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	10/17/2023	RESPONSE TO COMMENTS	AEH DEG
2	10/31/2023	RESPONSE TO COMMENTS	AEH DEG



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PROJECT No.: MAA230138.00
DRAWN BY: AEH/CPB
CHECKED BY: DEG
DATE: 07/26/2023
CAD ID.: MAA230138.00-LSCP-2A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR
DRAKE PETROLEUM COMPANY, LLC

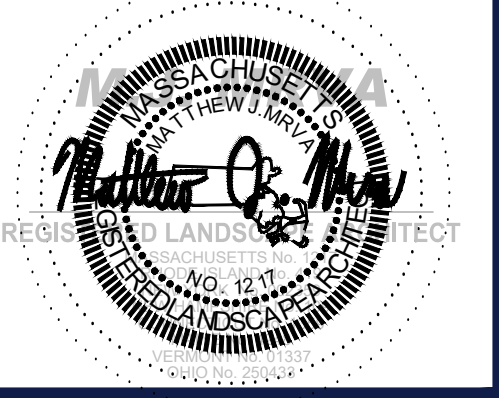
PROPOSED FUELING STATION IMPROVEMENTS

MAP: 5 BLOCK: 18
27 WORCESTER PROVIDENCE TURNPIKE,
TOWN OF SUTTON,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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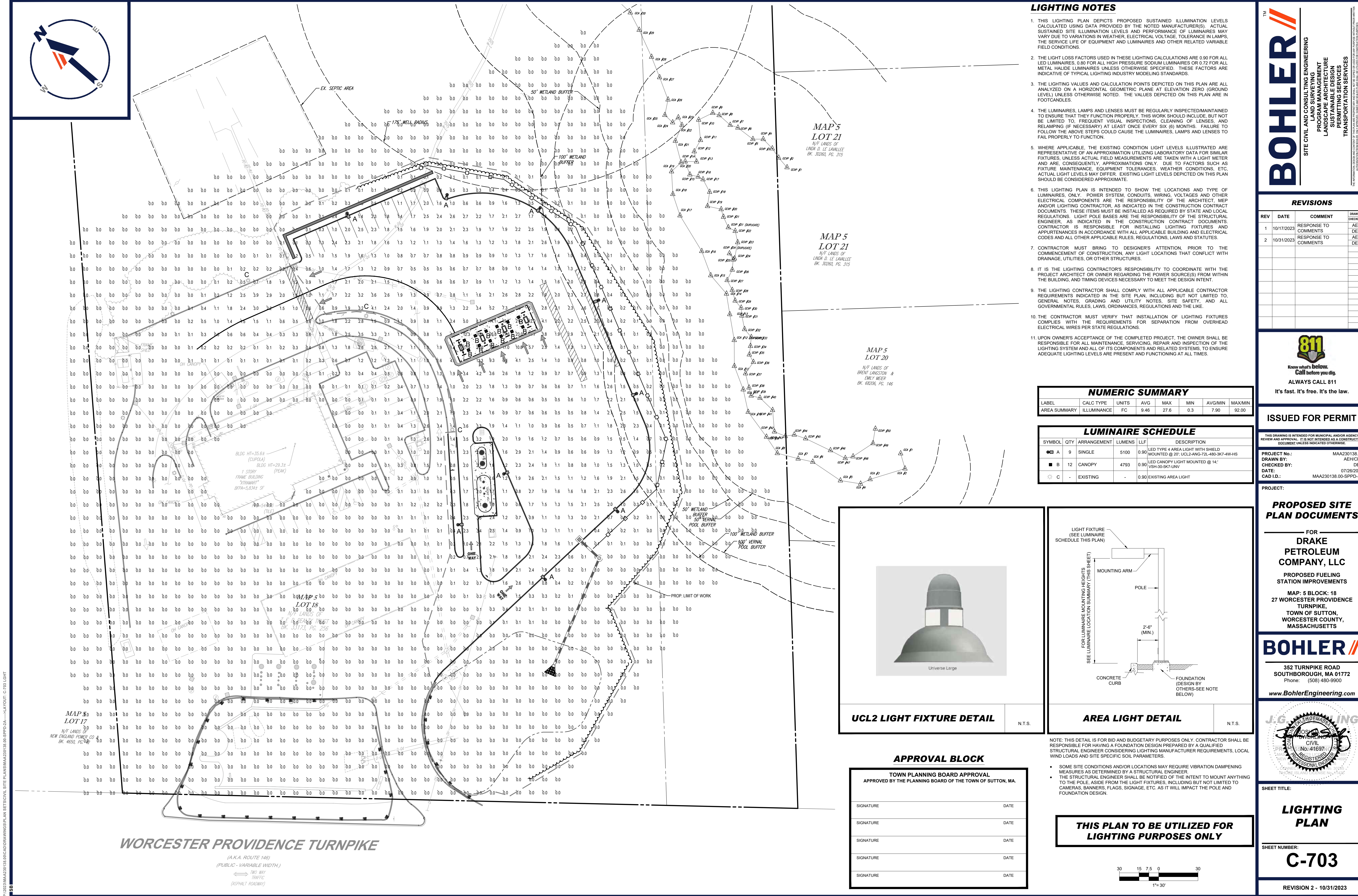
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

