

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

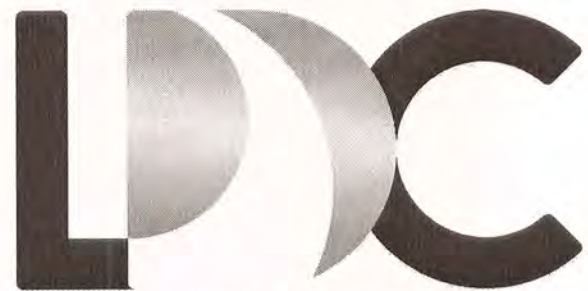
DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

GRANTED WAIVERS FROM THE SUTTON SUBDIVISION RULES & REGULATIONS	
REGULATION NUMBER	REGULATION
4.A.2.F. -	ALLOW A MINIMUM CENTERLINE RADIUS OF LESS THAN 270' AT SEVERAL LOCATIONS. 100' AT ST 16, 250' FROM ST 20-21, AND 100' FROM ST 23 - 26.
4.A.2.K. -	ALLOW VARIATIONS FROM STANDARD ROADWAY CROSS SECTION STANDARDS AS FOLLOWS: WIDTH (ALSO 4.A.3.) 22' AND 20' AS OPPOSED TO 26'; CURBING (ALSO 4.G.1.) BITUMINOUS INSTEAD OF GRANITE EXCEPT AT PURGATORY INTERSECTION AND NOT CURBED FOR SIGNIFICANT LENGTHS; ROAD BASE & SURFACE (ALSO 5.F.2 & 3) 12" GRAVEL BASE AS OPPOSED TO 18", 1.5" TOP COURSE AND 2.5" BINDER AS OPPOSED TO 1.5" TOP AND 1.5" BINDER.
4.B.2. & 5.A. -	ALLOW OPEN SWALES AND OTHER LOW IMPACT DEVELOPMENT (LID) STORMWATER INFRASTRUCTURE, WITH TRADITIONAL STORM DRAINS ONLY WHERE ABSOLUTELY NECESSARY.
4.D. -	ALLOW INDIVIDUAL HOUSE SPRINKLERS AS OPPOSED TO AN UNDERGROUND CISTERN SYSTEM.
4.F.1. -	ALLOW DRAINAGE EASEMENTS OF LESS THAN 30' WIDE.
4.F.3. -	ALLOW ELIMINATION OF TEMPORARY CONSTRUCTION EASEMENTS AS LONG AS THE SAME DEVELOPER WHO BUILDS THE ROADWAY WILL BE BUILDING OUT THE LOTS.

## PROJECT TEAM

Civil Engineer | Landscape Architect



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDCCollaborative.com

Land Surveyor

**FELDMAN**

152 Hampden Street  
Boston, MA 02119  
617-357-9740

Wetland Scientist

EcoTec Inc.

102 Grove Street  
Worcester, MA 01605  
508-752-9666

## PROJECT OWNER

81 Purgatory LLC

11 Colonial Road  
Sutton, Ma

Lavallee Family Irrevocable Trust

32 Sherman Grove  
Spencer, Ma

## PROJECT APPLICANT

81 Purgatory LLC

11 Colonial Road  
Sutton, Ma

THE CONTENT, INFORMATION AND DESIGN OF THIS PLAN ARE PROPRIETARY AND DUPLICATION AND/OR UTILIZATION FOR ANY PURPOSES IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM LAND DESIGN COLLABORATIVE. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.  
© LAND DESIGN COLLABORATIVE, LLC.

# DEFINITIVE PLAN OPEN SPACE RESIDENTIAL DEVELOPMENT

PURSUANT TO THE TOWN OF SUTTON SUBDIVISION RULES & REGULATIONS SECTION 3B  
AND SUTTON ZONING BYLAW SECTION VI.E

FOR

# COMPASS ROCK

57,77, 77R, 81 & 81R PURGATORY ROAD  
SUTTON, MA

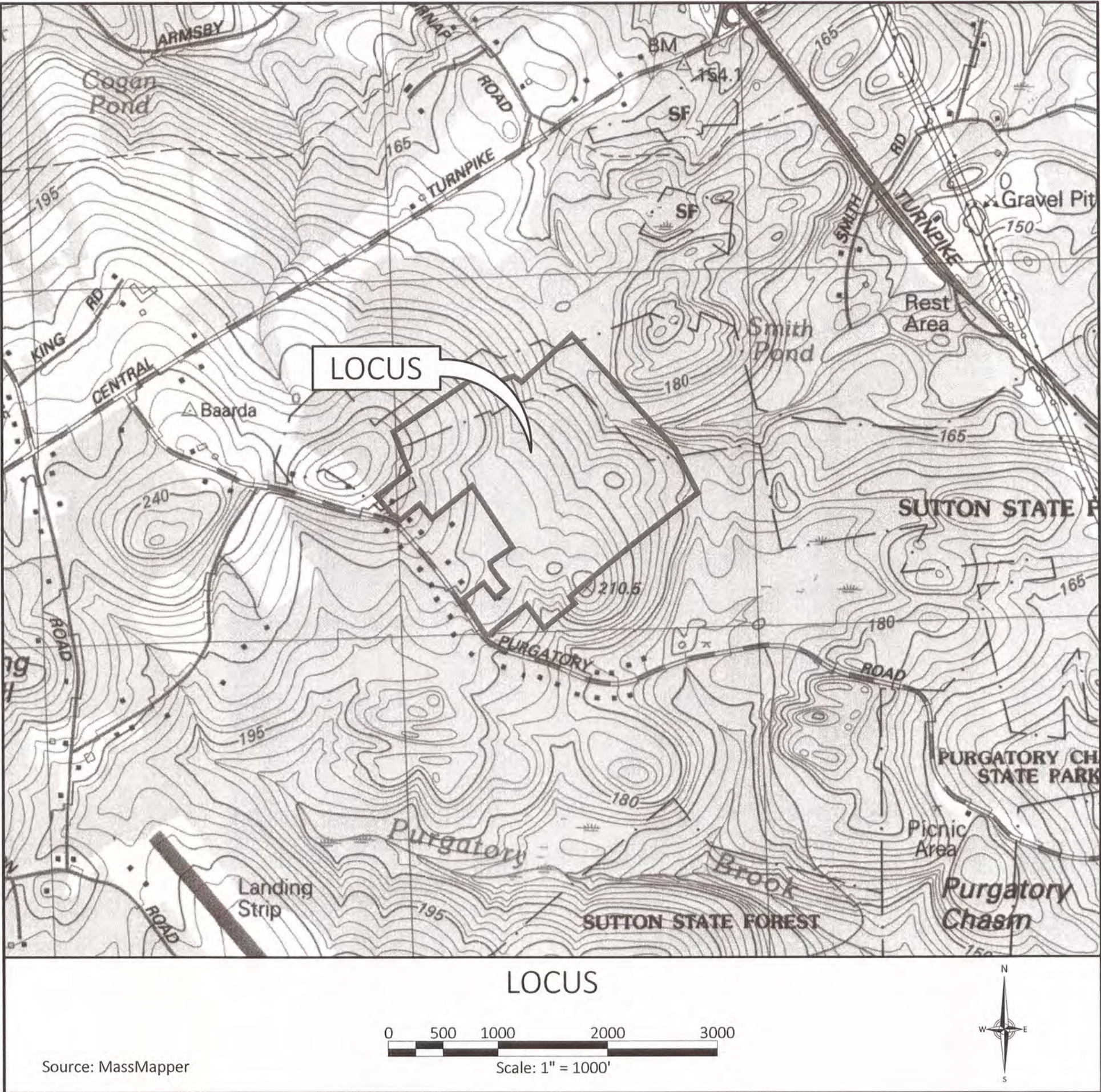
DATE

March 13, 2023

Revised June 12, 2023

Revised July 13, 2023

Revised August 16, 2023



## CONDITIONS OF APPROVAL

PRIOR TO ENDORSEMENT OF THE DEFINITIVE PLANS:

- PRIOR TO PLAN ENDORSEMENT IN ACCORDANCE WITH MGL, THE APPLICANT SHALL PROVIDE A COVENANT THAT STATES THE LOT(S) SHALL NOT BE TRANSFERRED, NOR OCCUPANCY GRANTED FOR ANY STRUCTURE WITH FRONTAGE ON THE ROADWAY, UNTIL THAT PHASE OF CONSTRUCTION OF THE ROADWAY AND ANY RELATED SITE RESTORATION IS 100% COMPLETE.
- PRIOR TO PLAN ENDORSEMENT ALL WAIVERS AND CONDITIONS OF APPROVAL SHALL BE NOTED ON THE PLAN SHEETS TO BE RECORDED.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION:
- APPROVAL OF ALL OTHER REQUIRED LOCAL AND STATE DEPARTMENTS, BOARDS, AND COMMISSIONS.
- AS SOON AS THE SUBDIVISION PLAN IS RECORDED, AN ELECTRONIC FILE OF THE ROADWAY AND PARCEL LINES SHALL BE PROVIDED TO THE ASSESSOR'S OFFICE IN A FORM DETERMINED BY THEM.
- AS SOON AS THE SUBDIVISION PLAN IS RECORDED, THE APPLICANT SHALL PROVIDE THE PLANNING DEPARTMENT WITH THREE (3) FULL SIZE SETS OF THE ENDORSED AND RECORDED PLANS, ONE (1) 11" X 17" REDUCED SET, AND ONE (1) ELECTRONIC COPY IN PDF FORMAT.
- THE DEVELOPER SHALL ATTEND A PRECONSTRUCTION MEETING WITH THE PLANNING DEPARTMENT, APPLICABLE DEPARTMENT REPRESENTATIVES, AND OTHER BODIES THAT HAVE RESPONSIBILITIES RELATIVE TO THE SITE, AS WELL AS THE SITE CONTRACTOR AND OTHER PERSONNEL. THE APPLICANT FEELS ARE APPROPRIATE.
- THE DEVELOPER SHALL POST A ROAD OPENING BOND AS THEY ARE IMPACTING PURGATORY ROAD.
- PRIOR TO REMOVAL OF ANY TREES ALONG PURGATORY ROAD, THE DEVELOPER SHALL FLAG THE SUBJECT TREES, AND WILL MEET ON SITE WITH THE TREE WARDEN AND BOARD STAFF TO DETERMINE THE CONDITION OF THESE TREES. WITH THIS INFORMATION IN HAND THE BOARD CAN DECIDE IF THEY MUST BE REPLACED/IF A DONATION MUST BE MADE TO THE PUBLIC SHADE TREE ACCOUNT OR IF THE TREES ARE NOT CONSIDERED IN GOOD HEALTH/OF VALUE.
- THE DEVELOPER WILL PROVIDE A MINIMUM OF ONE WEEK'S NOTICE AND REVIEW STAKED LIMITS OF CLEARING/TREE REMOVAL PLAN FOR THE ROADWAY AND FOR EACH BUILDING LOT WITH PLANNING BOARD REPRESENTATIVE.
- ALL EROSION CONTROL MEASURES MUST BE IN PLACE, AND INSPECTED BY THE TOWN'S CONSULTING ENGINEER, AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. TWENTY-FOUR HOURS TO RECTIFY EROSION PROBLEM, FINE OF \$200 PER DAY EACH DAY AFTER NOTICE OF VIOLATION OF THIS CONDITION IS SERVED IN WRITING VIA HAND DELIVERY OR MAIL TO OWNER, OWNER'S ATTORNEY OR LEAD CONTRACTOR.
- PRIOR TO COMMENCEMENT OF ROADWAY CONSTRUCTION, ALL STORM WATER FACILITIES NECESSARY TO CONTROL, RECEIVE, AND CONTAIN RUNOFF, (I.E. DETENTION BASINS, INFILTRATION BASINS, ETC.) NOT INCLUDING THE CLOSED DRAINAGE SYSTEM, MUST BE IN PLACE, STABILIZED, AND INSPECTED BY THE TOWN'S CONSULTING ENGINEER.
- THE DEVELOPER SHALL MODIFY PLANTINGS OR FEATURES THAT MAY INHIBIT SIGHT DISTANCE AT BOTH ENTRANCES ON PURGATORY ROAD, WITH A FOLLOW-UP EVALUATION AND APPROVAL OF SIGHT LINES BY THE TOWN'S CONSULTING ENGINEER AFTER THE MODIFICATIONS ARE IMPLEMENTED.
- ALL APPROPRIATE OFF-SITE CONSTRUCTION WARNING METHODS, AS DETERMINED BY THE HIGHWAY AND POLICE DEPARTMENTS, SHALL BE INSTALLED INCLUDING "TRUCKS ENTERING" SIGNAGE ALONG PURGATORY ROAD.
- FINAL RETAINING WALL DESIGN MUST BE APPROVED BY THE TOWN'S CONSULTING ENGINEER.

## DURING CONSTRUCTION:

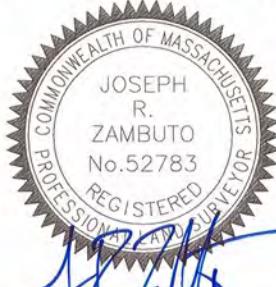
- CONSTRUCTION SHALL BE LIMITED TO MONDAY THROUGH FRIDAY 7:00 AM TO 5 PM AND SATURDAY 8 AM TO NOON, AND SHALL EXCLUDE SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, THANKSGIVING, CHRISTMAS EVE, AND CHRISTMAS. FROM NOVEMBER 15<sup>TH</sup> TO APRIL 1<sup>ST</sup> EQUIPMENT MAY BE STARTED AT 6:30 A.M. BUT NO CONSTRUCTION MAY COMMENCE UNTIL 7:00 A.M. THE REST OF THE YEAR VEHICLES MAY NOT START UNTIL 7:00 A.M.
  - CONSTRUCTION RELATED VEHICLES SHALL ONLY ACCESS AND EGRESS THE SITE FROM THE NORTH OFF CENTRAL TURNPIKE AS OPPOSED TO FROM THE SOUTH.
  - ALL CONSTRUCTION EQUIPMENT UTILIZED TO CONSTRUCT THE PROJECT SHALL BE OUTFITTED WITH MANUFACTURER APPROVED SILENCING EQUIPMENT INCLUDING MUFFLERS AND SKIRTS.
  - THE DEVELOPER SHALL ENSURE RUN OFF, DIRT, AND OTHER CONSTRUCTION MATERIALS ARE CONTAINED TO THE CONSTRUCTION AREA AND SHALL CLEAN UP ANYTHING TRACKED ONTO PURGATORY AT THE END OF EVERY WORK DAY.
  - THE DEVELOPER SHALL COORDINATE REQUIRED SUBDIVISION INSPECTIONS WITH THE TOWN'S CONSULTING ENGINEER IN A TIMELY MANNER.
- GENERAL:
- A MECHANISM MUST BE ESTABLISHED TO ENSURE THAT PARCEL C SCREENING 59 PURGATORY ROAD SHALL REMAIN AS A SCREENING PARCEL IN PERPETUITY.
  - THE DEVELOPER MUST FOLLOW THE GENERAL PHASING CONSTRUCTION SEQUENCE DETAILED ON SHEET C-221.
  - AT THE CONCLUSION OF EACH PHASE OF ROADWAY CONSTRUCTION, AND PRIOR TO RELEASE OF SURETY FOR THE PROJECT, THE DEVELOPER SHALL PROVIDE TO THE PLANNING BOARD AN AS-BUILT PLAN AND WRITTEN CERTIFICATION FROM THE DEVELOPER'S PROJECT ENGINEER THAT THE ROADWAY AND ALL RELATED INFRASTRUCTURE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
  - IF AT ANY POINT THE ROADWAY IS TO BE HELD IN DIFFERENT OWNERSHIP THAN THE MAJORITY OF LOTS IN THE SUBDIVISION, PRIOR TO TRANSFER OF ANY LOT WHICH CONSTITUTES THIS MAJORITY, THE ROADWAY OWNER MUST ESTABLISH A LEGAL MECHANISM APPROVED BY THE TOWN TO BE RECORDED IN ORDER TO ENSURE THE PERPETUAL MAINTENANCE AND UPKEEP OF THE ROADWAY AND STORM WATER MANAGEMENT FACILITIES TO INCLUDE ALL DETENTION AND INFILTRATION BASINS, ALL DRAINAGE SWALES, ALL OUTLET STRUCTURES AND ALL WATER QUALITY INLETS.
  - THE DEVELOPER SHALL ENSURE PROPER MAINTENANCE OF PLANTINGS ON THE SITE, INCLUDING IMMEDIATE REPLACEMENT OF DEAD OR DISEASED TREES/PLANTINGS UNLESS IT IS WINTER OR SUMMER, IN WHICH CASE IN THE FOLLOWING PLANTING SEASON. THE DEVELOPER SHALL ALSO ENSURE THE PERPETUAL MAINTENANCE AND UPKEEP OF THE ROADWAY AND STORM WATER MANAGEMENT FACILITIES TO INCLUDE ALL CATCH BASINS, DETENTION AND INFILTRATION BASINS, ALL DRAINAGE SWALES, ALL OUTLET STRUCTURES AND ALL WATER QUALITY INLETS UNLESS THE TOWN ACCEPTS THE ROADWAY AS PUBLIC, AT WHICH POINT THE TOWN WILL ASSUME THESE DUTIES.
  - THE APPLICANT SHALL SUBMIT AND O&M PLAN FOR THE SITE DRAINAGE SYSTEMS. INSPECTION AND MAINTENANCE SHALL BE PERFORMED BY THE DEVELOPER IN ACCORDANCE WITH THE RECOMMENDED SCHEDULE AND A WRITTEN REPORT SHALL BE PREPARED BY THE INSPECTOR, INCLUDING ANY REQUIRED CORRECTION ACTIONS TO BE TAKEN, SUCH REPORT TO BE SUBMITTED TO THE PLANNING BOARD WITHIN FOURTEEN BUSINESS DAYS OF OWNER'S RECEIPT OF THE REPORT. ANY REQUIRED CORRECTION ACTIONS SHALL BE PROMPTLY IMPLEMENTED BY THE DEVELOPER AT ITS EXPENSE, UNLESS THE TOWN ACCEPTS THE ROADWAY AS PUBLIC, AT WHICH POINT THE TOWN WILL ASSUME THESE DUTIES.
  - ANY MATERIAL MODIFICATIONS TO THE SUBDIVISION REQUIRED BY ANOTHER PERMITTING AUTHORITY SHALL BE SUBMITTED TO THE PLANNING BOARD FOR ITS REVIEW AND ACTION AS AN AMENDMENT.

## SHEET INDEX

SHEET NO.	SHEET TITLE
V-101 - V-107	EXISTING CONDITONS PLAN (FELDMAN GEOSPATIAL)
C-001	GENERAL NOTES, LEGEND, CONDITIONS & WAIVERS
C-101-108	LOTING PLANS (RECORDED PLANS)
C-201-206	GRADING, DRAINAGE & UTILITIES PLAN
C-221	GENERAL PHASING PLAN
C-222-223	SITE EROSION & SEDIMENT CONTROL PLANS
C-301-305	PLAN & PROFILE SHEETS
C-306-308	PLAN & PROFILE SHEETS (LINES OF SIGHT)
C-401-408	DETAILS
EX-101-102	FIRE APPARATUS MANEUVERING EXHIBITS

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS UNDER SECTION 250 CMR 6.00.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTERS OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



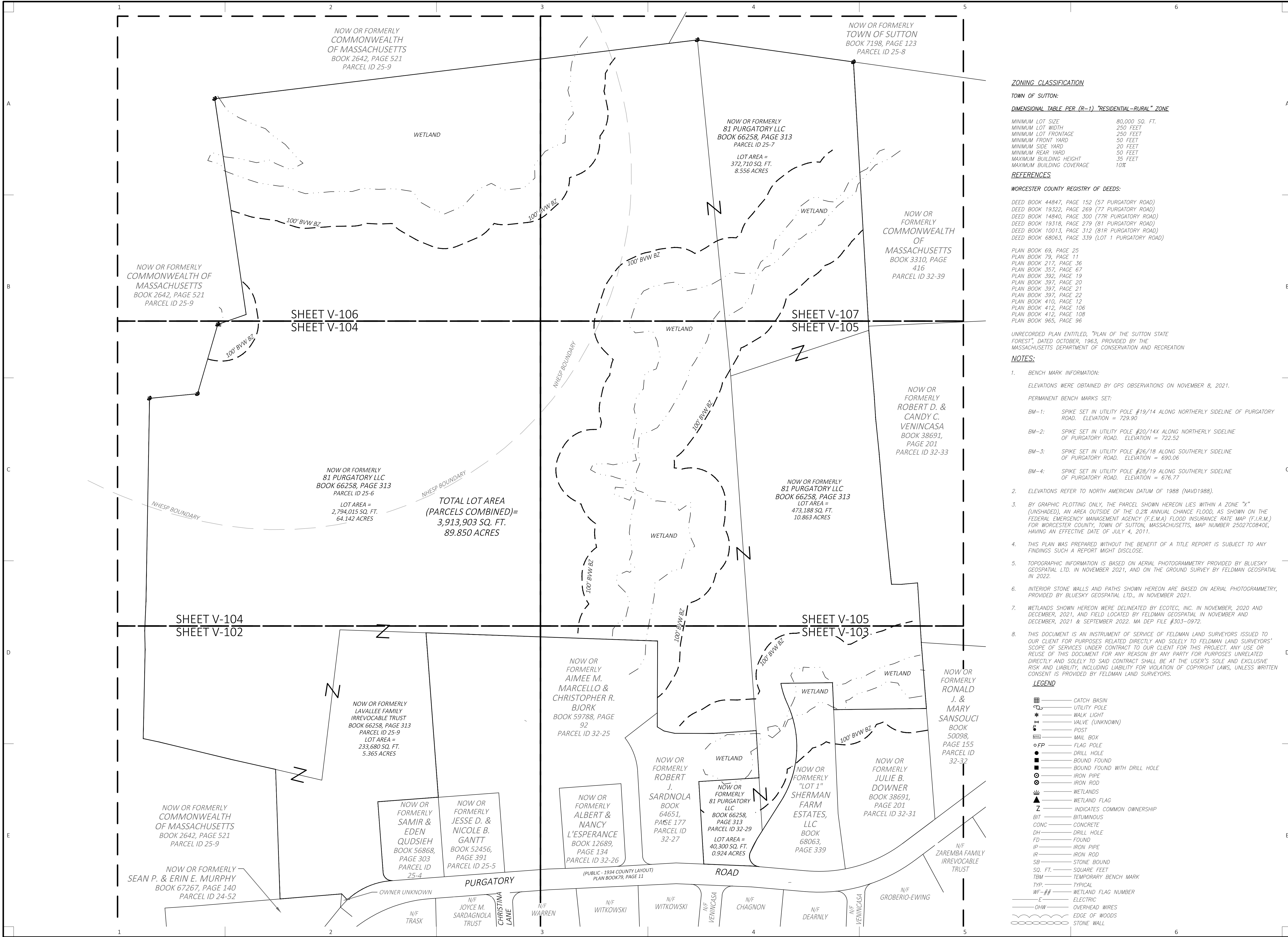
JOSEPH R. ZAMBUTO, PLS (MA# 52783)  
JZAMBUTO@FELDMANGEOR.COM

08/16/2023

DATE

For Registry Use Only





**ZONING CLASSIFICATION**

TOWN OF SUTTON:

**DIMENSIONAL TABLE PER (R-1) "RESIDENTIAL-RURAL" ZONE**

MINIMUM LOT SIZE	80,000 SQ. FT.
MINIMUM LOT WIDTH	250 FEET
MINIMUM LOT FRONTAGE	250 FEET
MINIMUM FRONT YARD	50 FEET
MINIMUM SIDE YARD	20 FEET
MINIMUM REAR YARD	50 FEET
MAXIMUM BUILDING HEIGHT	35 FEET
MAXIMUM BUILDING COVERAGE	10%

**REFERENCES**

**WORCESTER COUNTY REGISTRY OF DEEDS:**

DEED BOOK 44847, PAGE 152 (57 PURGATORY ROAD)  
DEED BOOK 19322, PAGE 269 (77 PURGATORY ROAD)  
DEED BOOK 14840, PAGE 300 (77R PURGATORY ROAD)  
DEED BOOK 19318, PAGE 279 (81 PURGATORY ROAD)  
DEED BOOK 10013, PAGE 312 (81R PURGATORY ROAD)  
DEED BOOK 68063, PAGE 339 (LOT 1 PURGATORY ROAD)

PLAN BOOK 69, PAGE 25  
PLAN BOOK 79, PAGE 11  
PLAN BOOK 217, PAGE 36  
PLAN BOOK 357, PAGE 67  
PLAN BOOK 392, PAGE 19  
PLAN BOOK 397, PAGE 20  
PLAN BOOK 397, PAGE 21  
PLAN BOOK 397, PAGE 22  
PLAN BOOK 410, PAGE 12  
PLAN BOOK 412, PAGE 106  
PLAN BOOK 412, PAGE 108  
PLAN BOOK 965, PAGE 96

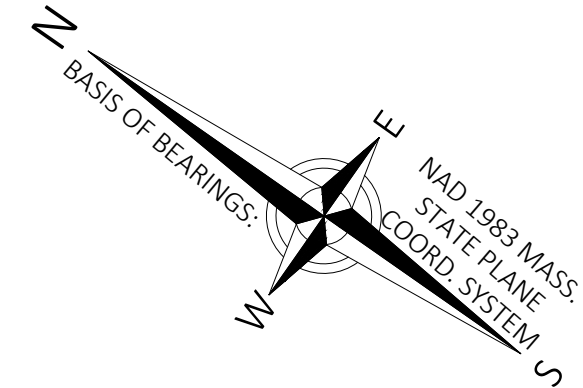
UNRECORDED PLAN ENTITLED, "PLAN OF THE SUTTON STATE FOREST", DATED OCTOBER, 1963, PROVIDED BY THE MASSACHUSETTS DEPARTMENT OF CONSERVATION AND RECREATION

**NOTES:**

- BENCH MARK INFORMATION:  
ELEVATIONS WERE OBTAINED BY GPS OBSERVATIONS ON NOVEMBER 8, 2021.  
PERMANENT BENCH MARKS SET:  
BM-1: SPIKE SET IN UTILITY POLE #19/14 ALONG NORTHERLY SIDELINE OF PURGATORY ROAD. ELEVATION = 729.90  
BM-2: SPIKE SET IN UTILITY POLE #20/14X ALONG NORTHERLY SIDELINE OF PURGATORY ROAD. ELEVATION = 722.52  
BM-3: SPIKE SET IN UTILITY POLE #26/18 ALONG SOUTHERLY SIDELINE OF PURGATORY ROAD. ELEVATION = 690.06  
BM-4: SPIKE SET IN UTILITY POLE #28/19 ALONG SOUTHERLY SIDELINE OF PURGATORY ROAD. ELEVATION = 676.77
- ELEVATIONS REFER TO NORTH AMERICAN DATUM OF 1988 (NAVD1988).
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR WORCESTER COUNTY, TOWN OF SUTTON, MASSACHUSETTS, MAP NUMBER 25027C0840E, HAVING AN EFFECTIVE DATE OF JULY 4, 2011.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- TOPOGRAPHIC INFORMATION IS BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY BLUESKY GEOSPATIAL LTD. IN NOVEMBER 2021, AND ON THE GROUND SURVEY BY FELDMAN GEOSPATIAL IN 2022.
- INTERIOR STONE WALLS AND PATHS SHOWN HEREON ARE BASED ON AERIAL PHOTOGRAMMETRY, PROVIDED BY BLUESKY GEOSPATIAL LTD., IN NOVEMBER 2021.
- WETLANDS SHOWN HEREON WERE DELINEATED BY ECOTEC, INC. IN NOVEMBER, 2020 AND DECEMBER, 2021, AND FIELD LOCATED BY FELDMAN GEOSPATIAL IN NOVEMBER AND DECEMBER, 2021 & SEPTEMBER 2022. MA DEP FILE #303-0972.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

**LEGEND**

	CATCH BASIN
	UTILITY POLE
	WALK LIGHT
	VALVE (UNKNOWN)
	POST
	MAIL BOX
	FLAG POLE
	DRILL HOLE
	BOUND FOUND
	BOUND FOUND WITH DRILL HOLE
	IRON PIPE
	IRON ROD
	WETLANDS
	WETLAND FLAG
	INDICATES COMMON OWNERSHIP
	BITUMINOUS
	CONCRETE
	DRILL HOLE
	FOUND
	IRON PIPE
	IRON ROD
	STONE BOUND
	SQ. FT.
	TEMPORARY BENCH MARK
	TYPICAL
	WETLAND FLAG NUMBER
	ELECTRIC
	OVERHEAD WIRES
	EDGE OF WOODS
	STONE WALL



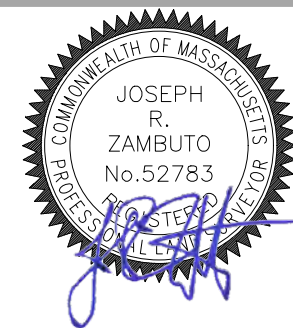
Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA  
**Lavallee Family Irrevocable Tr.**  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**EXISTING CONDITIONS**  
**INDEX PLAN**

Local Permitting



Date: 08/16/2023

Prepared By:



**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

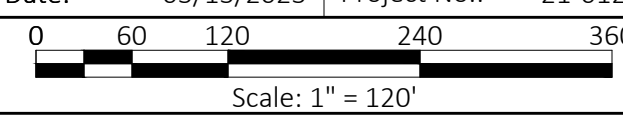
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGE
1	06/12/2023	PERMANENT BENCHMARKS

No: Date: Revision | Issue:

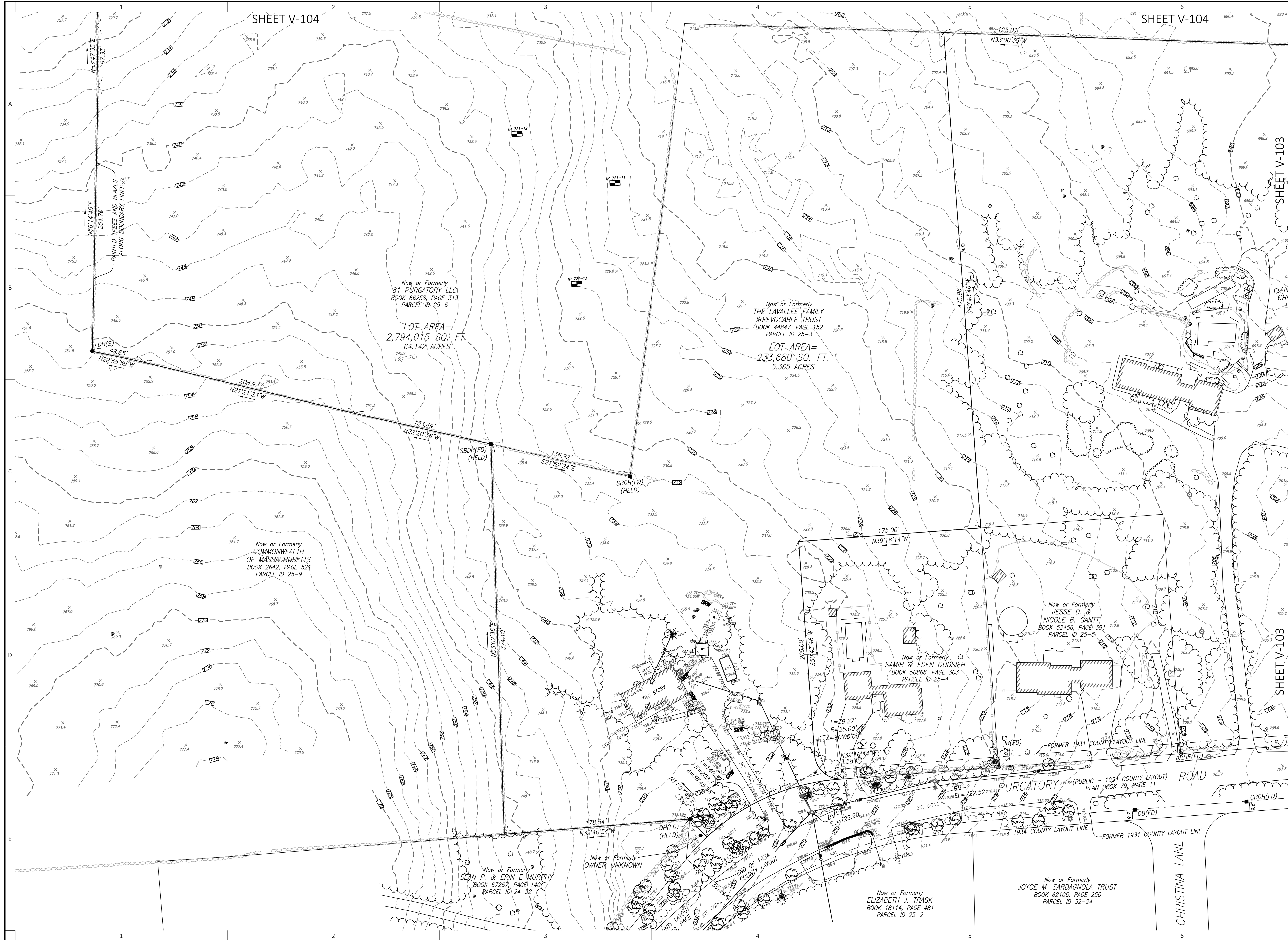
Drawn By: CMP Checked By: JRZ  
Date: 03/13/2023 Project No.: 21-0120



Sheet No.:

**V-101**





**Project Owner:**  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

**Lavallee Family Irrevocable Tr.**  
32 Sherman Grove  
Spencer, Ma

**Project Applicant:**  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

**Project Title:**  
Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

**Sheet Title:**  
EXISTING CONDITIONS  
PLAN

**Local Permitting**

Date: 08/16/2023

**Prepared By:**  
  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCCollaborative.com

**Project Surveyor:**  
  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGE
1	06/12/2023	PERMANENT BENCHMARKS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: JRZ  
Date: 03/13/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 40'

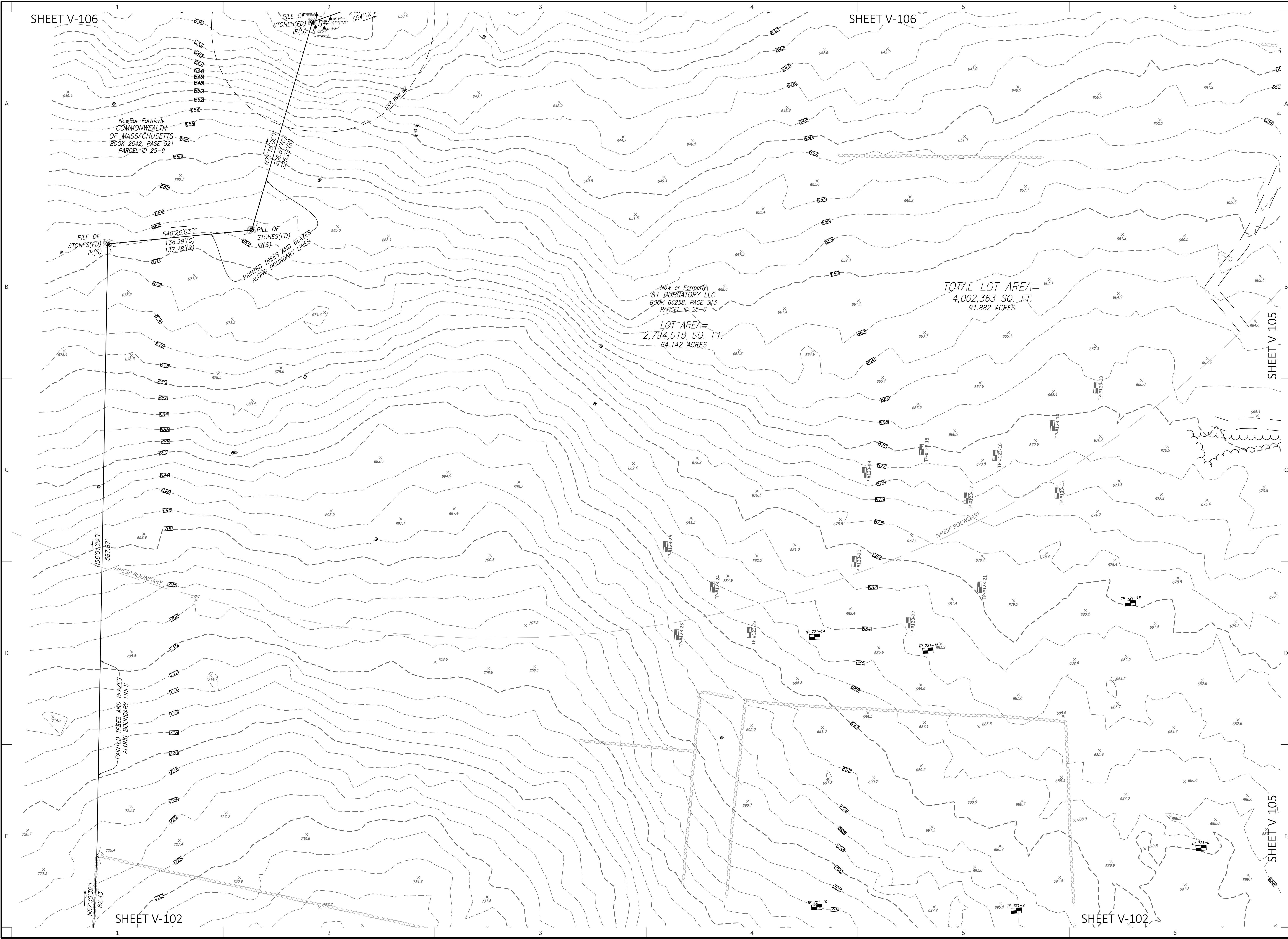
Sheet No.:  
**V-102**

C:\Users\WmBelen\OneDrive - Land Design Collaborative\Land Design Collaborative\Projects\2021\21-0120 81 Purgatory Road - Sutton\W032-0001-000.dwg









Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan  
OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**EXISTING CONDITIONS  
PLAN**

Local Permitting

Date: 08/16/2023

Prepared By:  
  
**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:  
  
**152 Hampden Street  
Boston, MA 02119**

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGE
1	06/12/2023	PERMANENT BENCHMARKS

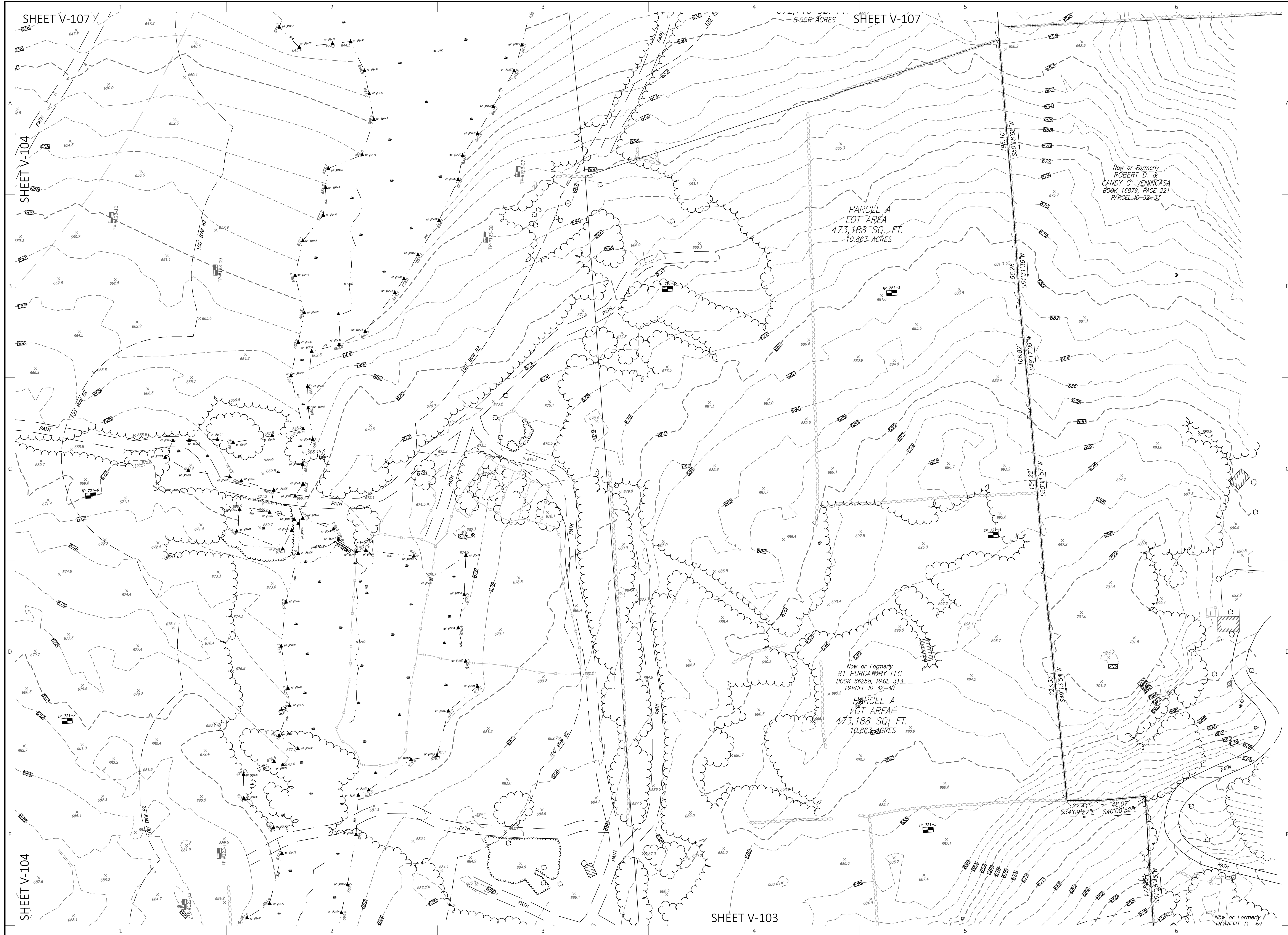
No: Date: Revision | Issue:

Drawn By: CMP Checked By: JRZ  
Date: 03/13/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 40'

Sheet No.:  
**V-104**





**Project Owner:**  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

**Project Applicant:**  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

**Project Title:**  
Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

**Sheet Title:**  
EXISTING CONDITIONS  
PLAN

**Local Permitting**

**Prepared By:**  
  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

**Project Surveyor:**  
  
152 Hampden Street  
Boston, MA 02119

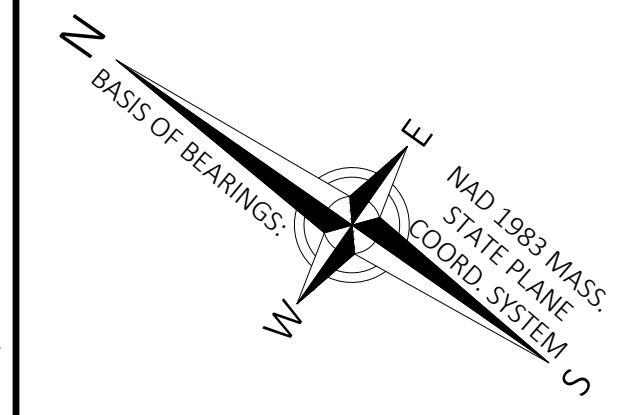
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

No.	Date:	Revision   Issue:
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGE
1	06/12/2023	PERMANENT BENCHMARKS

**Drawn By:** CMP **Checked By:** JRZ  
**Date:** 03/13/2023 **Project No.:** 21-0120

**Scale:** 1" = 40'

**Sheet No.:**  
**V-105**







Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan  
OSRD**

**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**EXISTING CONDITIONS  
PLAN**

Local Permitting

JOSEPH  
ZAMBUTO  
No. 52783  
Professional Engineer  
State of Massachusetts

Date: 08/16/2023

Prepared By:

**LD**  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

No:	Date:	Revision   Issue:
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGE
1	06/12/2023	PERMANENT BENCHMARKS

Drawn By: CMP Checked By: JRZ  
Date: 03/13/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 40'

Sheet No.:

**V-106**







GENERAL NOTES:

1. REFER TO SUTTON PLANNING BOARD & DEPARTMENT CERTIFICATE OF DECISION PRELIMINARY SUBDIVISION PLAN DATED SEPTEMBER 28, 2022.
2. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND IS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO SUBMIT A NOTICE OF INTENT WITH THE EPA AND SECURE AND COMPLY WITH THE CGP IN ACCORDANCE WITH THE NPDES REGULATIONS.
3. A MINIMUM OF SEVENTY-TWO (72) HOURS BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99), MUNICIPAL UTILITY DEPARTMENTS, AND UTILITY DISTRICTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION NOTIFICATION AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK AND COORDINATE WITH THE PROJECT ARCHITECT AND ENGINEER AS NECESSARY.
5. THE CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
6. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF-SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 18 & 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
7. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY, JOB SAFETY AND CONSTRUCTION MEANS AND METHODS. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND STATE AND LOCAL REQUIREMENTS.
9. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS, STORMWATER BASINS OR WETLAND RESOURCES.
10. ANY ALTERATIONS MADE IN THE FIELD TO THE WORK SHOWN ON THESE DRAWINGS SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
11. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING RECORD AS-BUILT DRAWINGS OF ALL SUBSURFACE UTILITIES.
13. ANY AREA DISTURBED BY THE CONTRACTOR OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS AT NO COST TO THE OWNER.