C-701

REVISION 2 - 10/31/2023



LIGHTING NOTES

- 1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- 3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- 4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- 5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- 6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- 7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- 8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- 9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING, AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES AND THE LIKE.
- 10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- 11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

NUMERIC SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AREA SUMMARY	ILLUMINANCE	FC	9.48	27.6	0.3	7.90	92.00

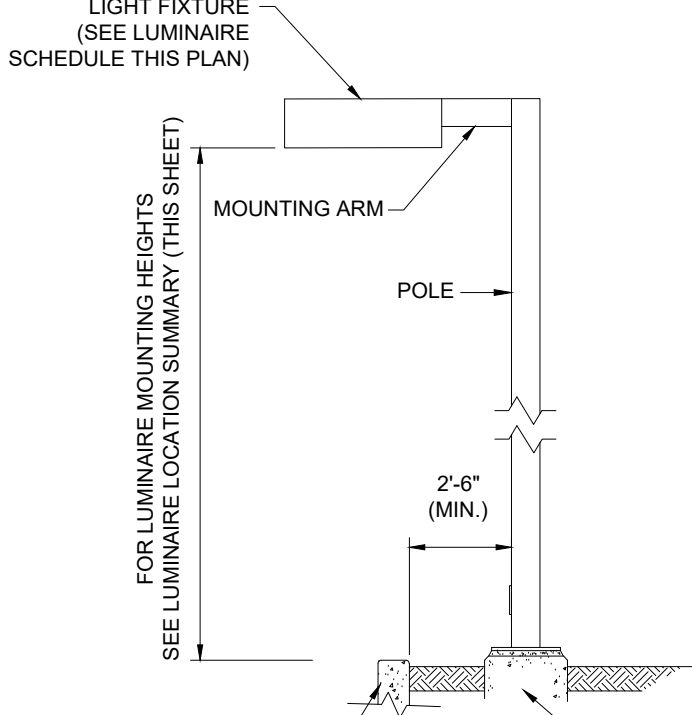
LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
● A	9	SINGLE	5100	0.90	LED TYPE 4 AREA LIGHT WITH SHIELD MOUNTED @ 20' UCL2-ANG-72L-480-3K7-4W-HS
■ B	12	CANOPY	4793	0.90	LED CANOPY LIGHT MOUNTED @ 14' VSH-30-3K7-UNV
⊙ C	-	EXISTING	-	0.90	EXISTING AREA LIGHT



UCL2 LIGHT FIXTURE DETAIL

N.T.S.



AREA LIGHT DETAIL

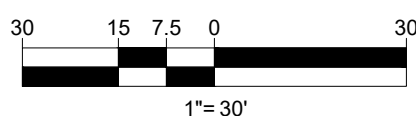
N.T.S.

APPROVAL BLOCK

TOWN PLANNING BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWN OF SUTTON, MA.

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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1	10/17/2023	RESPONSE TO COMMENTS	AEH
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PROJECT No.: MAA230138.00
DRAWN BY: AEH/CPB
CHECKED BY: DEG
DATE: 07/26/2023
CAD ID: SPPD-2A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR
DRAKE PETROLEUM COMPANY, LLC
PROPOSED FUELING STATION IMPROVEMENTS
MAP: 5 BLOCK: 18
27 WORCESTER PROVIDENCE TURNPIKE,
TOWN OF SUTTON,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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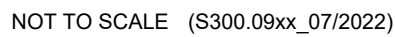
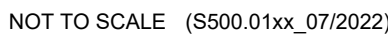
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

C-703

REVISION 2 - 10/31/2023



GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR ERFICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET ASTM H250 AND CASTINGS SHALL MEET H250 (ASPHASTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT CUT-OUT PIPE RISE ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADJ. JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS2025-5-C
 INLINE CDS
 STANDARD DETAIL

CONTECH CDS 2025-5-C[illegible]

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PROJECT No.:	MAA230138.00
DRAWN BY:	AEH/CPB
CHECKED BY:	DEG
DATE:	07/26/2023
CAD I.D.:	MAA230138.00-SPPD-2A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

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**PETROLEUM
COMPANY, LLC**

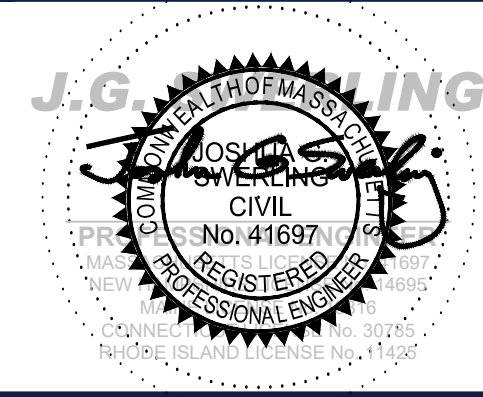
PROPOSED FUELING STATION IMPROVEMENTS

MAP: 5 BLOCK: 18
27 WORCESTER PROVIDENCE
TURNPIKE,
TOWN OF SUTTON,
WORCESTER COUNTY,
MASSACHUSETTS

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SOUTHBOROUGH, MA 01772
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**DETAIL
SHEET**

SHEET NUMBER:

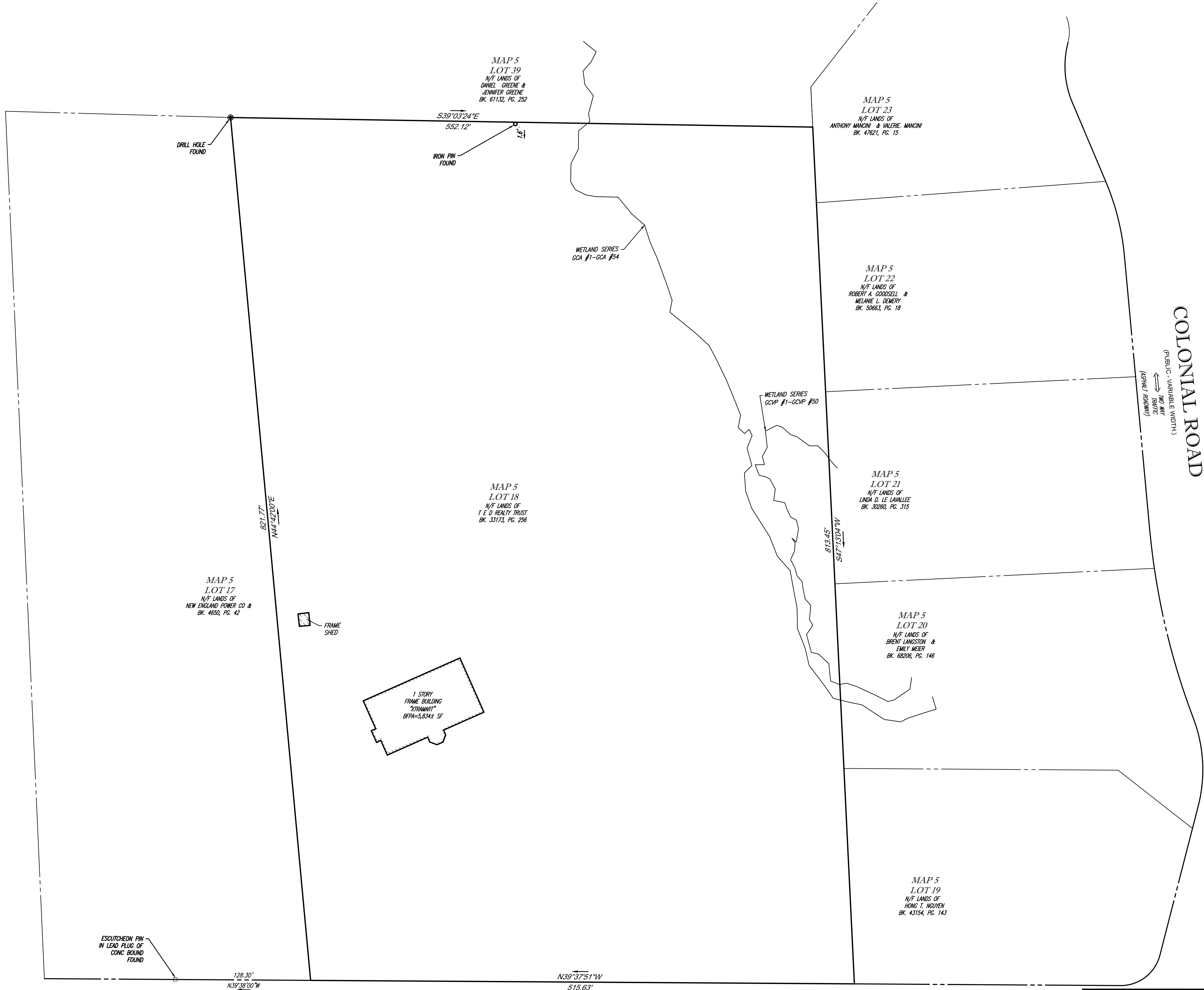
C-902

REVISION 2 - 10/31/2023

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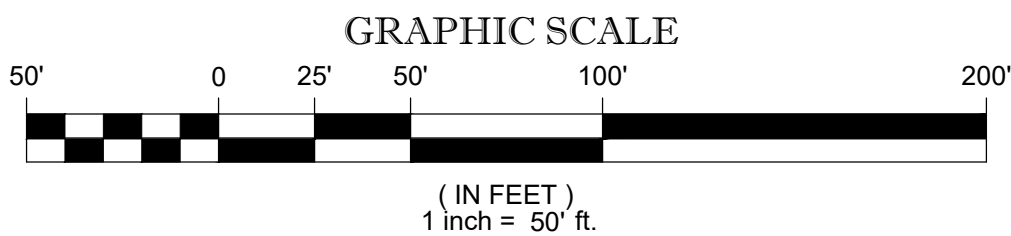


THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

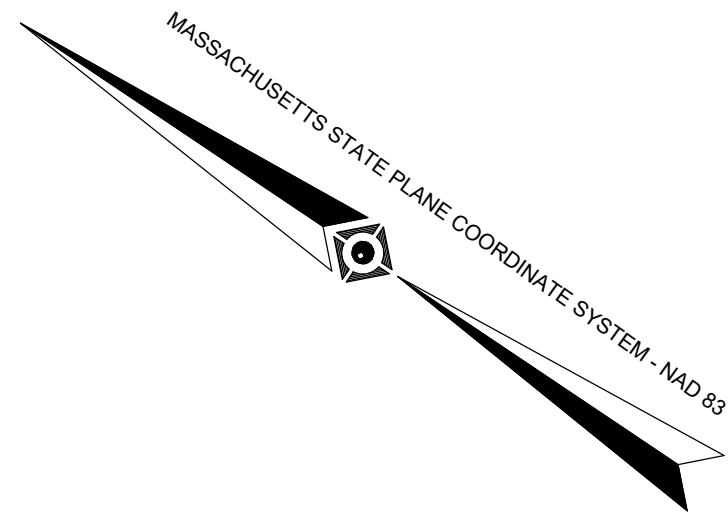


WORCESTER PROVIDENCE TURNPIKE

(A.K.A. ROUTE 146)
(PUBLIC - VARIABLE WIDTH)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)