EROSION AND SEDIMENT CONTROL NOTES:

1. PRIOR TO CONSTRUCTION A FENCE SHALL BE PLACED AROUND ALL TREES THAT ARE TO BE MAINTAINED AND PROTECTED. NO CONSTRUCTION ACTIVITY OR STOCKPILING OF MATERIAL SHALL BE ALLOWED WITHIN THE DRIPLINE OF THE EXISTING TREES THAT ARE TO REMAIN.
2. SITE ELEMENTS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
3. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN THE ORDER OF CONDITIONS (MASSDEP FILE # CE 303-0983) ISSUED BY THE SUTTON CONSERVATION COMMISSION OR ANY OTHER PERMIT ISSUED FOR THE SITE.
4. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS DURING CONSTRUCTION TO MINIMIZE THE RUNOFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS, CALCIUM CHLORIDE OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO WATER SUPPLIES AND SURFACE WATERS. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.
5. CONTRACTOR SHALL UTILIZE TEMPORARY SEDIMENT PITS OR BASINS AS NECESSARY TO PREVENT SEDIMENT LADEN WATERS FROM ENTERING DRAINAGE FACILITIES. SPECIAL ATTENTION SHALL BE GIVEN TO AREAS FOR PROPOSED STORMWATER INFILTRATION SYSTEMS. IF ADDITIONAL SILTATION CONTROL IS REQUIRED, CHECK DAMS OR SILT FENCES MAY BE PLACED IN DITCHES RECEIVING STORMWATER FROM DISTURBED AREAS, UPON APPROVAL OF THE PROJECT ENGINEER.
6. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MEASURES DEPICTED HEREON.
7. MEASURES FOR CONTROL OF EROSION MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED BEYOND LEVELS ESTABLISHED BY THE STATE OR OTHER CONTROLLING BODY, IN WATERS USED FOR PUBLIC SUPPLY OR FISHING UNLESS OTHER LIMITS HAVE BEEN ESTABLISHED FOR THE PARTICULAR WATER.
8. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING THE DURATION OF CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT EROSION CONTROL BARRIERS ARE INTACT. EROSION CONTROL BARRIERS SHALL BE CLEANED AND MAINTAINED AS REQUIRED TO ENSURE FUNCTIONALITY.
9. AN ANTI-TRACKING CONSTRUCTION ENTRANCE SHALL BE MAINTAINED AT ALL POINTS OF CONSTRUCTION ACCESS AND EGRESS TO PUBLIC RIGHTS-OF-WAY FOR THE DURATION OF CONSTRUCTION.
10. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEPED AND CLEANED AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, WHICH INCLUDES STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION.
12. ALL TOPSOIL WITHIN THE LIMITS OF THE EXCAVATED AREAS SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE AND SEGREGATED FROM SUBSURFACE SOIL MATERIAL. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY THE PROJECT ENGINEER.
13. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN THE LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
14. SILT SACKS SHALL BE INSTALLED IN ALL DOWNSTREAM DRAIN INLETS PRIOR TO CONSTRUCTION TO CONTROL SILTATION.
15. WITHIN THE LIMIT OF WORK TREES THAT ARE TO BE REMOVED MAY BE CUT BUT BRUSH AND STUMPS SHALL NOT BE REMOVED UNTIL ONE WEEK PRIOR THE START OF CONSTRUCTION. DISTURBANCE OF THE EXISTING GROUND SURFACE SHALL BE MINIMIZED PRIOR TO THE START OF CONSTRUCTION.
16. SILTATION AND SEDIMENTATION BASINS SHALL BE INSTALLED ON SITE TO DE-SILT ALL STORMWATER OR WATER PUMPED FROM EXCAVATED AREAS. PROPOSED DETENTION AND INFILTRATION BASINS MAY BE UTILIZED AS SILTATION PONDS PROVIDED THAT TOPSOIL AND SUBSOIL IS NOT STRIPPED FROM THE BOTTOM OF THE BASINS. SILTATION AND SEDIMENTATION BASINS SHALL BE CONSTRUCTED TO RECEIVE DISCHARGE FROM SILTATION AND SEDIMENTATION PONDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION. FOLLOWING STABILIZATION OF UPSTREAM TRIBUTARY AREAS, TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM BASINS AND FREE-DRAINING SOIL FILL MATERIAL PLACED FROM PARENT MATERIAL UP TO SUBGRADE. BASIN BOTTOMS SHALL RECEIVE FINAL LOAM AND SEED.
17. EROSION CONTROL BLANKETS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS FOR AREAS REQUIRING SLOPE STABILIZATION AND SHALL BE LOAMED, SEEDED AND FERTILIZED PRIOR TO THE PLACEMENT OF THE BLANKETS.
18. CONTRACTOR SHALL DIVERT STORMWATER RUNOFF AROUND THE SITE AS REQUIRED AND DRAINAGE SHALL BE RESTORED TO CONDITION EXISTING PRIOR TO CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
19. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED OR MULCHED AS SOON AS PRACTICABLE.

CONSTRUCTION SEQUENCING NOTES:

1. INSTALL CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB ONLY AS NECESSARY FOR SAFE ACCESS TO SITE FOR TREE REMOVAL EQUIPMENT AND MACHINERY AND THE INSTALLATION OF EROSION CONTROL BARRIER AND SEDIMENT CONTROL MEASURES AROUND THE INITIAL STAGING AREA(S).
3. FELL TREES WITHIN APPROVED LIMITS OF CLEARING (WORK AREA).
4. INSTALL EROSION CONTROL BARRIERS AND SEDIMENT CONTROL MEASURES AS WELL AS LIMIT OF WORK DEMARCATION (FLAGGING OR FENCING) AS MAY BE SHOWN ON THE DRAWINGS OR REQUIRED BY PERMIT GRANTING AUTHORITIES.
5. EXCAVATE TEMPORARY SEDIMENTATION BASINS TO ONE FOOT ABOVE BOTTOM OF BASIN ELEVATION AND CONSTRUCT TEMPORARY DIVERSION SWALES TO DIRECT SEDIMENTATION RUNOFF TO BASINS.
6. CLEAR AND GRUB WITHIN LIMIT OF WORK AREA AND PROPERLY DISPOSE OF STUMPS AND BRUSH.
7. PERFORM SITE CUT AND FILL OPERATIONS AND ESTABLISH ROUGH SUB-GRADES.
8. ROUGH GRADE PAVED AREAS.
9. LOAM AND SEED TEMPORARY SEDIMENT BASINS AND TEMPORARY DIVERSION SWALES.
10. ESTABLISH STOCKPILE AREA AND SURROUND WITH EROSION CONTROL BARRIER. AVOID STOCKPILING IN VALLEYS OR LOW-LYING AREA WHERE SUSCEPTIBLE TO EROSION.
11. MAINTAIN CONSTRUCTION ENTRANCE, EROSION CONTROL MEASURES, TEMPORARY DIVERSION SWALES AND TEMPORARY SEDIMENTATION BASINS THROUGHOUT DURATION OF CONSTRUCTION. REMOVE SEDIMENT IN TEMPORARY BASIN(S) WHEN ACCUMULATED TO A DEPTH OF TWELVE (12) INCHES.
12. SEDIMENTATION BASINS TO REMAIN DURING EARTHWORK OPERATIONS. ALL SEDIMENT SHALL BE REMOVED FROM BASINS AND BOTTOM OF BASINS EXCAVATED TO FINAL BOTTOM ELEVATION FOLLOWING STABILIZATION OF DISTURBED AREAS.
13. EROSION AND SEDIMENT CONTROL IS SUBJECT TO CHANGE BASED UPON FIELD CONDITIONS, CONSTRAINTS, AND OTHER UNFORESEEN FACTORS.

LAYOUT AND MATERIAL NOTES:

1. ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTERLINE OF PAVEMENT MARKINGS UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING.
5. EXISTING PROPERTY LINE MONUMENTATION SHALL BE PROTECTED DURING CONSTRUCTION. ANY MONUMENTATION DISTURBED DURING CONSTRUCTION OR ANY PROPOSED MONUMENTATION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. SYMBOLS OF PROJECT FEATURES DEPICTED IN THESE DRAWINGS ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S SPECIFICATIONS, SHOP DRAWINGS AND FIELD MEASUREMENTS FOR ACCURATE INFORMATION.
7. ALL PAVEMENT MARKINGS INCLUDING PARKING SPACES AND CROSSWALKS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTES.

GRADING, DRAINAGE AND UTILITY NOTES:

1. THE CONTRACTOR SHALL CONFIRM THE SIZE AND DISPOSITION OF ALL UTILITIES TO SITE AND COORDINATE WITH RESPECTIVE UTILITY COMPANIES REGARDING ANY UTILITIES THAT REQUIRE REMOVAL OR RELOCATION. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT DEPICTED HEREON. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF SUBSURFACE UTILITY LOCATIONS OR DISPOSITION, UNLESS OTHERWISE NOTED ON THE PLAN.
3. CONTRACTOR SHALL CONFIRM DEPTH(S) OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE PROJECT SURVEYOR AND ENGINEER.
5. PROVIDE CRIBBING TO PROTECT UTILITY LINES DURING CONSTRUCTION AS NECESSARY.
6. THE CONTRACTOR SHALL PROTECT SUBSURFACE DRAINAGE AND ALL OTHER UTILITIES FROM EXCESSIVE VEHICLE LOADS DURING CONSTRUCTION. FACILITIES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER OR UTILITY OWNER.
7. ALL DRAIN PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE (CPE TYPE S; AASHTO M252 OR M294), UNLESS OTHERWISE NOTED. PIPE LENGTHS ARE MEASURED CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
8. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF GAS, ELECTRIC, TELECOMMUNICATIONS AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AS REQUIRED. WHERE AN EXISTING UTILITY IS IN CONFLICT WITH THE PROPOSED WORK THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE OWNER AND PROJECT ENGINEER FOR RESOLUTION.
9. PROPOSED GAS, ELECTRIC, TELECOMMUNICATIONS AND CABLE TV DEPICTED IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR FINAL PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE LIGHTING WITH THE LOCAL DPW. LIGHTING FIXTURES SHALL BE MOUNTED TO THE UTILITIES POLES SHOWN ON THE PLAN AND SHALL BE 100W LED FIXTURE COMPLYING WITH THE SPECIFICATIONS OF THE TOWN OF SUTTON.
11. ALL UTILITIES INCLUDING CONCRETE PADS ARE TO BE INSTALLED PER UTILITY COMPANY OR LOCAL DPW STANDARDS AS APPLICABLE.
12. ALL UTILITY COVERS, GRATES, HATCHES, ETC., SHALL BE FLUSH WITH THE PAVEMENT FINISHED GRADE.
13. EXISTING PAVEMENT SHALL BE SAW CUT AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
14. FINAL GRADES SHALL BE PITCHED EVENLY BETWEEN SPOT ELEVATIONS AND ALL AREAS SHALL BE GRADED TO DRAIN WITH NO PUDDLING OR PONDING.
15. THE CONTRACTOR SHALL SCHEDULE THE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBING MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
16. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
17. RIPRAP APRONS SHALL BE PROVIDED AT ALL FLARED ENDS AND HEADWALLS.
18. RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT ARE TO BE DESIGNED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALLS WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO THE STATE BUILDING CODE (780 CMR).
19. ALL DISTURBED AREAS SHALL BE LOAMED TO A SIX (6) INCH DEPTH AND SEEDED WITH SUITABLE GRASS SEED MIX UNLESS OTHERWISE SPECIFIED ON THE PLANS.

PLANTING NOTES:

1. ALL PLANT MATERIAL SHALL BE ASIAN LONGHORNED BEETLE RESISTANT.
2. STREET TREE LOCATIONS AND QUANTITY SHOWN ON THE PLANS AREA BASED ON THE ANTICIPATED LIMITS OF CLEARING ALONG THE ROAD LAYOUT AT FULL BUILD OUT. FINAL LOCATIONS AND QUANTITY SUBJECT TO ACTUAL CONDITIONS IN THE FIELD.
3. ALL PLANT MATERIAL SHALL MEET THE THE SPECIFICATIONS AND GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK ISSUED BY THE AMERICAN ASSOCIATION OF NURSESYMEN, INC.
4. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL SIZE, HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE. ALL PROPOSED SUBSTITUTIONS SHALL BE REVIEWED AND APPROVED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO PURCHASING.
5. FINAL QUANTITIES FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLANS. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL REPORT AND DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT THE SITE. MATERIAL SHALL BE REMOVED FROM THE PROPERTY BY THE LANDSCAPE CONTRACTOR AND REPLACED WITH PLANT MATERIAL APPROVED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
7. ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE SPECIFIED.
8. THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW AND ABOVE GRADE UTILITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS.
9. ALL TREE PLANTINGS TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION FROM PROPOSED AND EXISTING SEWER AND WATER LINES.
10. ALL PLANTING BEDS ARE TO BE CROWNED WITH TOPSOIL AND MULCH ABOVE ADJACENT AREAS.
11. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT.
12. THE LANDSCAPE CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL AS SHOWN ON THE PLANS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
13. PROVIDE A 3" DEPTH OF MULCH AS SHOWN ON THE PLANTING DETAILS UNDER AND AROUND ALL PLANT MATERIAL AND IN ALL PLANT BEDS AND LANDSCAPE ISLANDS. MULCH SHALL BE CLEAN, SHREDED PINE BARK MULCH UNLESS OTHERWISE SPECIFIED. PRIOR TO SPREADING MULCH, APPLY A WEED PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS.
14. ALL TREES ADJACENT TO SIDEWALKS SHALL HAVE A 6'-8" MINIMUM BRANCHING HEIGHT AT TIME OF PLANTING.
15. LAWN AND DISTURBED SHALL RECEIVE A MINIMUM OF 6" OF LOAM AND SPECIFIED SEED MIX UNLESS OTHERWISE NOTED. AREAS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
16. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL AND LAWN AREAS UNTIL DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. WATERING SHALL BE PROVIDED DURING THE FIRST GROWING SEASON WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
17. IF AN IRRIGATION SYSTEM IS PROVIDED THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL COORDINATION WITH THE IRRIGATION CONTRACTOR TO PROVIDE PROPER IRRIGATION TO ALL TREES, PLANT BEDS AND LAWN AREAS UNLESS OTHERWISE NOTED. IRRIGATION DESIGN AND PERMITTING TO BE PROVIDED BY OTHERS.
18. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE AT NO ADDITIONAL COST TO OWNER.

ABBREVIATIONS

ACRES	AC.
BITUMINOUS CONCRETE	BIT. CONC.
CONCRETE	CONC.
DIAMETER	DIA.
FOUND	FND
LAND AREA EXCLUSIVE OF EASEMENT	L.A.E.E.
LINEAR FEET	L.F.
MAINTAIN AND PROTECT	M&P
NOT TO SCALE	N.T.S.
NOW OR FORMERLY	N / F
PLUS OR MINUS	±
SQUARE FEET	S.F.
REMOVE AND DISPOSE	R&D
REMOVE AND REPLACE	R&R
REMOVE AND STOCKPILE	R&S
VERIFY IN FIELD	V.I.F.

LEGEND

ENVIRONMENTAL

100' FLOOD ZONE	100' WBZ
100' WETLAND BUFFER ZONE	
200' RIVERFRONT AREA	ABRVW
APPROX. BOUNDARY BORDERING VEGETATED WETLAND	BRVW
BOUNDARY BORDERING VEGETATED WETLAND	ECB
EROSION CONTROL BARRIER	FLOB
STREAM - INTERMITTENT	FLOWT
STREAM - PERENNIAL	
WATER BODY	

GRADING & TOPOGRAPHY

BASEMENT FLOOR ELEVATION	BFE=100.00
CONTOUR - MINOR	99
CONTOUR - MAJOR	100
CURB - BOTTOM OF CURB	BCx100
CURB - TOP OF CURB	TCx100
FINISH FLOOR ELEVATION	FFE=100.00
FOUNDATION - TOP OF FOUNDATION	TOF=100.00
GARAGE FLOOR ELEVATION	GFE=100.00
HIGH POINT	HPx100
LOW POINT	LPx100
SPOT ELEVATION	x100.00
TREELINE	
WALL - BOTTOM OF WALL	BWx100
WALL - TOP OF WALL	TWx100

MATERIALS

BOLLARD POST	BP
BUILDING	D
BUILDING - DOOR	D
BUILDING - OVERHEAD DOOR	OHD
BUILDING - OVERHANG	
CAPE COD BERM	CCB
CURB - BITUMINOUS CONCRETE	BCC
CURB - CONCRETE	CC
CURB - HAUNCHED	HCC
CURB - SLOPED GRANITE	SGC
CURB - VERTICAL GRANITE	VGC
EDGE OF PAVEMENT	EOP
FENCE - CHAIN LINK	CLE
FENCE - POST & RAIL	P&R
FENCE - STOCKADE	SE
GUARDRAIL - STEEL	SGR
GUARDRAIL - STEEL BACK WOODEN	SBWG
GUARDRAIL - WOODEN	WGR
HANDICAP ACCESSIBLE PARKING SPACE	WCR
HANDICAP ACCESSIBLE RAMP	
HANDRAIL - STEEL	SHR
HANDRAIL - WOODEN	WHR
LIGHTPOLE	LP
RIPRAP	
SIGN	
WALL - CONCRETE	
WALL - HEAD	
WALL - RAILROAD TIE	
WALL - STONE	
WALL - WING	

MONITORING & TESTING

MONITORING WELL	MW
PERCOLATION TEST	PT-##
TEST PIT	TP-##

UTILITIES & DRAINAGE

ELECTRIC & COMMUNICATION

ELECTRIC BOX	E
ELECTRIC, COMMUNICATION & DATE LINE	UGE
ELECTRIC MANHOLE	EMH
OVERHEAD WIRE	OHW
TELEPHONE MANHOLE	TMH
TRANSFORMER	T
UTILITY POLE	UP

GAS

GAS LINE	G
GAS METER	GM
GATE VALVE	GV

STORMWATER

AREA DRAIN	AD
CATCH BASIN	CB
CATCH BASIN - D-TYPE	CB D-TYPE
CATCH BASIN - DOUBLE	DCB
CATCH BASIN - LEACHING	LCB
CATCH BASIN - ROUND	CB
DROP INLET	DI
DRAINLINE	D
DRAIN MANHOLE	DMH
FLARED END	FE
FOUNDATION DRAIN	FD
INVERT	INV=100.00
OUTLET CONTROL STRUCTURE	OCS
RIM	R=100.00
ROOF DRAIN	RD

WATER & APPURTENANCES

WELL	W
------	---

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_

DATE \_\_\_\_\_



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

**Lavallee Family Irrevocable Tr.**  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

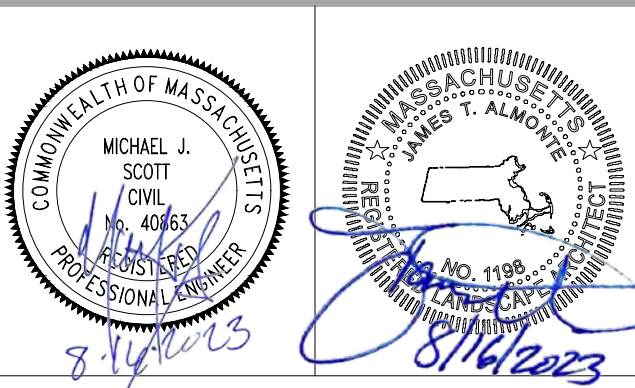
Project Title:

**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**GENERAL NOTES, LEGEND, CONDITIONS & WAIVERS**

Local Permitting



Prepared By:



**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

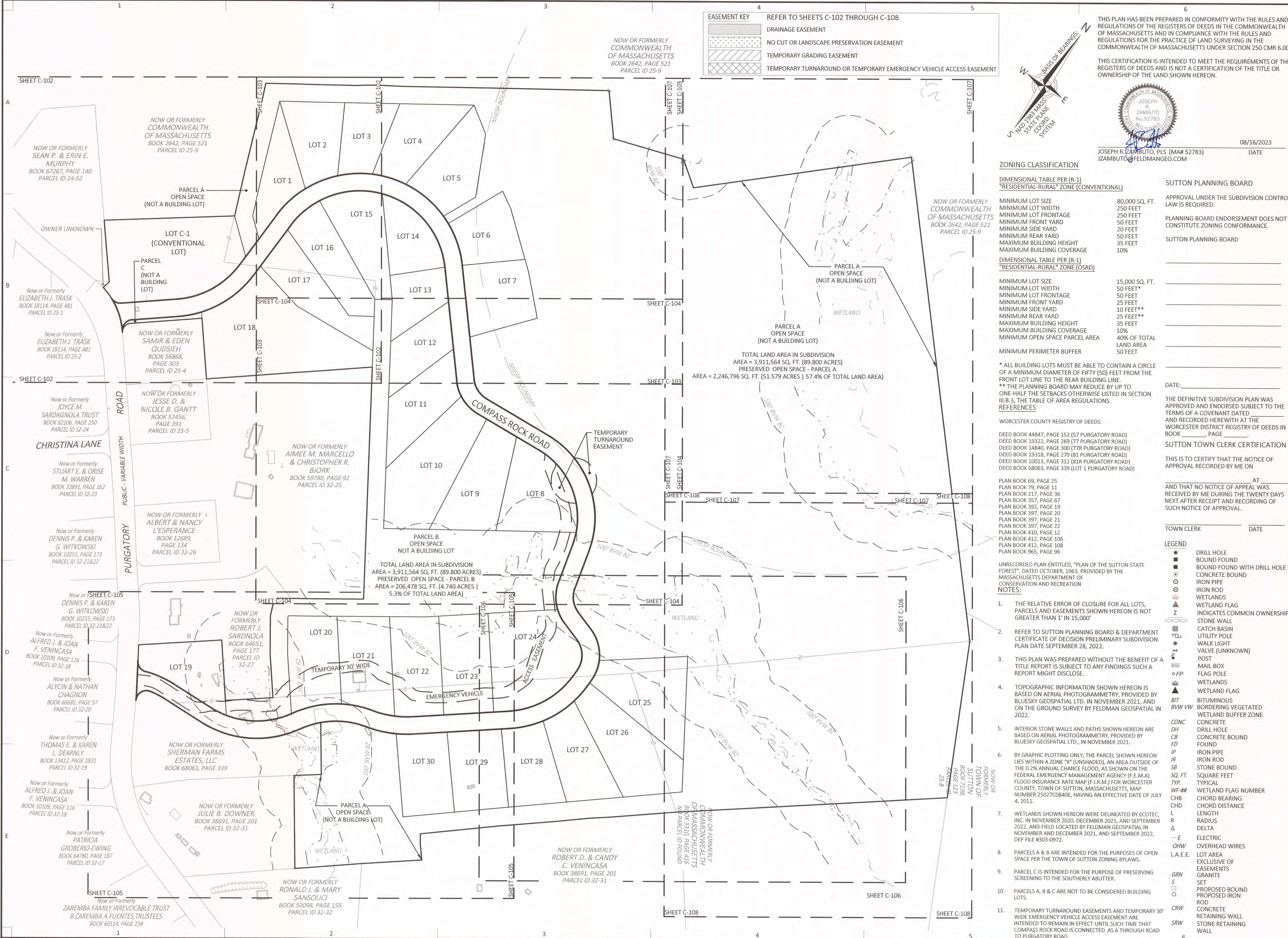
3	08/16/2023	ENDORSEMENT PLANS	
2	07/13/2023	PEER REVIEW & TOWN COMMENTS	
1	06/12/2023	PEER REVIEW & TOWN COMMENTS	
No:	Date:	Revision   Issue:	

Drawn By:	ESM	Checked By:	WMB
Date:	03/13/2023	Project No.:	22-0120

Sheet No.:

**C-001**





EASEMENT KEY	
	DRAINAGE EASEMENT
	NO CUT OR LANDSCAPE PRESERVATION EASEMENT
	TEMPORARY GRADING EASEMENT
	TEMPORARY TURNAROUND OR TEMPORARY EMERGENCY VEHICLE ACCESS EASEMENT

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS UNDER SECTION 250 CMR 6.00.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTERS OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.

JOSEPH R. ZAMBUTO, PLS (MA# 52783)  
JZAMBUTO@FELDMAN.CO

08/16/2023  
DATE

**ZONING CLASSIFICATION**

DIMENSIONAL TABLE PER (R-1) "RESIDENTIAL-RURAL" ZONE (CONVENTIONAL)

MINIMUM LOT SIZE	80,000 SQ. FT.
MINIMUM LOT WIDTH	250 FEET
MINIMUM LOT FRONTAGE	250 FEET
MINIMUM FRONT YARD	50 FEET
MINIMUM SIDE YARD	20 FEET
MINIMUM REAR YARD	50 FEET
MAXIMUM BUILDING HEIGHT	35 FEET
MAXIMUM BUILDING COVERAGE	10%

DIMENSIONAL TABLE PER (R-1) "RESIDENTIAL-RURAL" ZONE (OSRD)

MINIMUM LOT SIZE	15,000 SQ. FT.
MINIMUM LOT WIDTH	50 FEET*
MINIMUM LOT FRONTAGE	50 FEET
MINIMUM FRONT YARD	25 FEET
MINIMUM SIDE YARD	25 FEET**
MINIMUM REAR YARD	35 FEET
MAXIMUM BUILDING HEIGHT	10%
MAXIMUM BUILDING COVERAGE	40% OF TOTAL LAND AREA
MINIMUM OPEN SPACE PARCEL AREA	50 FEET

MINIMUM PERIMETER BUFFER

**SUTTON PLANNING BOARD**

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

UNRECORDED PLAN ENTITLED, "PLAN OF THE SUTTON STATE FOREST", DATED OCTOBER, 1963, PROVIDED BY THE MASSACHUSETTS DEPARTMENT OF CONSERVATION AND RECREATION

**NOTES:**

- THE RELATIVE ERROR OF CLOSURE FOR ALL LOTS, PARCELS AND EASEMENTS SHOWN HEREON IS NOT GREATER THAN 1" IN 15,000'
- REFER TO SUTTON PLANNING BOARD & DEPARTMENT CERTIFICATE OF DECISION PRELIMINARY SUBDIVISION PLAN DATE SEPTEMBER 28, 2022.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMMETRY, PROVIDED BY BLUESKY GEOSPATIAL LTD., IN NOVEMBER 2021, AND ON THE GROUND SURVEY BY FELDMAN GEOSPATIAL IN 2022.
- INTERIOR STONE WALLS AND PATHS SHOWN HEREON ARE BASED ON AERIAL PHOTOGRAMMETRY, PROVIDED BY BLUESKY GEOSPATIAL LTD., IN NOVEMBER 2021.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR WORCESTER COUNTY, TOWN OF SUTTON, MASSACHUSETTS, MAP NUMBER 25027C0840E, HAVING AN EFFECTIVE DATE OF JULY 4, 2011.
- WETLANDS SHOWN HEREON WERE DELINEATED BY ECOTEC, INC. IN NOVEMBER 2020, DECEMBER 2021, AND SEPTEMBER 2022, AND FIELD LOCATED BY FELDMAN GEOSPATIAL IN NOVEMBER AND DECEMBER 2021, AND SEPTEMBER 2022, DEP FILE #303-0972.
- PARCELS A & B ARE INTENDED FOR THE PURPOSES OF OPEN SPACE PER THE TOWN OF SUTTON ZONING BYLAWS.
- PARCEL C IS INTENDED FOR THE PURPOSE OF PRESERVING SCREENING TO THE SOUTHERLY ABUTTER.
- PARCELS A, B & C ARE NOT TO BE CONSIDERED BUILDING LOTS.
- TEMPORARY TURNAROUND EASEMENTS AND TEMPORARY 30' WIDE EMERGENCY VEHICLE ACCESS EASEMENT ARE INTENDED TO REMAIN IN EFFECT UNTIL SUCH TIME THAT COMPASS ROCK ROAD IS CONNECTED AS A THROUGH ROAD TO PURGATORY ROAD.

**LEGEND**

	DRILL HOLE
	BOUND FOUND
	BOUND FOUND WITH DRILL HOLE
	CONCRETE BOUND
	IRON PIPE
	IRON ROD
	WETLANDS
	WETLAND FLAG
	INDICATES COMMON OWNERSHIP
	STONE WALL
	CATCH BASIN
	UTILITY POLE
	WALK LIGHT
	VALVE (UNKNOWN)
	POST
	MAIL BOX
	FLAG POLE
	WETLANDS
	WETLAND FLAG
	BITUMINOUS
	BORDERING VEGETATED
	WETLAND BUFFER ZONE
	CONCRETE
	DRILL HOLE
	CONCRETE BOUND
	FOUND
	IRON PIPE
	IRON ROD
	STONE BOUND
	SQUARE FEET
	TYPICAL
	WETLAND FLAG NUMBER
	CHORD BEARING
	CHORD DISTANCE
	LENGTH
	RADIUS
	DELTA
	ELECTRIC
	OVERHEAD WIRES
	LOT AREA
	EXCLUSIVE OF EASEMENTS
	GRANITE
	PROPOSED BOUND
	PROPOSED IRON ROD
	CONCRETE RETAINING WALL
	STONE RETAINING WALL

For Registry Use Only

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
100 Front Street  
Worcester, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan  
OSRD  
Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**LOTING PLAN INDEX**

Local Permitting

Prepared By:

**LDC**  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

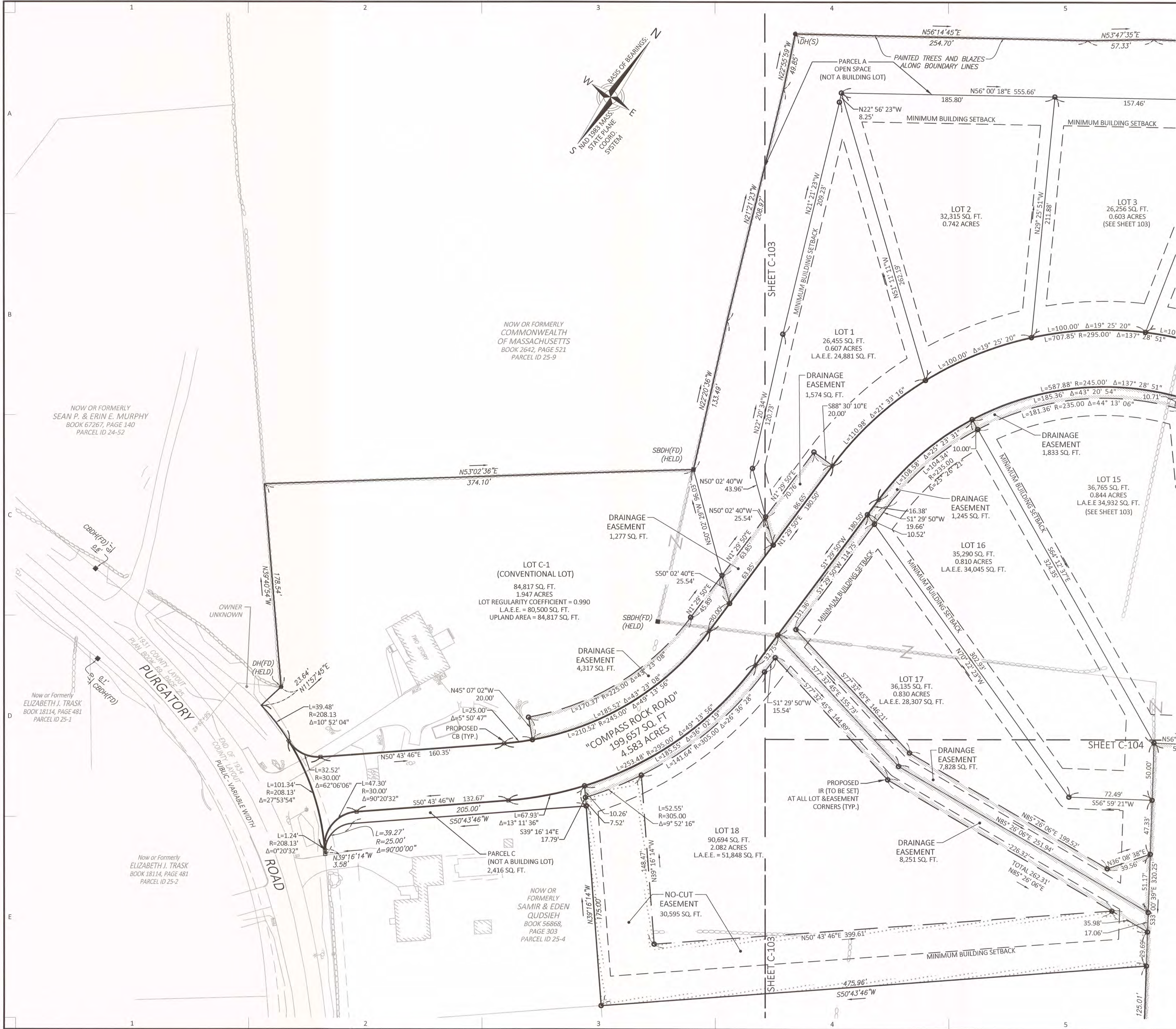
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: \_\_\_\_\_ Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120  
0 60 120 240 360  
Scale: 1" = 120'

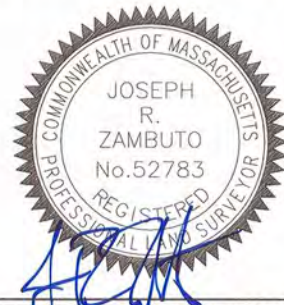
Sheet No.: **C-101**





THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS UNDER SECTION 250 CMR 6.00.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTERS OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



JOSEPH R. ZAMBUTO, PLS (MA# 52783)  
JZAMBUTO@FELDMANGE.CO.COM

08/16/2023

DATE

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK

DATE

EASEMENT KEY REFERENCE

REFER TO SHEET C-101 FOR EASEMENT KEY DEPICTING EASEMENT TYPES

For Registry Use Only

Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
100 Front Street  
Worcester, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

Definitive Subdivision Plan  
OSRD

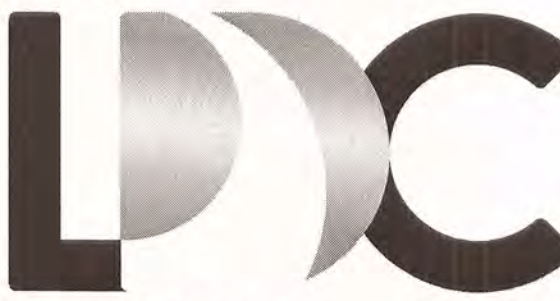
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

LOTING PLAN

Local Permitting

Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:



152 Hampden Street  
Boston, MA 02119

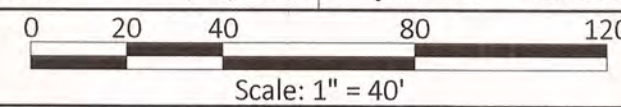
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

Date: 03/13/2023 Project No.: 21-0120



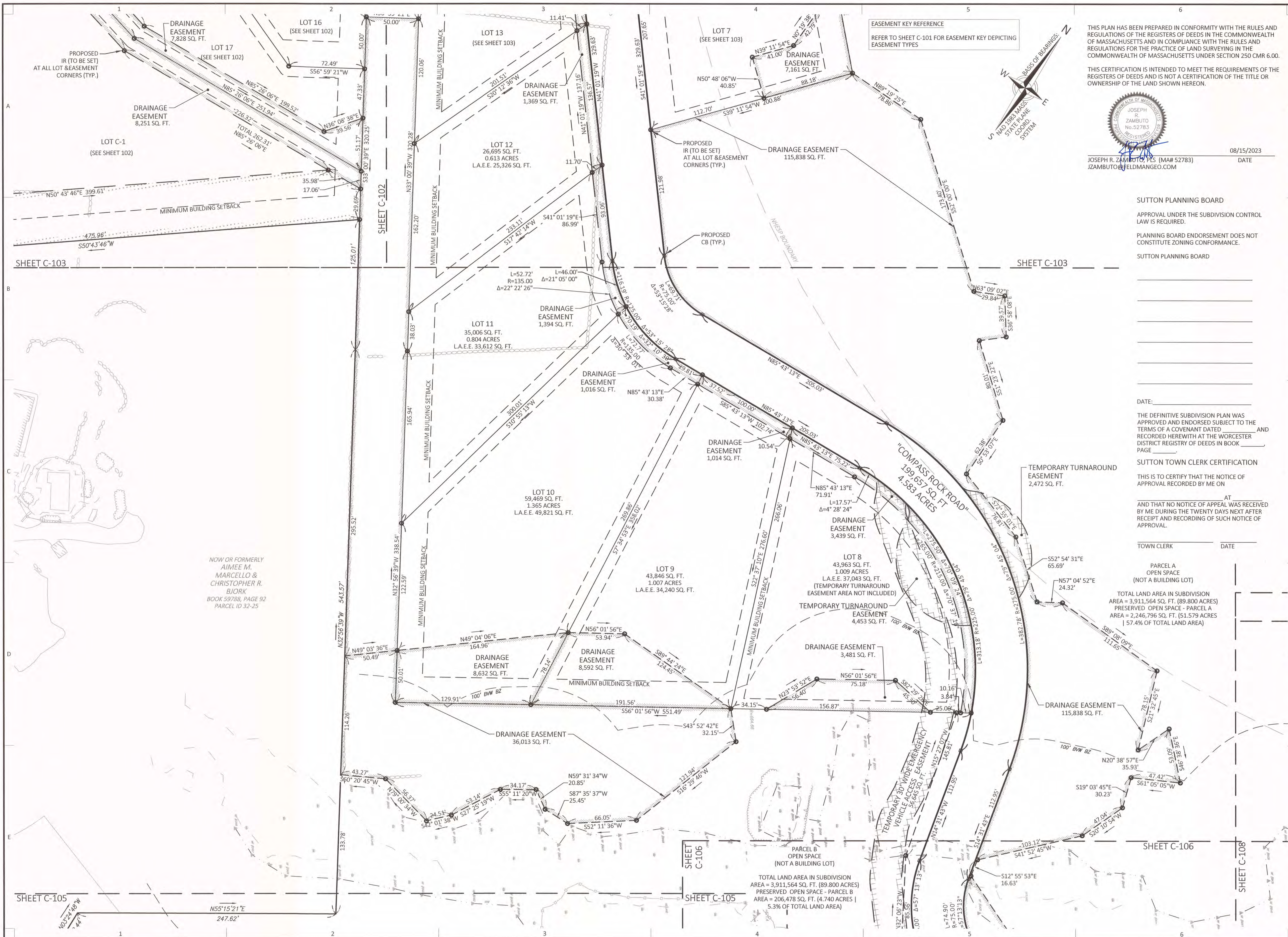
Sheet No.:

C-102









THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS UNDER SECTION 250 CMR 6.00.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTERS OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



JOSEPH R. ZAMBUTO, PLS (MA# 52783)  
JZAMBUTO@FELDMANGEOM.COM

08/15/2023  
DATE

For Registry Use Only

Project Owner:  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA  
Lavallee Family Irrevocable Tr.  
100 Front Street  
Worcester, Ma

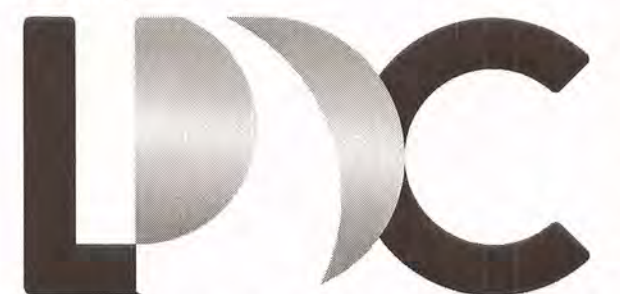
Project Applicant:  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:  
Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**LOTING PLAN**

## Local Permitting

Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDCollaborative.com

Project Surveyor:



152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

Drawn By: CMP	Checked By: WMB
Date: 03/13/2023	Project No.: 21-0120
0 20 40	80 120

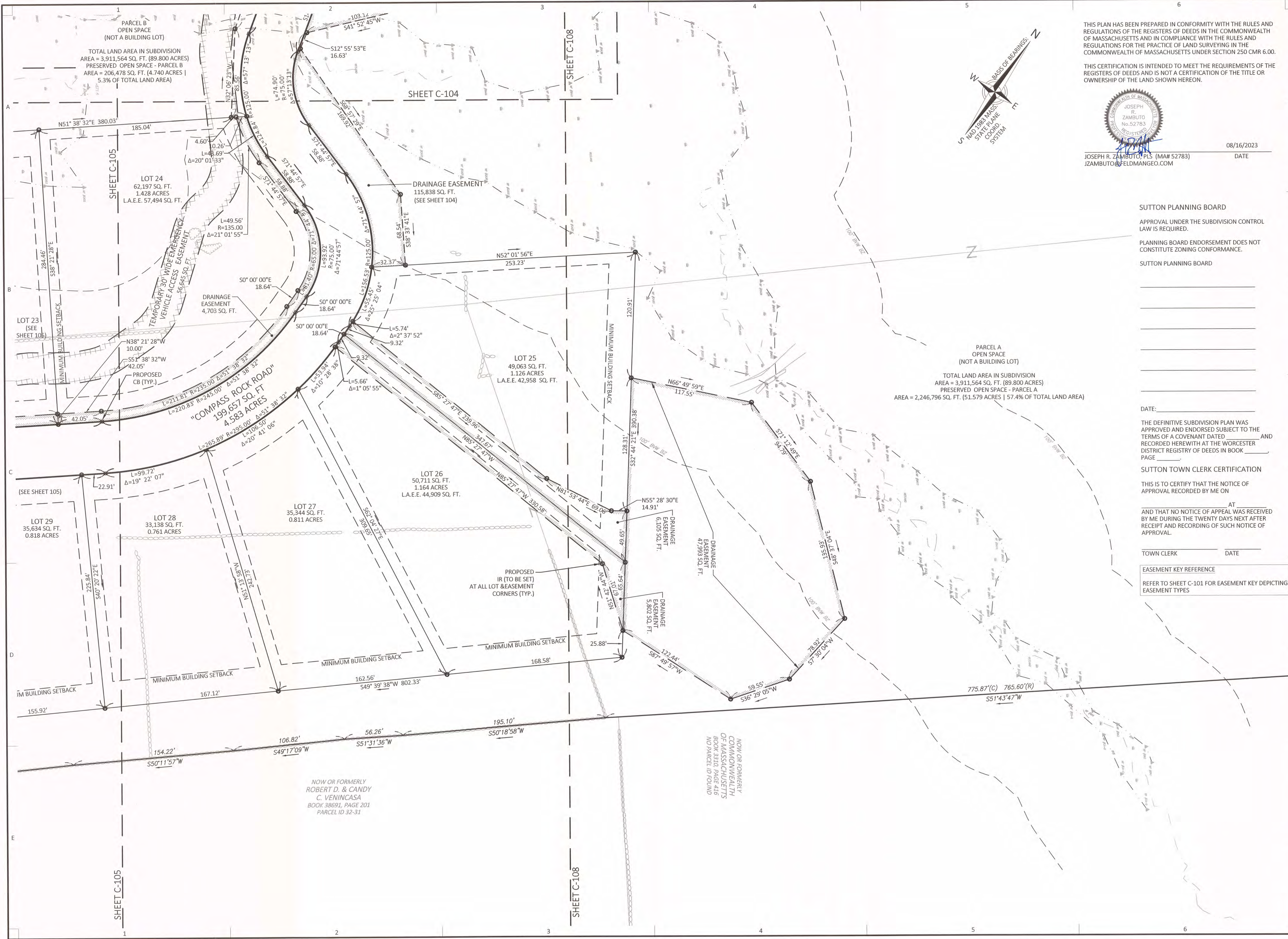
Sheet No.:

C-104



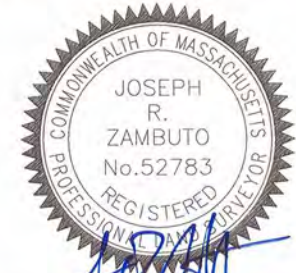






THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS UNDER SECTION 250 CMR 6.00.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTERS OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



JOSEPH R. ZAMBUTO, PLS (MA# 52783)  
JZAMBUTO@FELDMANGEO.COM

08/16/2023  
DATE

SUTTON PLANNING BOARD  
APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_  
THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION  
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

EASEMENT KEY REFERENCE  
REFER TO SHEET C-101 FOR EASEMENT KEY DEPICTING EASEMENT TYPES

For Registry Use Only

Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
100 Front Street  
Worcester, MA

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**LOTING PLAN**

Local Permitting

Prepared By:  
**LDC**  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:  
**FELDMANN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMANN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMANN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMANN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: \_\_\_\_\_ Date: \_\_\_\_\_ Revision: \_\_\_\_\_ Issue: \_\_\_\_\_

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120  
0 20 40 80 120  
Scale: 1" = 40'

Sheet No.:  
**C-106**

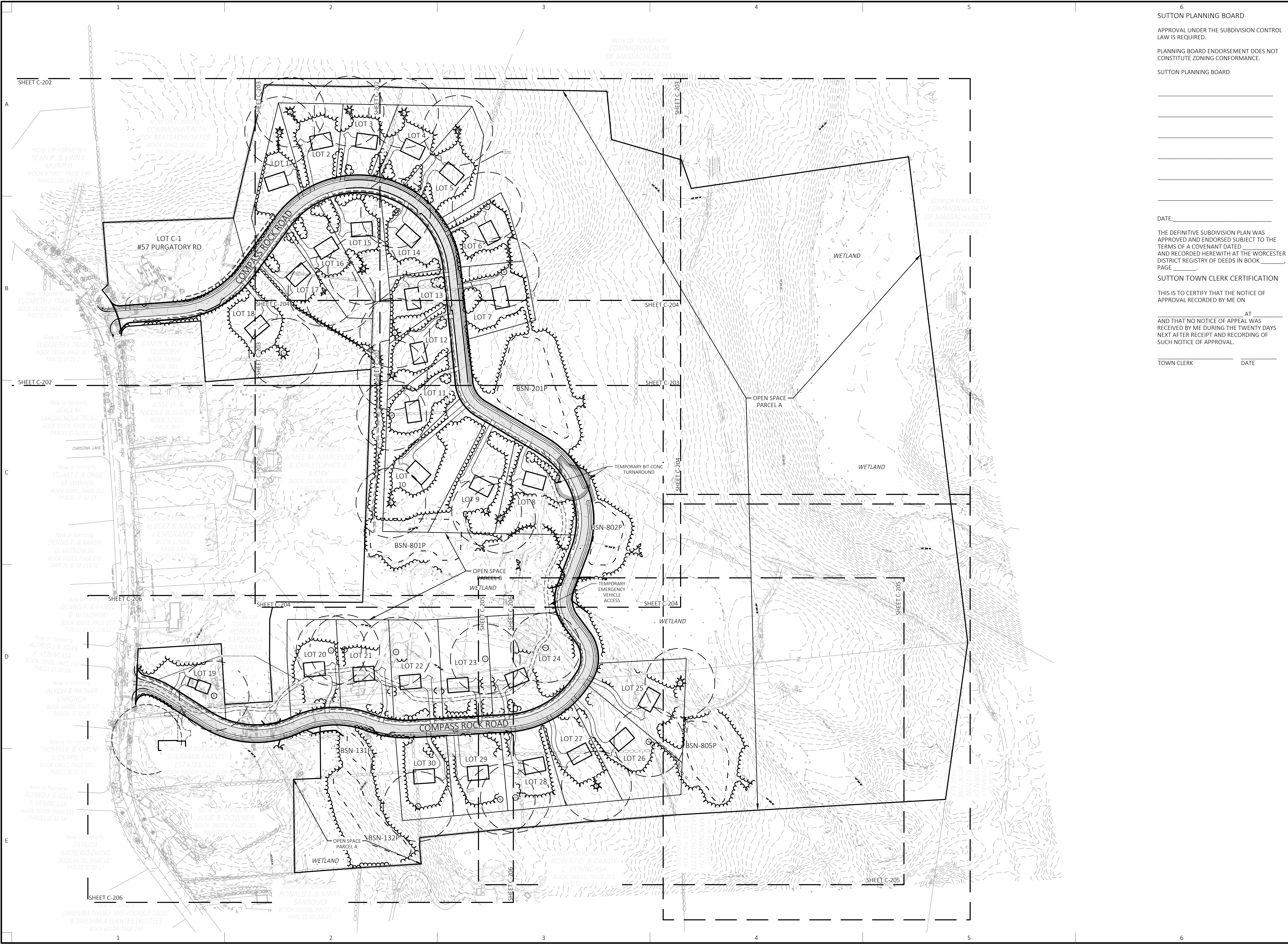












6  
SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE: \_\_\_\_\_

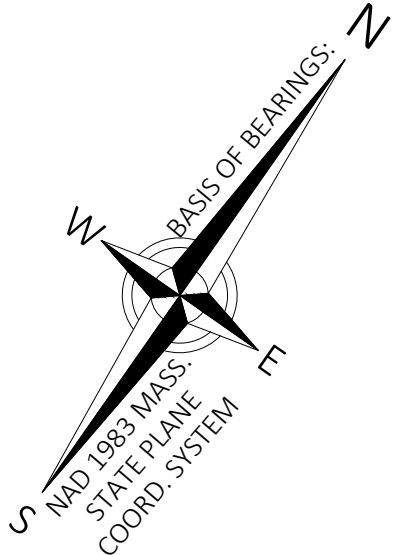
THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA


Project Title:

**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)


Sheet Title:

**GRADING & DRAINAGE**  
**INDEX PLAN**

Local Permitting




Prepared By:



**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:



**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

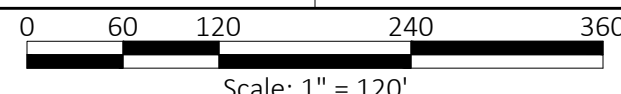
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

Date: 03/13/2023 Project No.: 21-0120



Scale: 1" = 120'

Sheet No.:

**C-201**





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

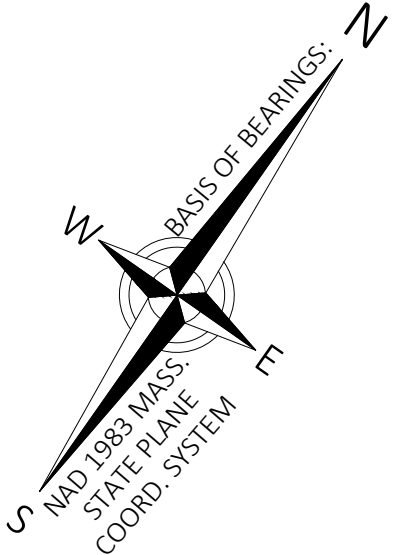
THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

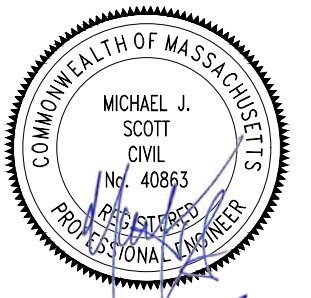
Project Title:

**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)


Sheet Title:

**GRADING, DRAINAGE & UTILITIES PLAN**

Local Permitting




Prepared By:



**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:



**152 Hampden Street**  
**Boston, MA 02119**

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

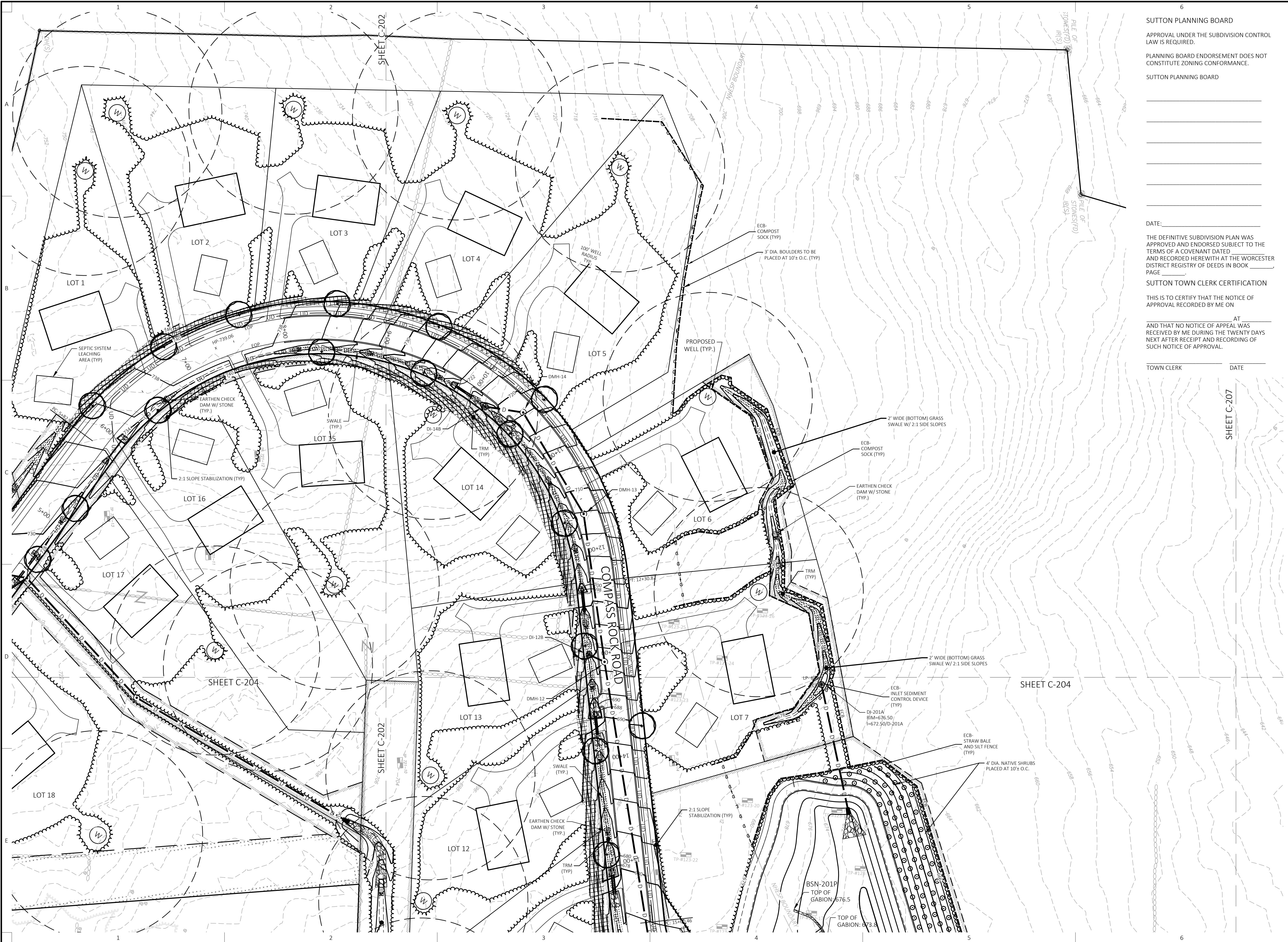
No: \_\_\_\_\_ Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

0 20 40 80 120  
Scale: 1" = 40'

Sheet No.: **C-202**





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

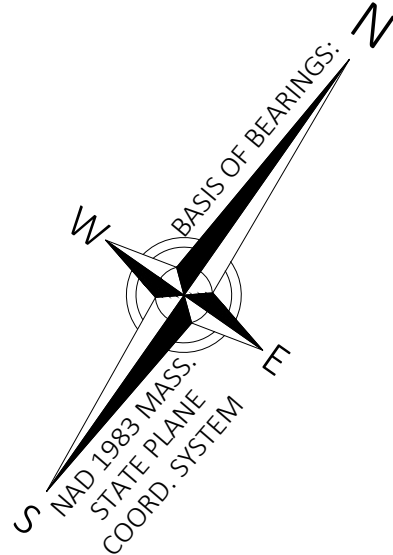
SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

SHEET C-207

SHEET C-204



Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

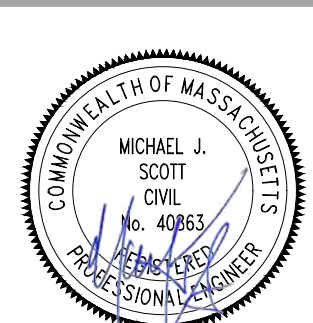
Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**GRADING, DRAINAGE & UTILITIES PLAN**

Local Permitting



Prepared By:

**LD**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

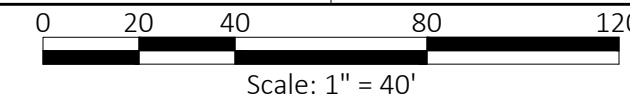
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120



Sheet No.:

**C-203**

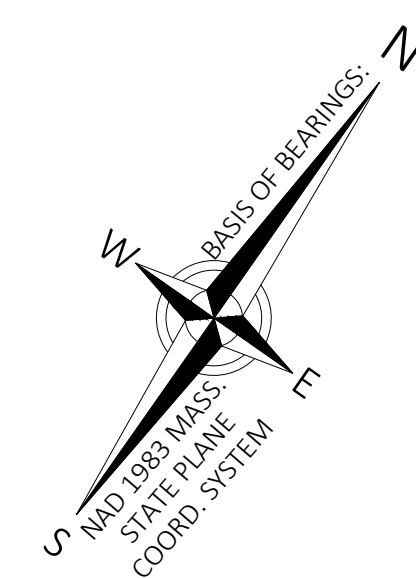
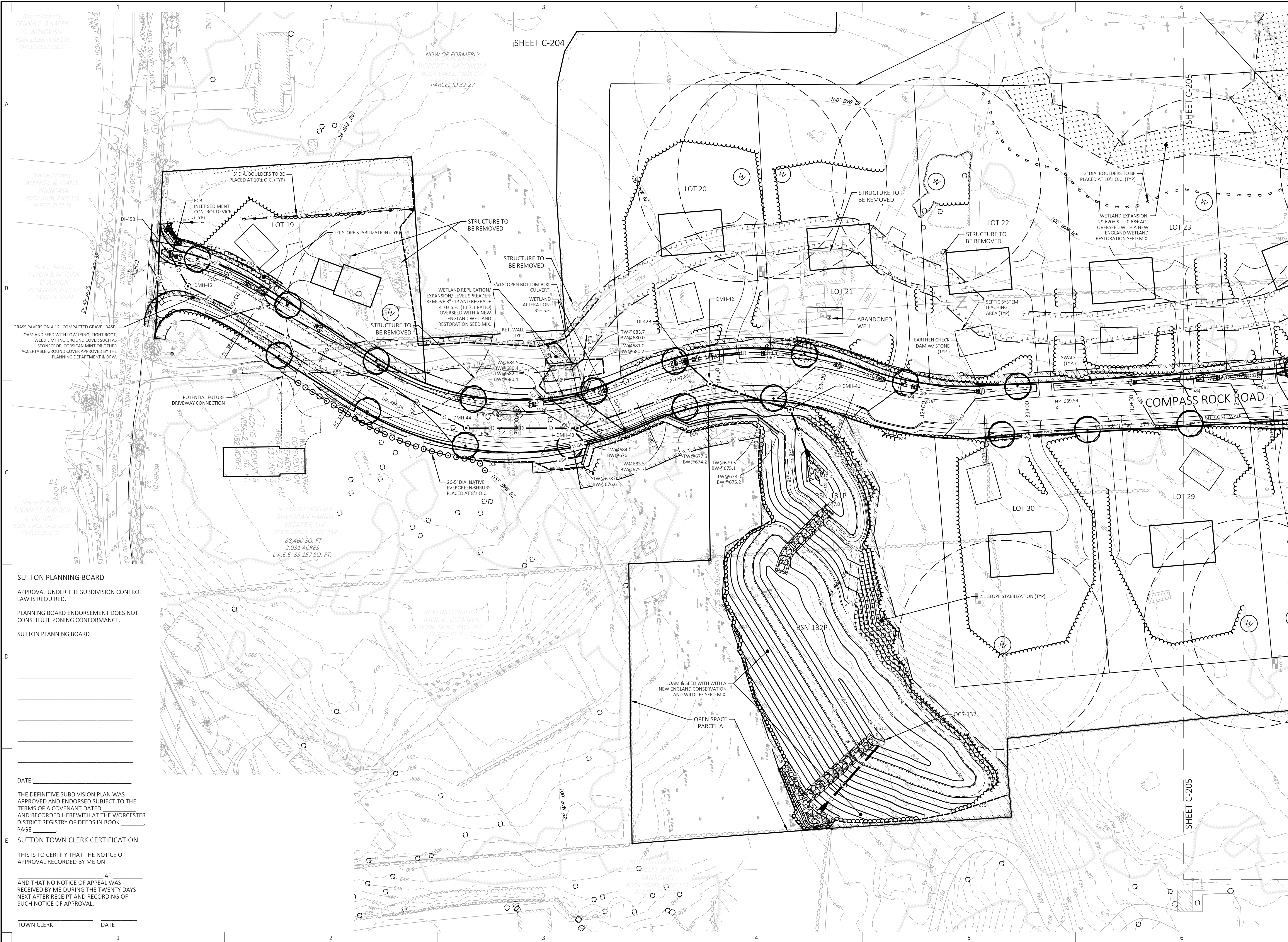












Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**GRADING, DRAINAGE & UTILITIES PLAN**

Local Permitting

Prepared By:

**LD**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS
No. Date:		Revision   Issue:
Drawn By:	CMP	Checked By: WMB
Date:	03/13/2023	Project No.: 21-0120
0 20 40 80 120 Scale: 1" = 40'		

Sheet No.:  
**C-206**

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

SUTTON TOWN CLERK CERTIFICATION

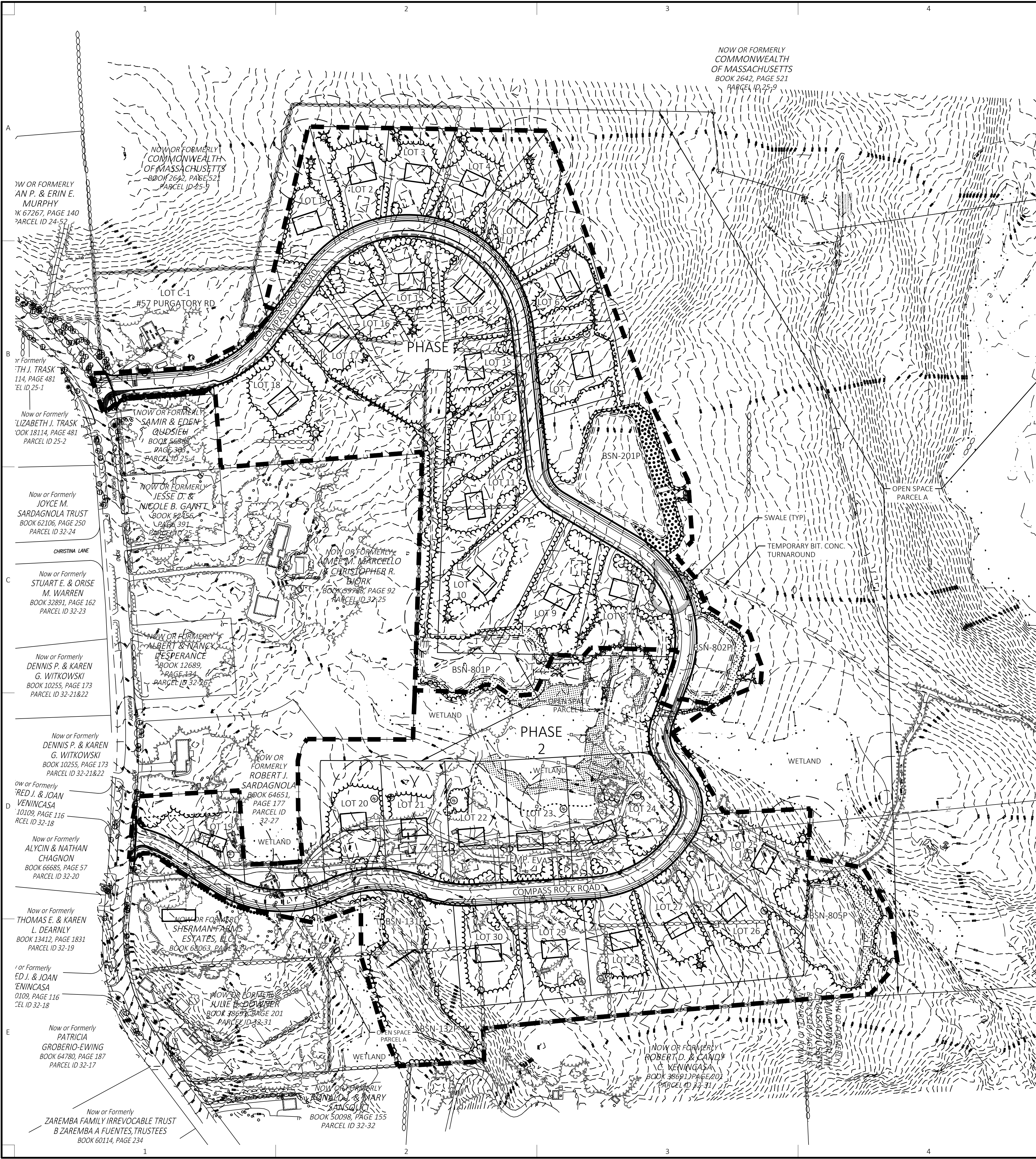
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON

AT

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK DATE





GENERAL PHASING CONSTRUCTION SEQUENCE:

REFER TO CONSTRUCTION SEQUENCING NOTES ON SHEET C-001

PHASE 1

COMPASS ROCK ROAD AND ASSOCIATED INFRASTRUCTURE

1. INSTALL CONSTRUCTION ENTRANCE AT THE ENTRANCE OF THE PHASE.
2. INSTALL EROSION CONTROL BARRIERS AND SEDIMENT CONTROL MEASURES AS WELL AS LIMIT OF WORK DEMARCATION (FLAGGING OR FENCING) AS SHOWN ON THE DRAWINGS OR REQUIRED BY PERMIT GRANTING AUTHORITIES.
3. CLEAR TREES WITHIN LIMIT OF WORK AREA ASSOCIATED WITH ROAD, SWALES AND STORMWATER MANAGEMENT BASIN(S), PROPERLY DISPOSING OF THE FELLEED TREES.
4. GRUB WITHIN LIMIT OF WORK AREA ASSOCIATED WITH THE SWALE AND STORMWATER MANAGEMENT BASIN(S), EXCAVATING TO TO ONE FOOT ABOVE BOTTOM OF BASIN(S) FOR USE AS A SEDIMENTATION BASIN DURING CONSTRUCTION. PROPERLY DISPOSE OF STUMPS AND BRUSH.
5. CONSTRUCT TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO DIRECT SEDIMENTATION RUNOFF TO BASINS BEGINNING WITH THE CONSTRUCTION OF BASIN(S). LOAM AND SEED STORMWATER BASIN(S) AND SWALE(S) TRIBUTARY THERETO.
6. PERFORM SITE CUT AND FILL OPERATIONS AND ESTABLISH ROUGH SUB-GRADES IN THOSE AREAS ASSOCIATED WITH THE ROAD, TEMPORARY TURNAROUND, TEMPORARY EMERGENCY VEHICLE ACCESS, AND ROADSIDE SWALES.
7. LOAM AND SEED TEMPORARY SEDIMENT BASINS AND TEMPORARY DIVERSION CHANNELS.
8. INSTALL STORMWATER MANAGEMENT SYSTEM WITHIN THE ROAD AND CROSS COUNTRY AREAS AND STORMWATER BASIN AS WELL AS THE ROADWAY UTILITIES LEAVING WITNESSED STUBS AT PHASE LIMITS.
9. INSTALL UNDERGROUND ELECTRIC, INCLUDING SERVICE FEEDS TO LIGHT POLES, CATV AND TELEPHONE LINES.
10. POUR FOOTINGS FOR LIGHT POLE BASES.
11. POUR FOOTING FOR AND INSTALL COMMUNITY MAIL BOX.
12. INSTALL GRANITE CURBING, PAVE ROADWAY AND TEMPORARY TURNAROUND AND SIDEWALKS TO BINDER COURSE, INSTALL CAPE COD BERM, FINAL GRADE ROADWAY SHOULDERS, INSTALL LIGHT POLES, SIGNAGE AND STREET TREES, FINALIZE OFF-GRADING AND STORMWATER BASINS, THEN LOAM AND SEED.

LOTS 1-18 AND LOT C-1

1. INSTALL CONSTRUCTION ENTRANCE AT EACH LOT.
2. FELL TREES WITHIN APPROVED LIMITS OF CLEARING.
3. INSTALL EROSION CONTROL BARRIERS AND SEDIMENT CONTROL MEASURES (AS APPLICABLE) AS WELL AS LIMIT OF WORK DEMARCATION (FLAGGING OR FENCING) AS SHOWN ON THE DRAWINGS OR REQUIRED BY PERMIT GRANTING AUTHORITIES.
4. GRUB WITHIN LIMIT OF WORK AREA AND PROPERLY DISPOSE OF STUMPS AND BRUSH. CLEAR AND GRUB ONLY AS NECESSARY FOR SAFE ACCESS TO SITE FOR TREE REMOVAL EQUIPMENT AND MACHINERY AND THE INSTALLATION OF EROSION CONTROL BARRIER AND SEDIMENT CONTROL MEASURES AROUND THE INITIAL STAGING AREA(S).
5. EXCAVATE TEMPORARY SEDIMENTATION BASINS AND CONSTRUCT TEMPORARY DIVERSION SWALES AS MAY BE NECESSARY TO DIRECT SEDIMENTATION RUNOFF TO BASINS.
6. ROUGH GRADE LOT DRIVEWAY, INSTALLING LOT UTILITIES, THEN DRILL AND TEST LOT WELL.
7. EXCAVATE AND POUR FOUNDATION AND CONSTRUCT HOME.
8. EXCAVATE AND INSTALL SEWAGE DISPOSAL SYSTEM, THEN FINAL GRADE SITE AND LOAM AND SEED.
9. PAVE DRIVEWAYS BINDER COURSE AND FINISH COURSE.

PHASE 2

COMPASS ROCK ROAD AND ASSOCIATED INFRASTRUCTURE

1. FOLLOW PROCEDURES 1-5 AS APPLICABLE AND AS OUTLINED IN PHASE 1.
2. DEMOLISH AND PROPERLY DISPOSE OF EXISTING STRUCTURES AND ASSOCIATED IMPROVEMENTS.
3. PERFORM SITE CUT AND FILL OPERATIONS AND ESTABLISH ROUGH SUB-GRADES IN THOSE AREAS ASSOCIATED WITH THE ROAD TO THE WETLAND CROSSING LOCATED BETWEEN STA. 33+00 AND STA. 36+00.
4. LOAM AND SEED TEMPORARY SEDIMENT BASINS AND TEMPORARY DIVERSION CHANNELS.
5. EXCAVATE AND POUR FOOTINGS FOR STREAM CROSSING CULVERT AND INSTALL CULVERT.
6. EXCAVATE AND INSTALL FORMS FOR FOOTINGS AND WALLS AT STREAM CROSSING.
7. POUR FOOTINGS FOR RETAINING WALLS THEN STRIP AND POUR FORMS. POUR WALLS.
8. CONSTRUCT WETLAND REPLICATION AREAS.
9. FOLLOW PROCEDURES 5-8 AS APPLICABLE AND AS OUTLINED IN PHASE 1 TO THE WETLAND CROSSING LOCATED BETWEEN STA. 22+50 AND STA. 24+00.
10. EXCAVATE AND POUR FOOTINGS FOR STREAM CROSSING CULVERT AND INSTALL CULVERT.
11. EXCAVATE AND INSTALL FORMS FOR FOOTINGS AND WALLS AT STREAM CROSSING.
12. POUR FOOTINGS FOR RETAINING WALLS THEN STRIP AND POUR FORMS. POUR WALLS.
13. CONSTRUCT WETLAND REPLICATION AREAS.
9. CONTINUE ROAD CONSTRUCTION TO CONNECTION POINT OF PHASE 1 REMOVING THE PAVED TURNAROUND.
10. FOLLOW PROCEDURES 9-12 AS APPLICABLE AND AS OUTLINED IN PHASE 1.

BVW EXPANSION

1. WORK TO COMMENCE IN THE FALL WHEN EXISTING VEGETATION LAYS FLAT AND HAS EXPERIENCED DIEBACK.
2. SEED THE AREA LOAM AND SEED WITH THE SEED MIX AND APPLICATION RATE SHOWN ON THE PLANS WITH A MIX OF SAWDUST OR STRAW CHIPPING.
3. FOLLOWING APPLICATION OF MIXTURE, ROLL THE AREA WITH HAND ROLLERS.

LOTS 19-30

FOLLOW PROCEDURES 1-9 AS APPLICABLE AND AS OUTLINED IN PHASE 1.

FINAL PAVING

1. SWEEP ROAD AND SIDEWALKS AND PERFORM REPAIRS TO BINDER AS NECESSARY THEN PAVE WITH FINISH COURSE.

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

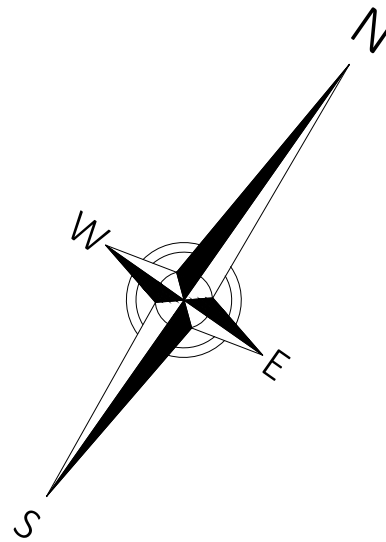
SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON

AT AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK

DATE



Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.

32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

Definitive Subdivision Plan  
OSRD

Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

GENERAL PHASING PLAN

Local Permitting



Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDCollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3 08/16/2023 ENDORSEMENT PLANS

2 07/13/2023 NO CHANGES

1 06/12/2023 PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

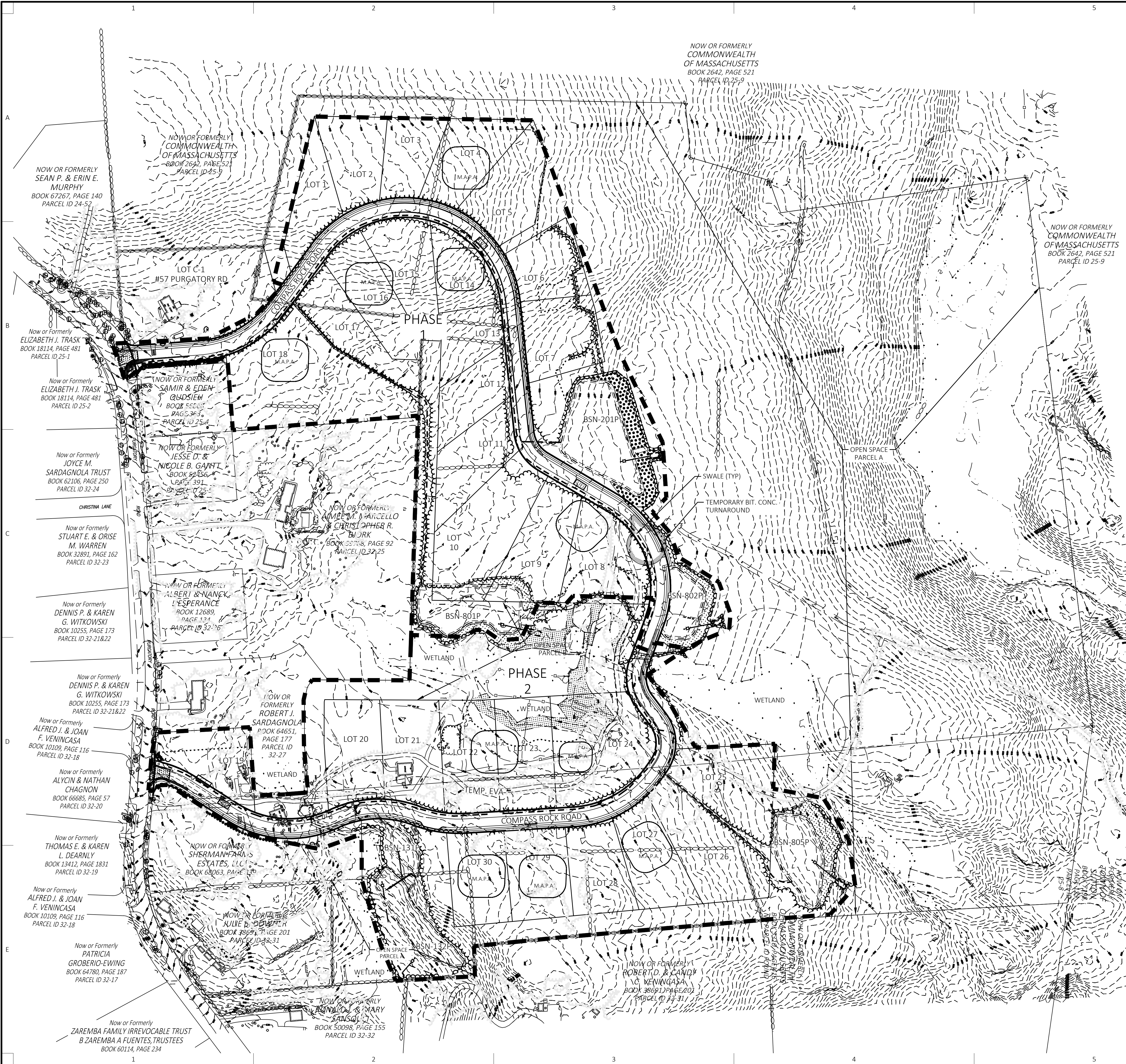
Date: 03/13/2023 Project No.: 21-0120

0 60 120 240 360  
Scale: 1" = 120'

Sheet No.:

C-221





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

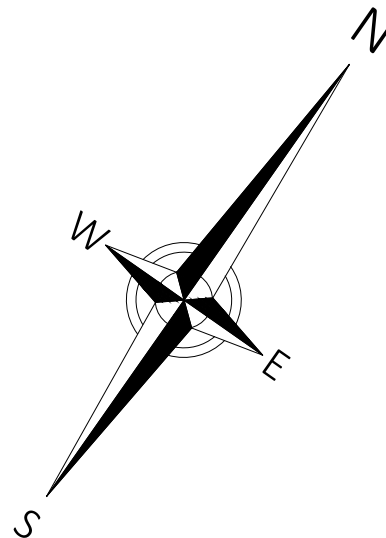
DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPEAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

**Lavallee Family Irrevocable Tr.**  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan  
OSRD**

**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**GENERAL SUBDIVISION  
EROSION AND SEDIMENT  
CONTROL PLAN**

Local Permitting



Prepared by:

**LDC**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES
1	06/12/2023	PEER REVIEW & TOWN COMMENTS
No:	Date:	Revision   Issue:

Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

0 60 120 240 360  
Scale: 1" = 120'

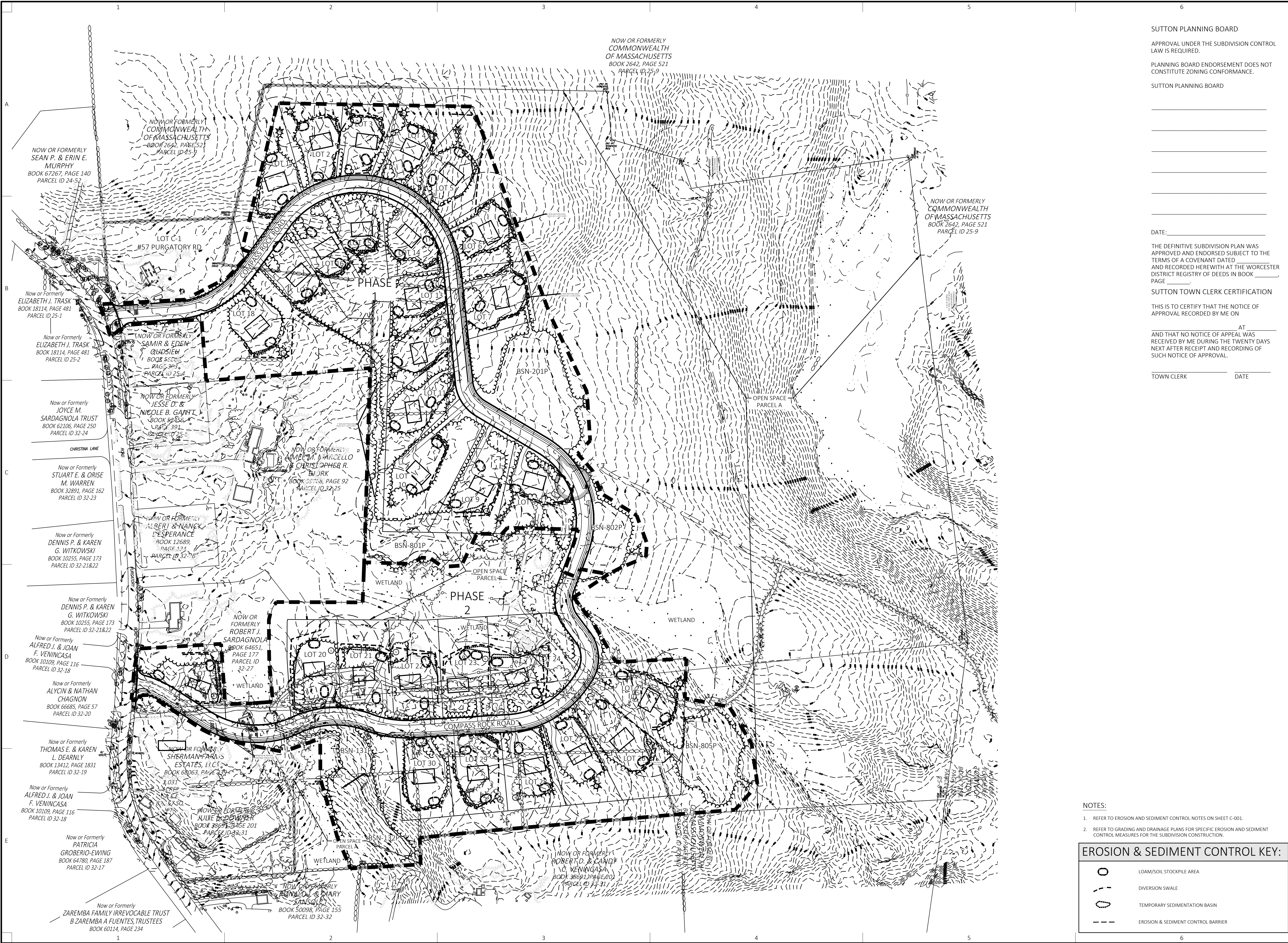
Sheet No.: **C-222**

- NOTES:
- REFER TO EROSION AND SEDIMENT CONTROL NOTES ON SHEET C-001.
  - REFER TO GRADING AND DRAINAGE PLANS FOR SPECIFIC EROSION AND SEDIMENT CONTROL MEASURES FOR THE SUBDIVISION CONSTRUCTION.

EROSION & SEDIMENT CONTROL KEY:

- CONSTRUCTION VEHICLE REFUELING LOCATION
- CONSTRUCTION ECB MATERIALS STORAGE AREA- SUPPLIES OF SILT FENCE, STRAW BALES, STRAW WATTLES, CRUSHED STONE, WOODCHIPS, ETC, PROTECTED FROM THE ELEMENTS.
- CONSTRUCTION TRAILER
- LOAM/SOIL STOCKPILE AREA
- DIVERSION SWALE
- TEMPORARY SEDIMENTATION BASIN
- TEMPORARY SEDIMENTATION BASIN - STORMWATER MANAGEMENT BASIN
- CONSTRUCTION ENTRANCE TO EACH PHASE
- EROSION & SEDIMENT CONTROL BARRIER
- TEMPORARY STANDPIPE- PIPE ENCASED IN CRUSHED STONE AND FILTER FABRIC
- MATERIAL AGGREGATE PROCESSING AREA





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

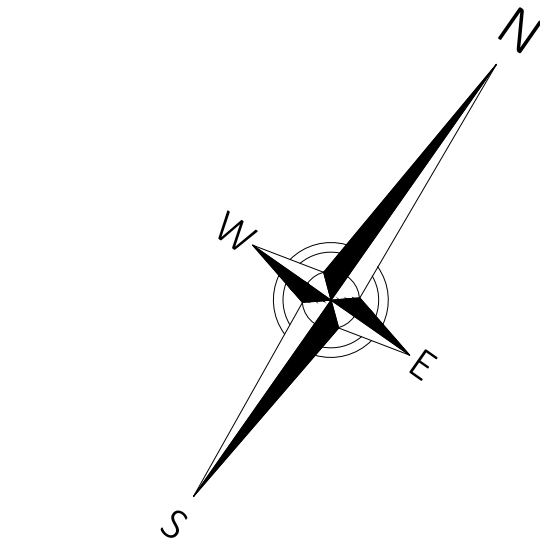
SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:
1. REFER TO EROSION AND SEDIMENT CONTROL NOTES ON SHEET C-001.
  2. REFER TO GRADING AND DRAINAGE PLANS FOR SPECIFIC EROSION AND SEDIMENT CONTROL MEASURES FOR THE SUBDIVISION CONSTRUCTION.