SEE SHEET 2 & 3 OF 3 FOR SITE FEATURES, TOPOGRAPHY & UTILITIES



LOCUS MAP
NOT TO SCALE

NOTES:

- PROPERTY KNOWN AS LOT 18 AS SHOWN ON THE TOWN OF SUTTON, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 5.
- AREA = 434,914 SQUARE FEET OR 9.984 ACRES.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 540.95'
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 547.05'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- PER CONTRACTUAL AGREEMENT THE LOCATIONS OF SITE FEATURES AND TOPOGRAPHIC INFORMATION IS SHOWN FOR A PORTION OF THE SUBJECT PROPERTY ONLY.
- THE DELINEATION LINE WAS PLACED IN THE FIELD BY GODDARD CONSULTING, LLC ON APRIL 28, 2023, AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON MAY 9, 2023 AND OCTOBER 2, 2023.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF TOWN OF SUTTON, WORCESTER COUNTY, MAP 5.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 817 OF 1075, MAP NUMBER 25027C0817E, MAP EFFECTIVE DATE: JULY 4, 2011.
- MAP ENTITLED "PLAN OF LAND IN SUTTON, MASS", PREPARED BY LAVALLEC BROTHERS, INC., DATED MARCH 27, 1978, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 449, PLAN 71.
- MAP ENTITLED "AS BUILT XTRAMART CONVENIENCE STORE, PREPARED FOR DRAKE PETROLEUM INC., ROUTE #146, #27 WORCESTER-PROVIDENCE TURNPIKE, SUTTON, MA," PREPARED BY CME ASSOCIATES, INC., DATED JULY 16, 2007. SHEET C-1.
- MAP ENTITLED "PLAN SHOWING LAND IN SUTTON, MASSACHUSETTS, TO BE CONVEYED TO NEW ENGLAND POWER COMPANY BY IDA HAFSTROM", PREPARED BY NEW ENGLAND POWER COMPANY, DATED DECEMBER 9, 1965.
- MAP ENTITLED "SECTION 'D', JONATHAN DUDLEY HILL, SUTTON, MASSACHUSETTS", PREPARED BY ROBINSON & FOX, INC., DATED MAY 1967, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 310, PLAN 11, SHEET 1 OF 1.
- MAP ENTITLED "DIVISION OF LAND OF 21 COLONIAL ROAD IN SUTTON, MA", PREPARED BY ASE-ANDREWS SURVEY & ENGINEERING, INC., DATED NOVEMBER 15, 2017, LAST REVISED MARCH 7, 2018, RECORDED WITH WORCESTER DISTRICT OF DEEDS ASS PLAN BOOK 935, PLAN 85.
- MAP ENTITLED "AS BUILT" LOCATION PLAN, PREPARED FOR DRAKE PETROLEUM COMPANY, INC., ROUTE #146 (WORCESTER-PROVIDENCE TURNPIKE), SUTTON, MA, PREPARED BY CME ASSOCIATES, INC., DATED JULY 10, 2007. LAST REVISED JULY 19, 2007. SHEET SEP-1.

1	REVISED PER WETLAND LOCATION	B.S.B.	J.P.M.	G.L.H.	10-3-2023
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

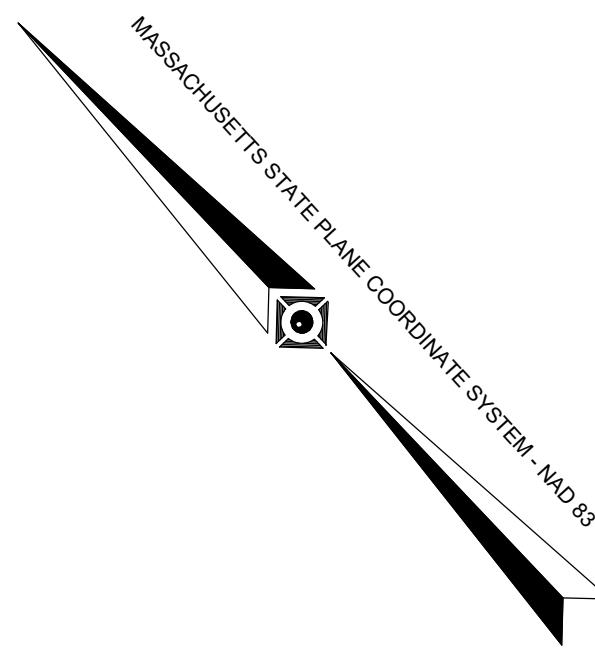
FIELD DATE 5-9-2023 10-2-2023	FIELD BOOK NO. 23-06	FIELD BOOK PG. 35 & 39	FIELD CREW J.D.O. B.S.B.	DRAWN J.P.M.	REVIEWED R.J.K.	APPROVED G.L.H.	DATE 5-25-2023	SCALE 1"=50'	FILE NO. 03-230207-00	DWG. NO. 1 OF 3
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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



MATCHLINE SHEET 3

MAP 5
LOT 21
N/F LANDS OF
LINDA D. LE LAMALLE
BK. 32280, PG. 315

MAP 5
LOT 20
N/F LANDS OF
BRENT LANSTON &
EMILY MEER
BK. 65206, PG. 146

MAP 5
LOT 19
N/F LANDS OF
HONG T. NGUYEN
BK. 43154, PG. 143

MAP 5
LOT 17
N/F LANDS OF
NEW ENGLAND POWER CO. &
BK. 4650, PG. 42

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- + TC 123.45 --- EXIST. TOP OF CURB ELEVATION
- + BC 122.95 --- EXIST. BOTTOM OF CURB ELEVATION
- + FF 123.45 --- EXIST. FINISHED FLOOR ELEVATION
- + DS 123.45 --- EXIST. DOOR SILL ELEVATION
- OH --- OVERHEAD WIRES
- E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- FM-04 --- APPROX. LOC. UNDERGROUND FORCE MAIN LINE
- 04 --- SUBSURFACE UTILITY QUALITY LEVEL D
- UP / --- UTILITY POLE
- LAMP --- LAMP
- SIGN
- --- BOLLARD
- MB --- MAIL BOX
- AS --- AIR STATION
- DS --- DRAINAGE/STORM MANHOLE
- SS --- SANITARY/SEWER MANHOLE
- UN --- UNKNOWN MANHOLE
- CB --- CATCH BASIN OR INLET
- PC --- PARKING SPACE COUNT
- DC --- DEPRESSED CURB
- RD --- ROOF DRAIN
- CP --- CONDUIT PIPE
- CLF --- CHAIN LINK FENCE
- DC --- DEPRESSED CURB
- EC --- EDGE OF CONCRETE
- EP --- EDGE OF PAVEMENT
- (TYP) --- TYPICAL
- UTO --- UNABLE TO OPEN
- LSA --- LANDSCAPED AREA
- DF --- DELINEATION FLAG
- PA --- PAINTED ARROWS
- PH --- PAINTED HANDICAPPED
- CLF --- CHAIN LINK FENCE
- 1.0' --- OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
- SWL --- SOLID WHITE LINE
- HT --- HEIGHT
- BFPA --- BUILDING FOOTPRINT AREA
- BLDG --- BUILDING
- GRT --- GRATE ELEVATION
- UN --- UNKNOWN TERMINUS
- LSA --- LANDSCAPED AREA
- MC --- METAL COVER
- SWL --- SOLID WHITE LINE
- NVP --- NO VISIBLE PIPE
- INV --- INVERT ELEVATION
- NVP --- NO VISIBLE PIPE
- FOD --- FILLED W/DEBRIS
- CI --- CAST IRON PIPE
- CPP --- CORRUGATED PLASTIC PIPE
- INV --- INVERT ELEVATION
- GRT --- GRATE ELEVATION
- FDS --- FULL OF SEDIMENT
- --- EVIDENCE FOUND

SEE SHEET 1 OF 3 FOR BOUNDARY

1	REVISED PER WETLAND LOCATION	B.S.B.	J.P.M.	G.L.H.	10-3-2023
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE
5-8-2023
10-2-2023
FIELD BOOK NO.
23-06
FIELD BOOK PG.
35 & 39
FIELD CREW
J.D.O.
B.S.B.
DRAWN
J.P.M.
REVIEWED
R.J.K.