EROSION & SEDIMENT CONTROL KEY:			
	LOAM/SOIL STOCKPILE AREA		
	DIVERSION SWALE		
	TEMPORARY SEDIMENTATION BASIN		
	EROSION & SEDIMENT CONTROL BARRIER		



Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

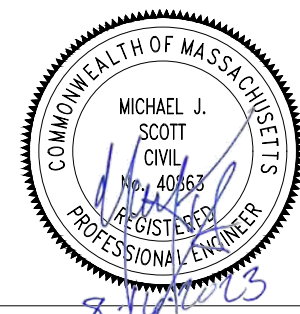
**Definitive Subdivision Plan  
OSRD**

**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**GENERAL LOTS EROSION  
AND SEDIMENT  
CONTROL PLAN**

Local Permitting



Prepared By:

**LD**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

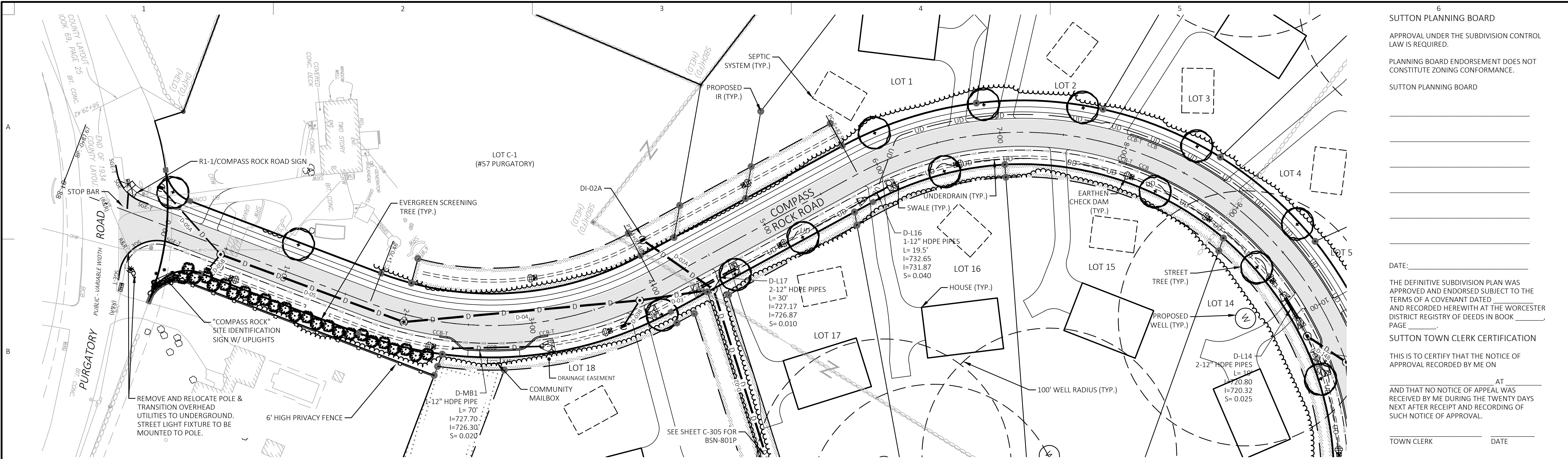
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES
1	06/12/2023	PEER REVIEW & TOWN COMMENTS
No:	Date:	Revision   Issue:

Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

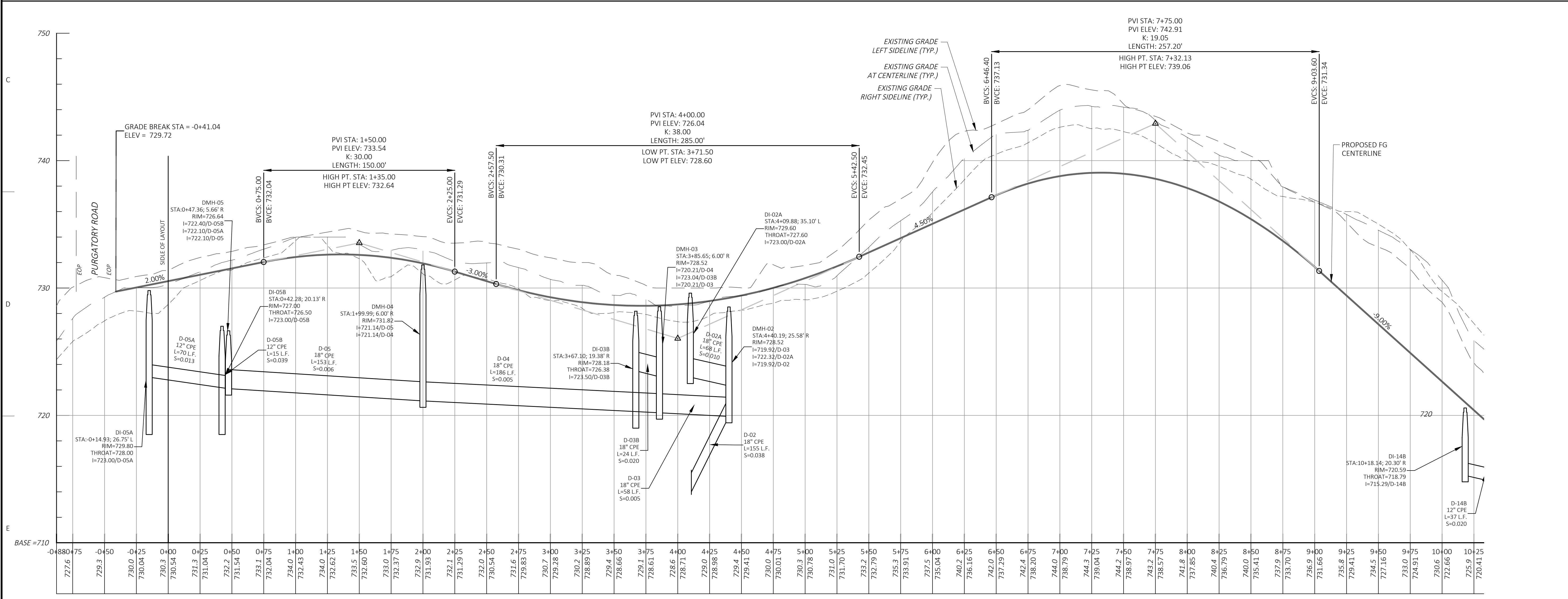
0 60 120 240 360  
Scale: 1" = 120'

Sheet No.: **C-223**





PLAN



PROFILE

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

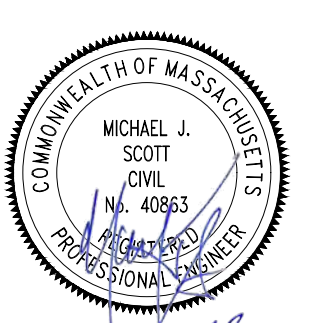
Project Title:

**Definitive Subdivision Plan**  
OSRD  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)


Sheet Title:

**PLAN & PROFILE**  
**COMPASS ROCK ROAD**  
**STA 0+00 TO STA 10+00**


Local Permitting



Prepared By:

  
**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

  
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

No.	Date:	Revision   Issue:
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

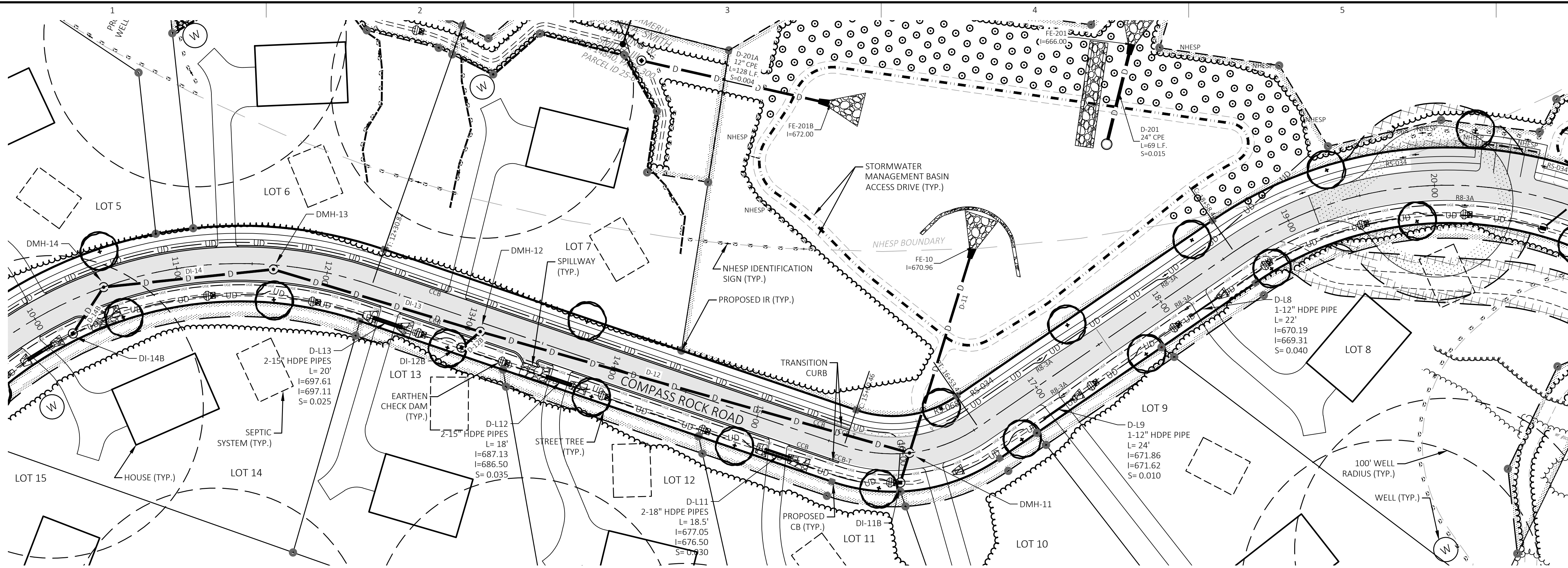
Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

0 20 40 80 120  
Scale: 1" = 4' V : 1" 40' H

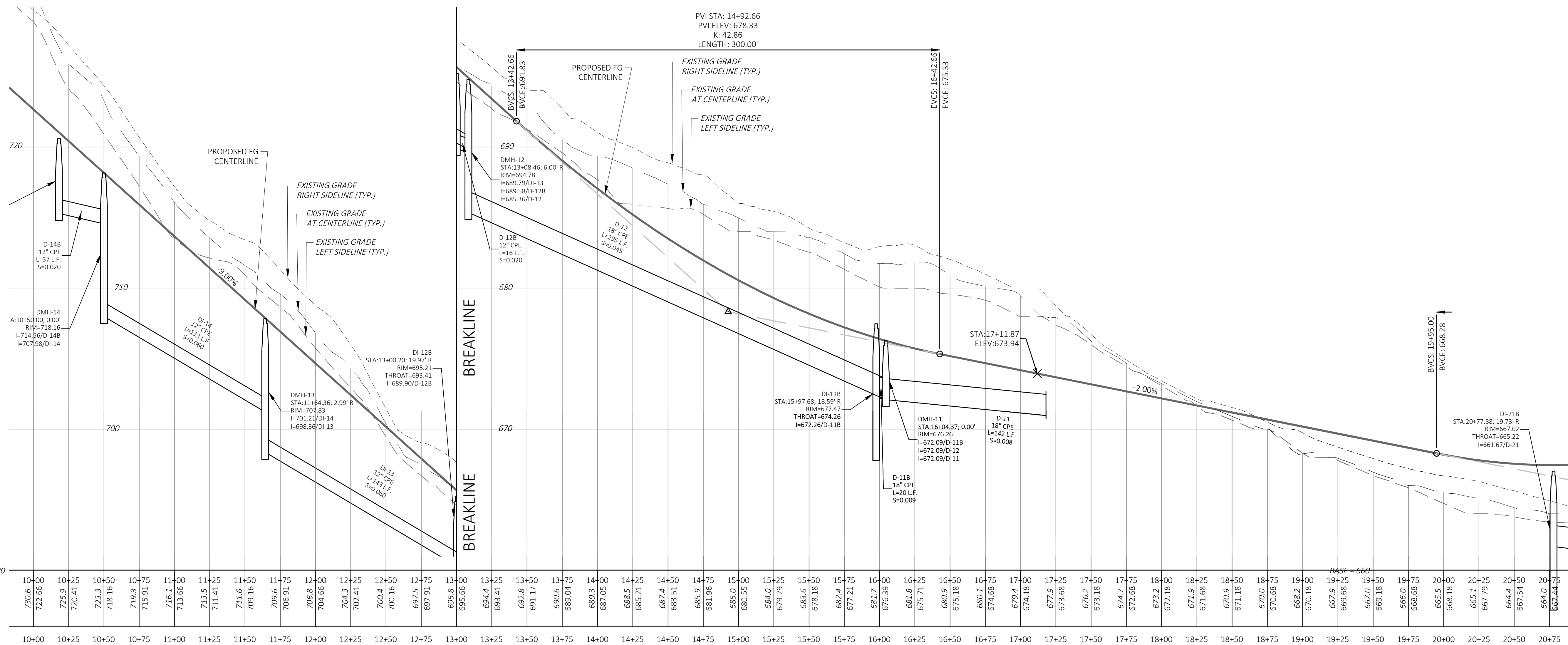
Sheet No.:

**C-301**





PLAN



PROFILE

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

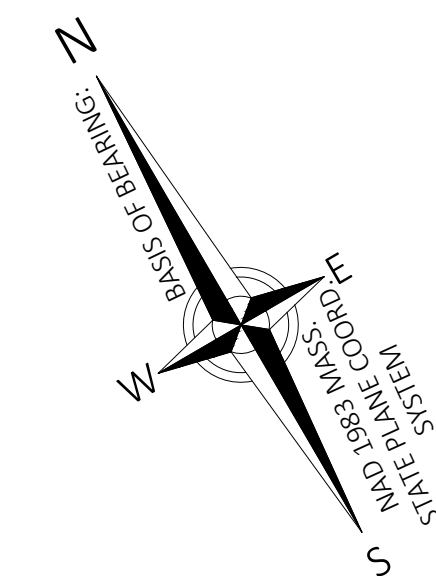
THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON AT AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK

DATE



Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.

32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

Definitive Subdivision Plan  
OSRD

Compass Rock

57, 77, 77R, 81, 81R

Purgatory Road

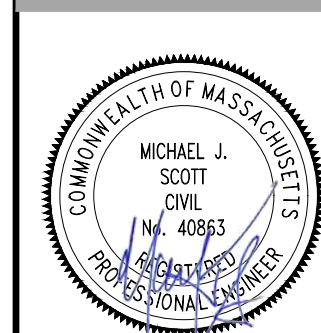
Sutton, MA

(Worcester County)

Sheet Title:

PLAN & PROFILE  
COMPASS ROCK ROAD  
STA 10+00 TO STA 20+75

Local Permitting



Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

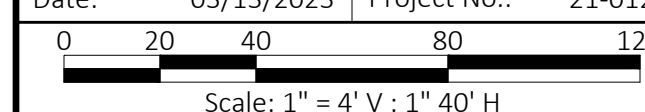
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

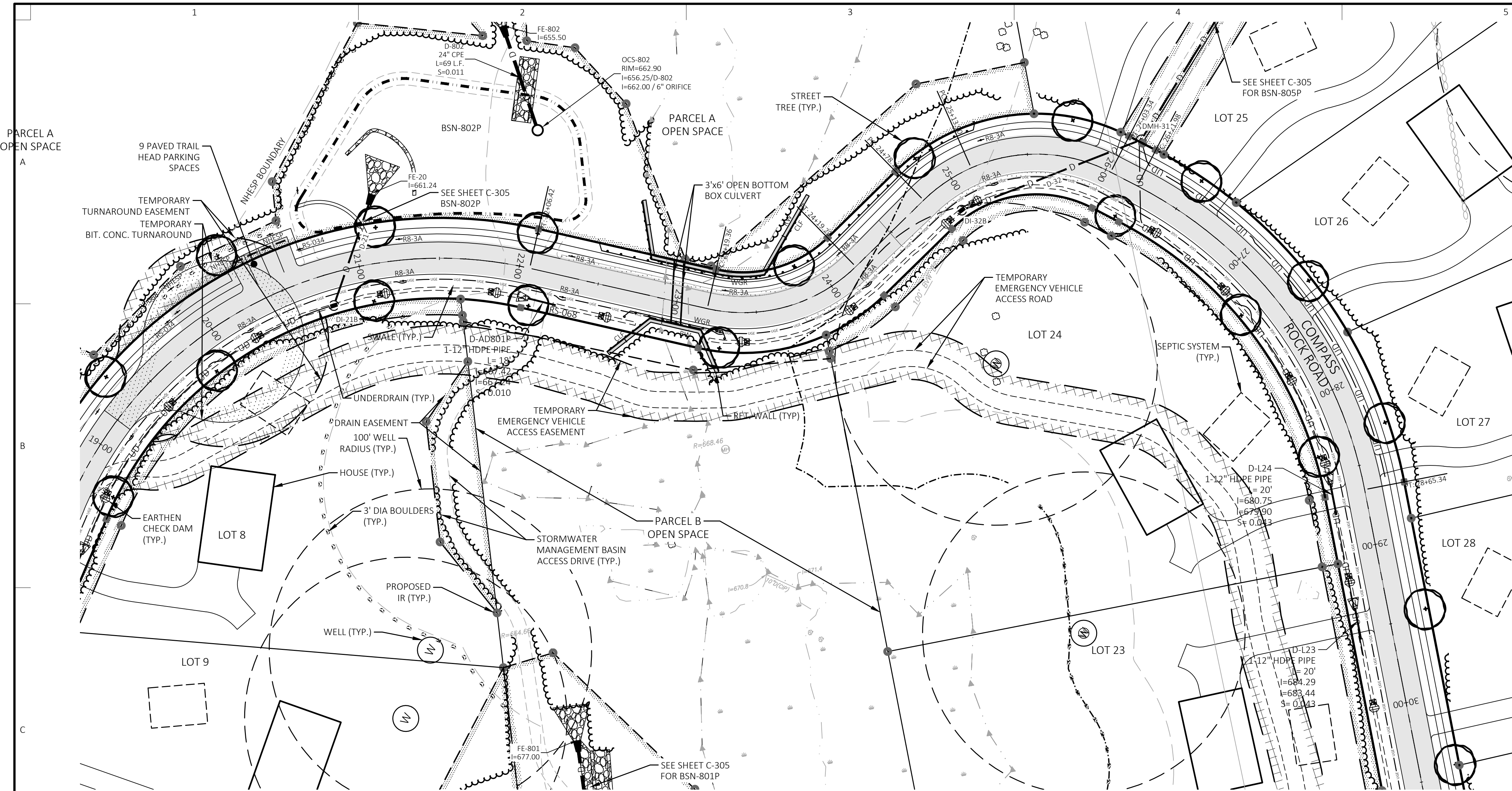
Date: 03/13/2023 Project No.: 21-0120



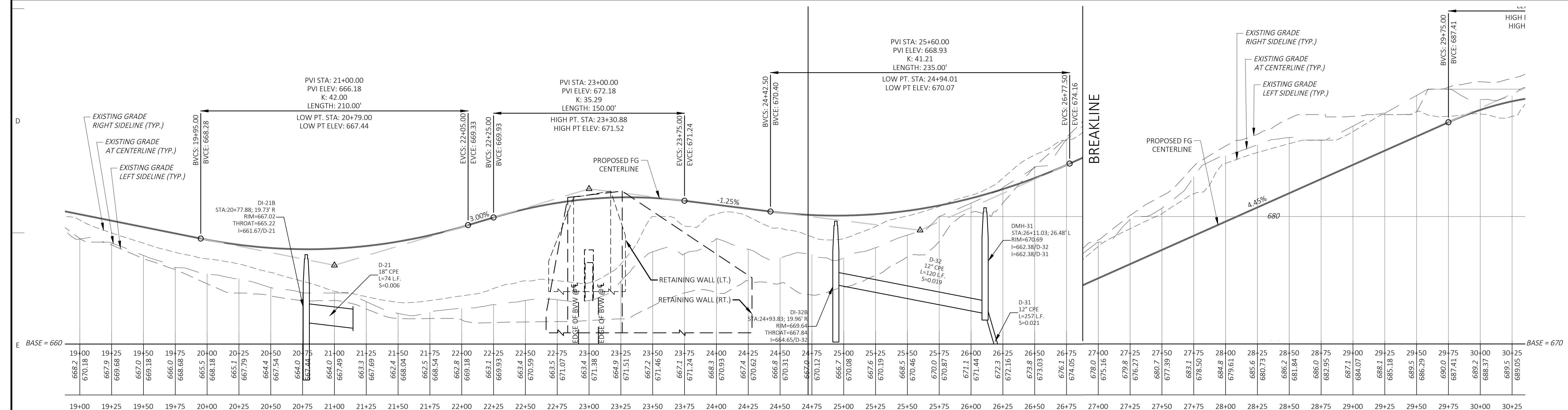
Sheet No.:

C-302





PLAN



PROFILE

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

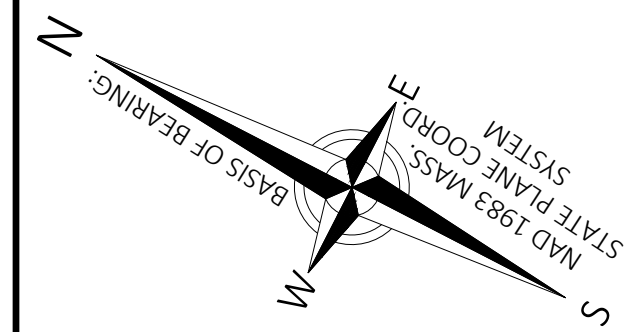
SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON

AT AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPEAL.