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
GLOBAL MONTELLO GROUP CORP
27 WORCESTER PROVIDENCE TURNPIKE
LOT 18, MAP 5
TOWN OF SUTTON, WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT
ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHAFFONT, PA 215-712-9800
HAUPPAUGE, NY 631-880-2645
MANHATTAN, NY 646-780-0411
SOUTH BOKROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 908-668-0999

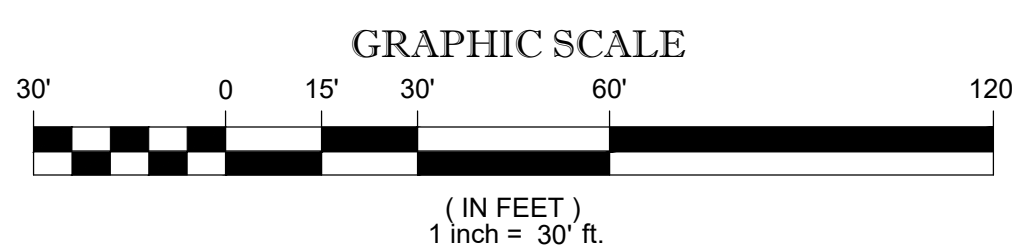
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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



10-3-2023
DATE



WORCESTER PROVIDENCE TURNPIKE

(A.K.A. ROUTE 146)
(PUBLIC - VARIABLE WIDTH.)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)



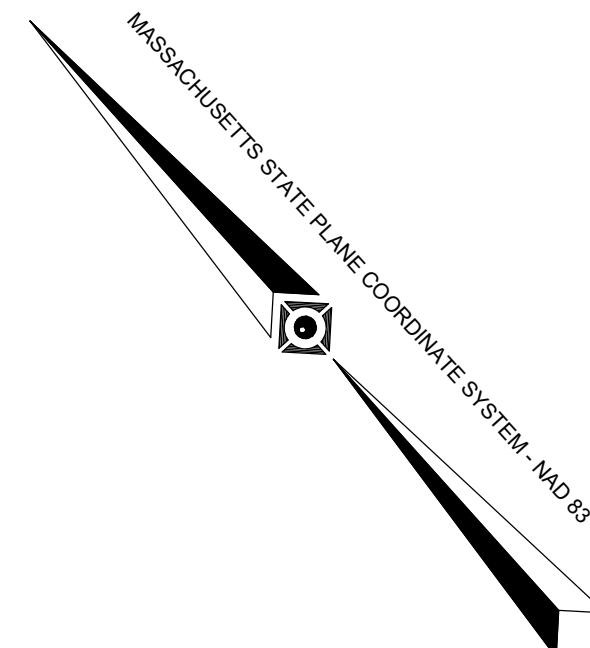
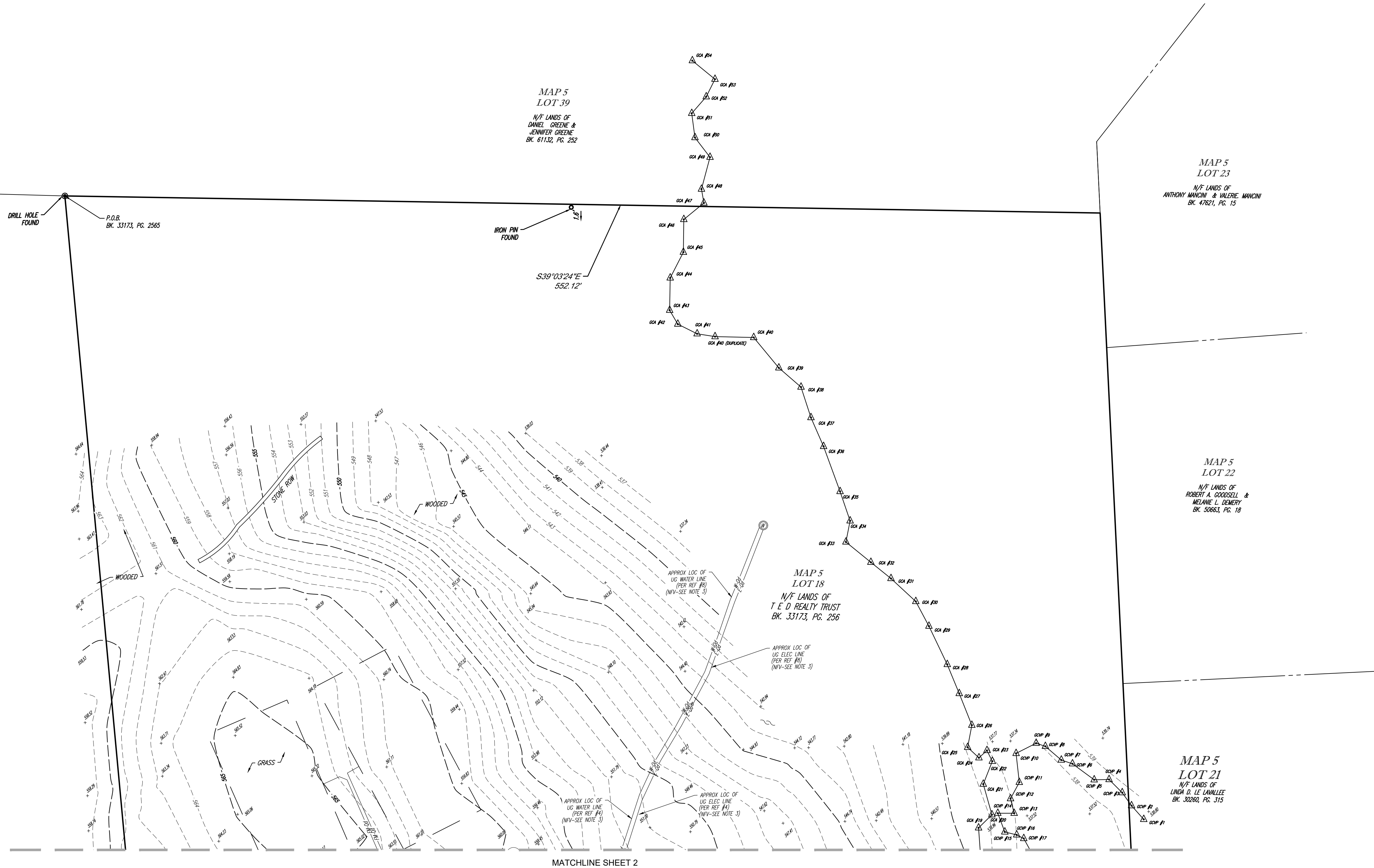
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

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 - x 123.45 EXIST. TOP OF CURB ELEVATION
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 - DEPRESSED CURB DEPRESSED CURB
 - ROOF DRAIN ROOF DRAIN
 - CONDUIT PIPE CONDUIT PIPE
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 - DC DEPRESSED CURB
 - EDC EDGE OF CONCRETE
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 - (TYP) TYPICAL
 - UNABLE TO OPEN UNABLE TO OPEN
 - LSA LANDSCAPED AREA
 - DELINEATION FLAG DELINEATION FLAG
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 - CPP CORRUGATED PLASTIC PIPE
 - INV INVERT ELEVATION
 - GRG GRATE ELEVATION
 - FDS FULL OF SEDIMENT
 - EVIDENCE FOUND EVIDENCE FOUND

SEE SHEET 1 OF 3 FOR BOUNDARY

1	REVISED PER WETLAND LOCATION	B.S.B.	J.P.M.	G.L.H.	10-3-2023
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE 5-9-2023 10-2-2023	BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY GLOBAL MONTELLO GROUP CORP 27 WORCESTER PROVIDENCE TURNPIKE LOT 18, MAP 5 TOWN OF SUTTON, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD BOOK NO. 23-06	
FIELD BOOK PG. 35 & 39	
FIELD CREW J.D.O. B.S.B.	
DRAWN: J.P.M.	
REVIEWED: R.J.K.	

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
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MANHATTAN, NY 646-780-0411
SOUTH BOKROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 908-668-0999

DATE: 10-3-2023
SCALE: 1"=30'
FILE NO.: 03-230207-00
DWG. NO.: 3 OF 3

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

GERY L. HOLDRIGHT
REGISTERED
PROFESSIONAL LAND SURVEYOR
NO. 49211

10-3-2023
DATE