TOWN CLERK

DATE



Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

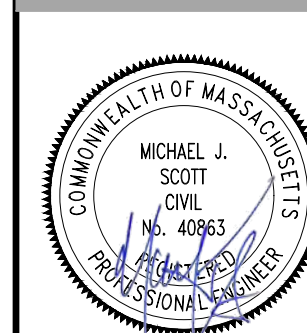
Project Title:

Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

PLAN & PROFILE  
COMPASS ROCK ROAD  
STA 19+00 TO STA 30+00

Local Permitting



Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3 08/16/2023 ENDORSEMENT PLANS  
2 07/13/2023 PEER REVIEW & TOWN COMMENTS  
1 06/12/2023 PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

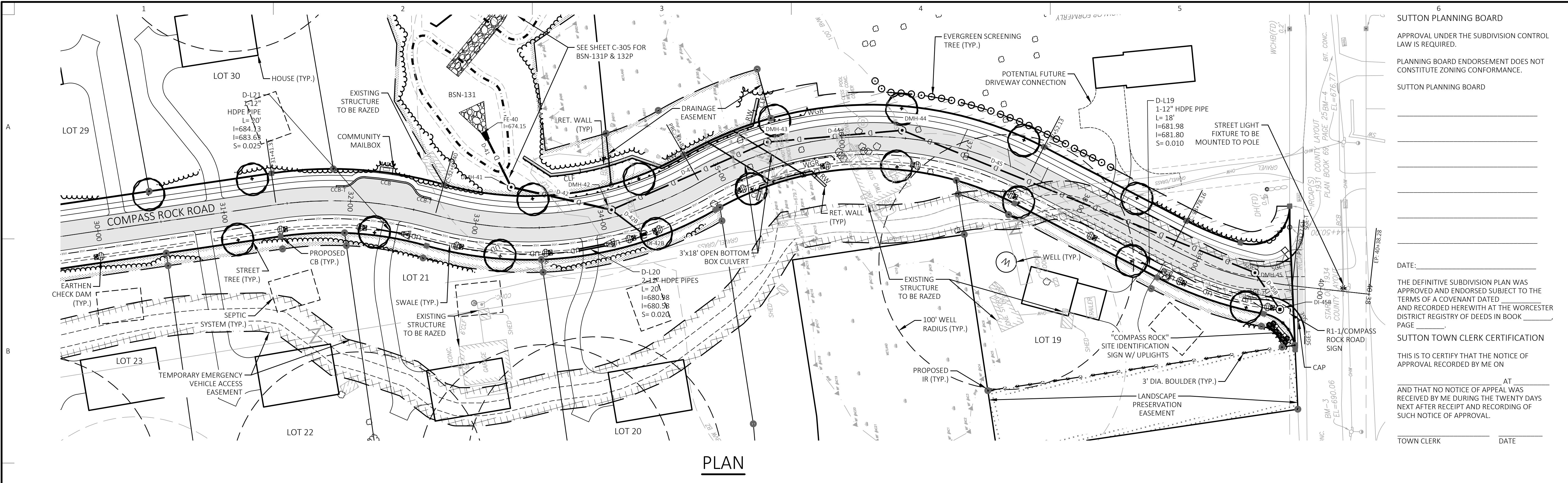
Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 4' V : 1" 40' H

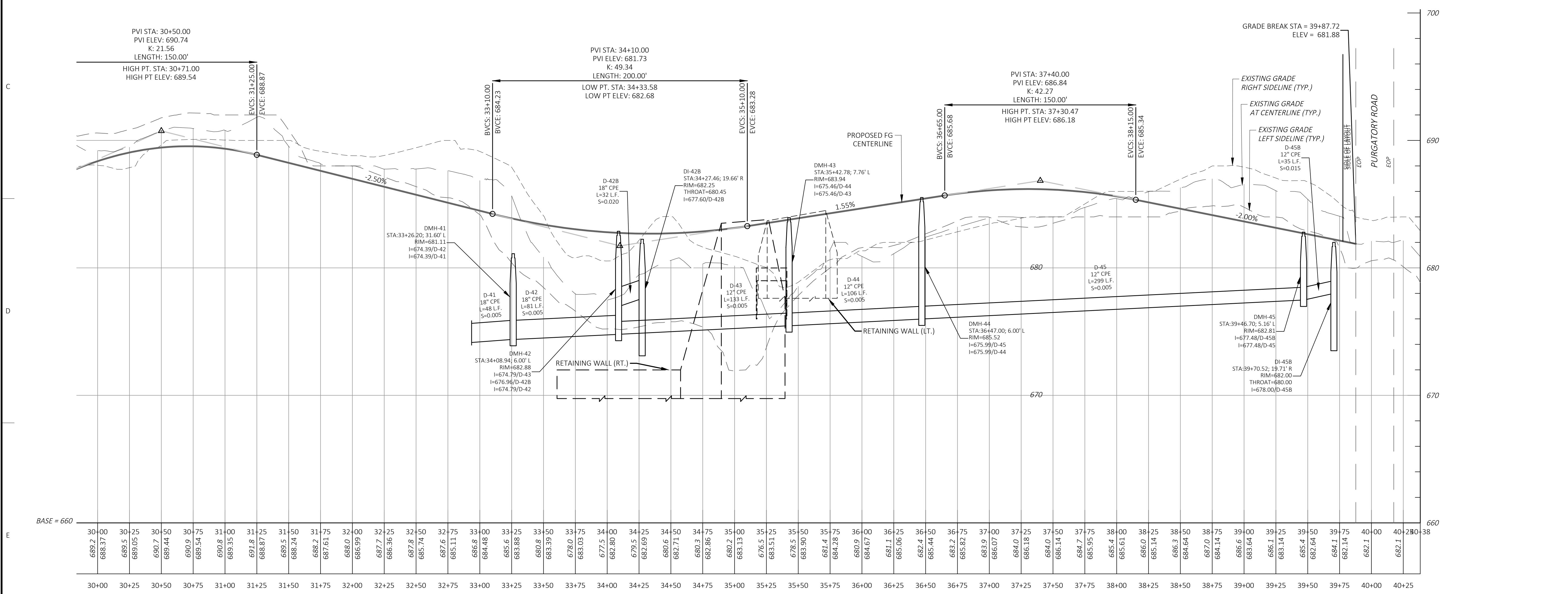
Sheet No.:

C-303





PLAN



PROFILE

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan**  
OSRD  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**PLAN & PROFILE**  
**COMPASS ROCK ROAD**  
STA 30+00 TO END

Local Permitting

COMMISSIONER OF MASSACHUSETTS  
MICHAEL J. SCOTT  
CIVIL  
4083  
PROFESSIONAL SEAL  
7/14/2023

Prepared By:  
**LDC**  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:  
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

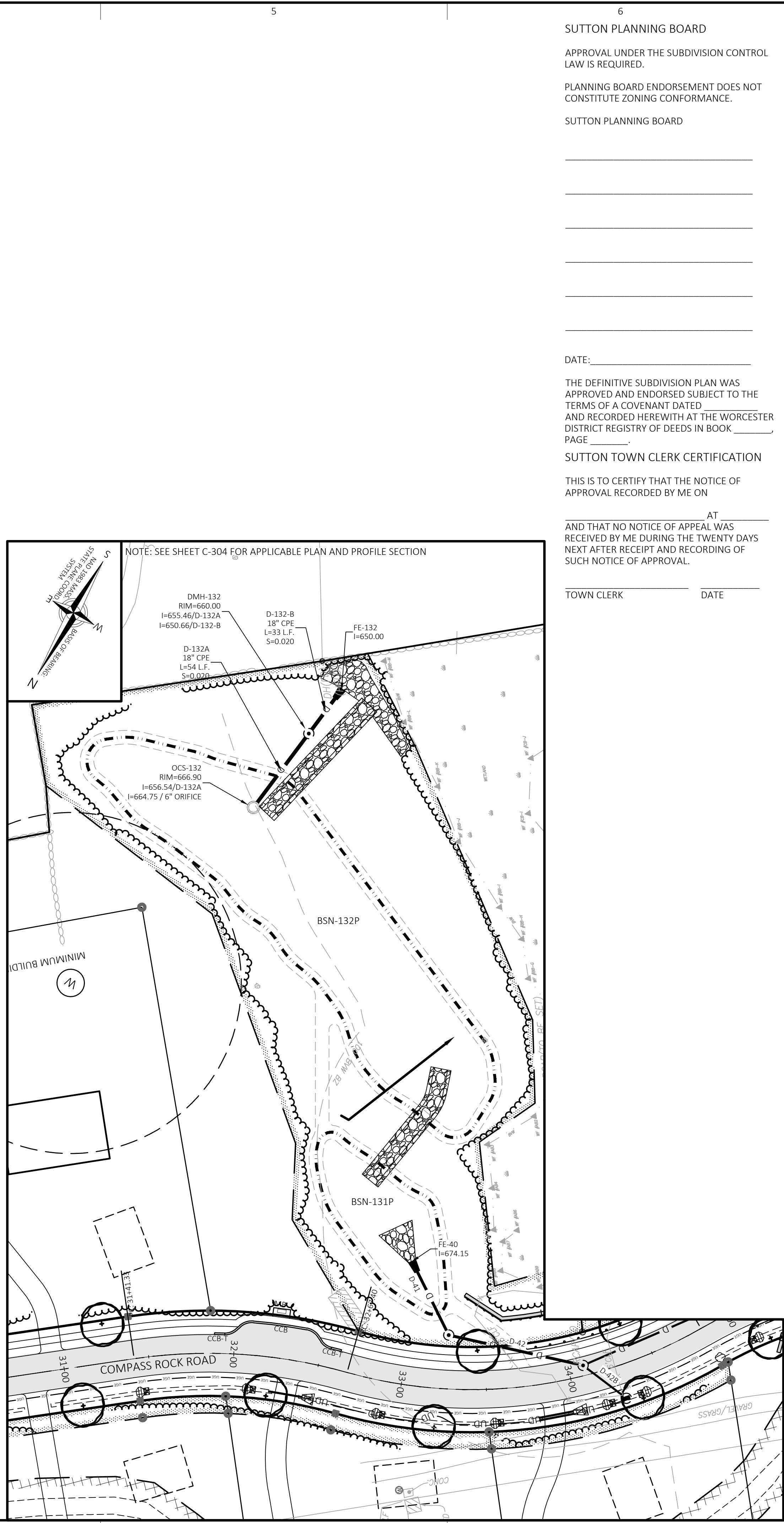
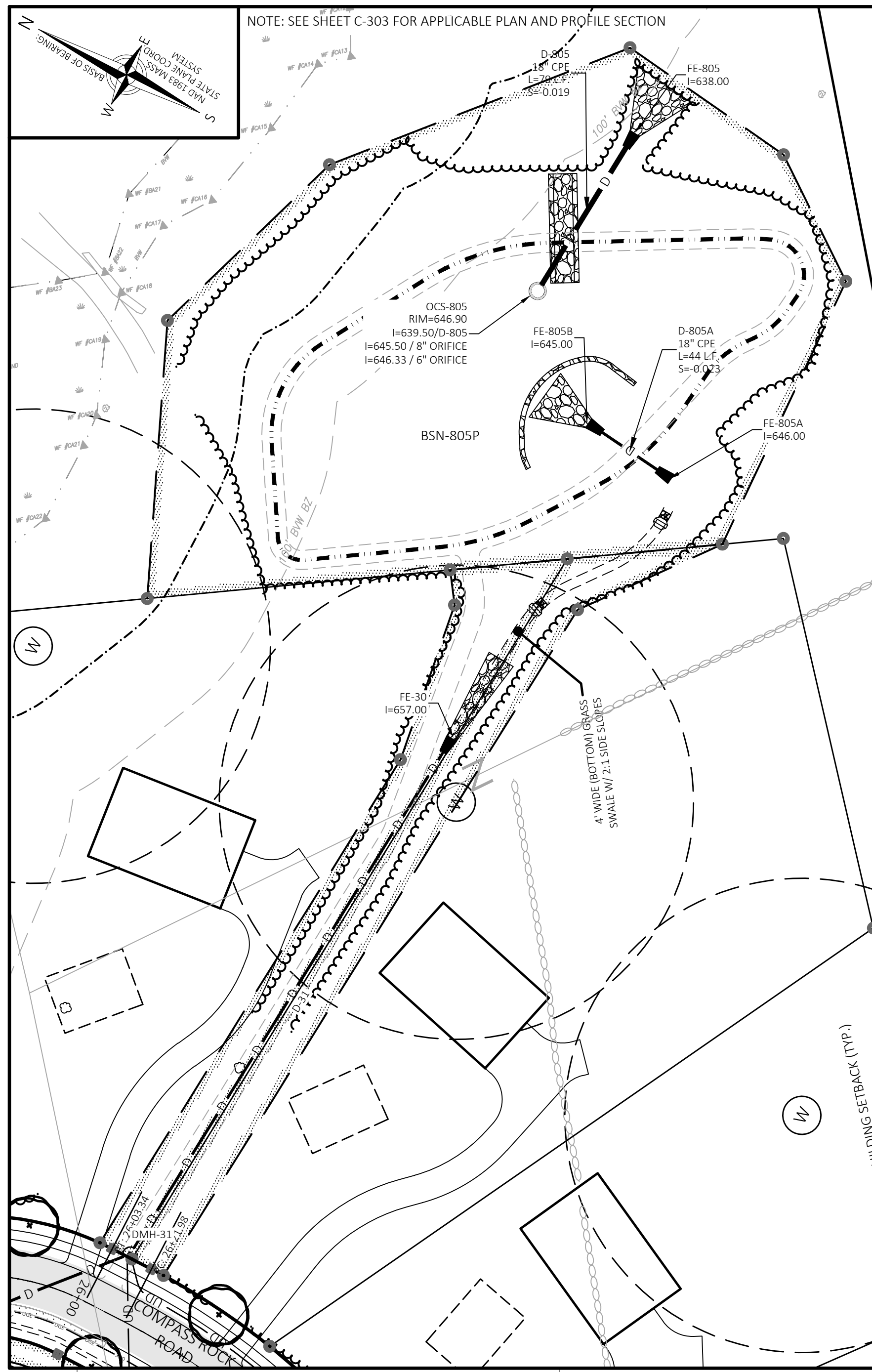
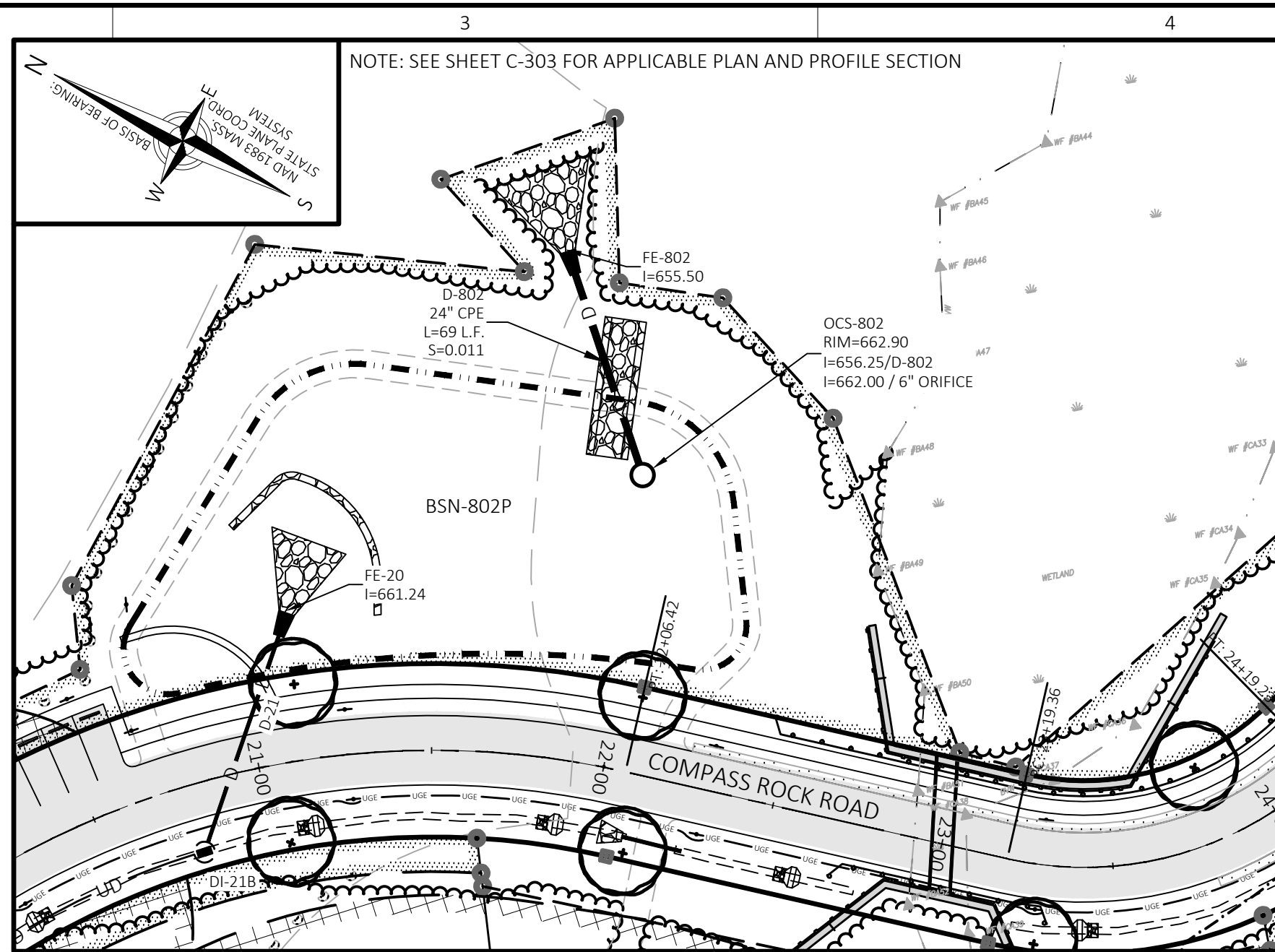
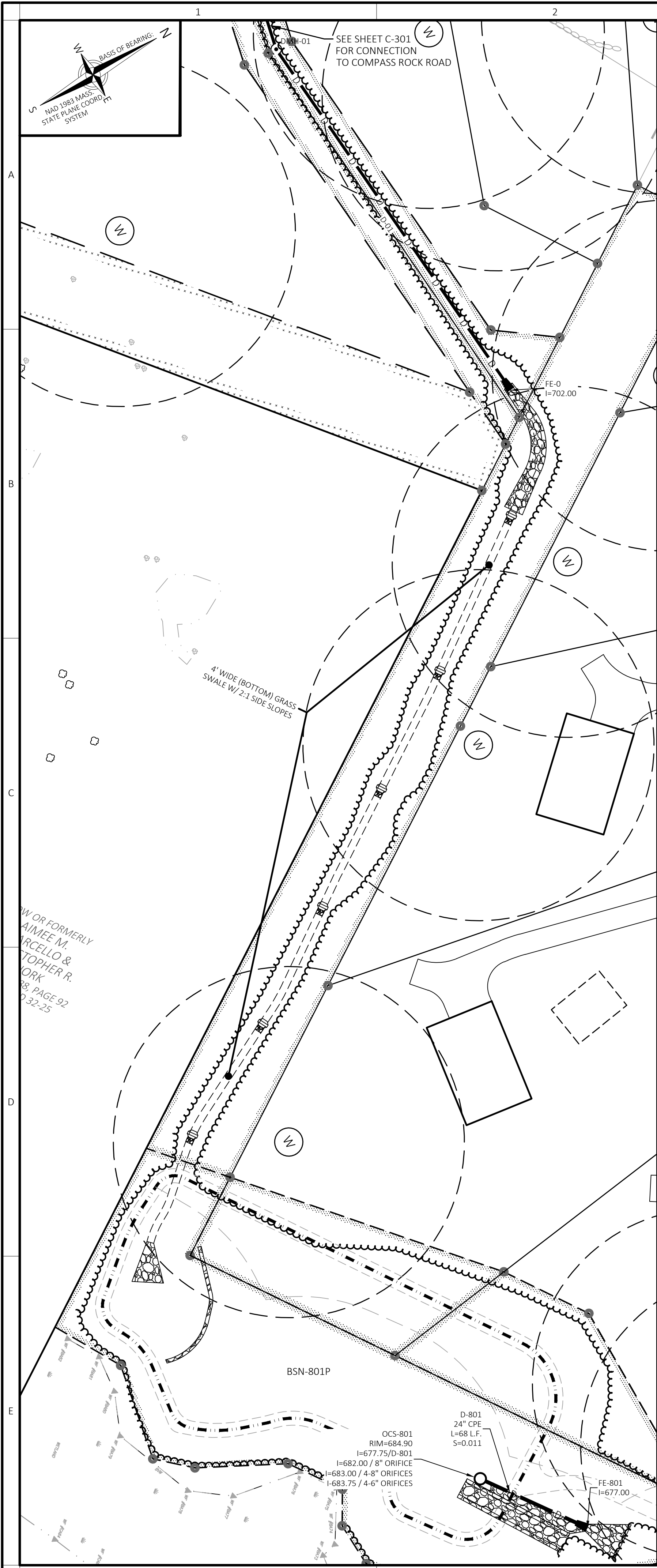
No: \_\_\_\_\_ Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

0 20 40 80 120  
Scale: 1" = 4' V : 1" 40' H

Sheet No.:  
**C-304**





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

**Lavallee Family Irrevocable Tr.**  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

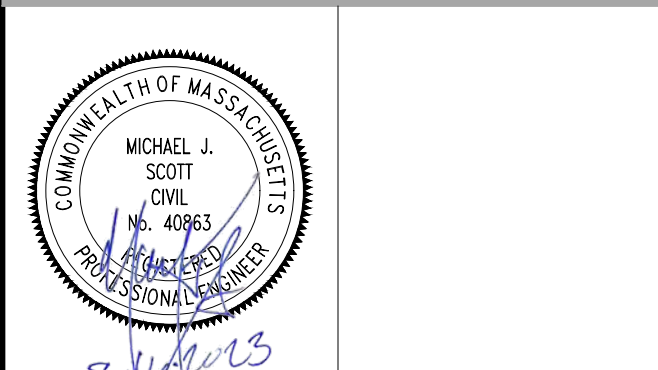
Project Title:

**Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)**

Sheet Title:

**STORMWATER BASINS  
PLAN**

Local Permitting



Prepared By:

**LDC**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**

152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

Date	Revision / Issue
3 08/16/2023	ENDORSEMENT PLANS
2 07/13/2023	PEER REVIEW & TOWN COMMENTS
1 06/12/2023	PEER REVIEW & TOWN COMMENTS

No: \_\_\_\_\_ Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

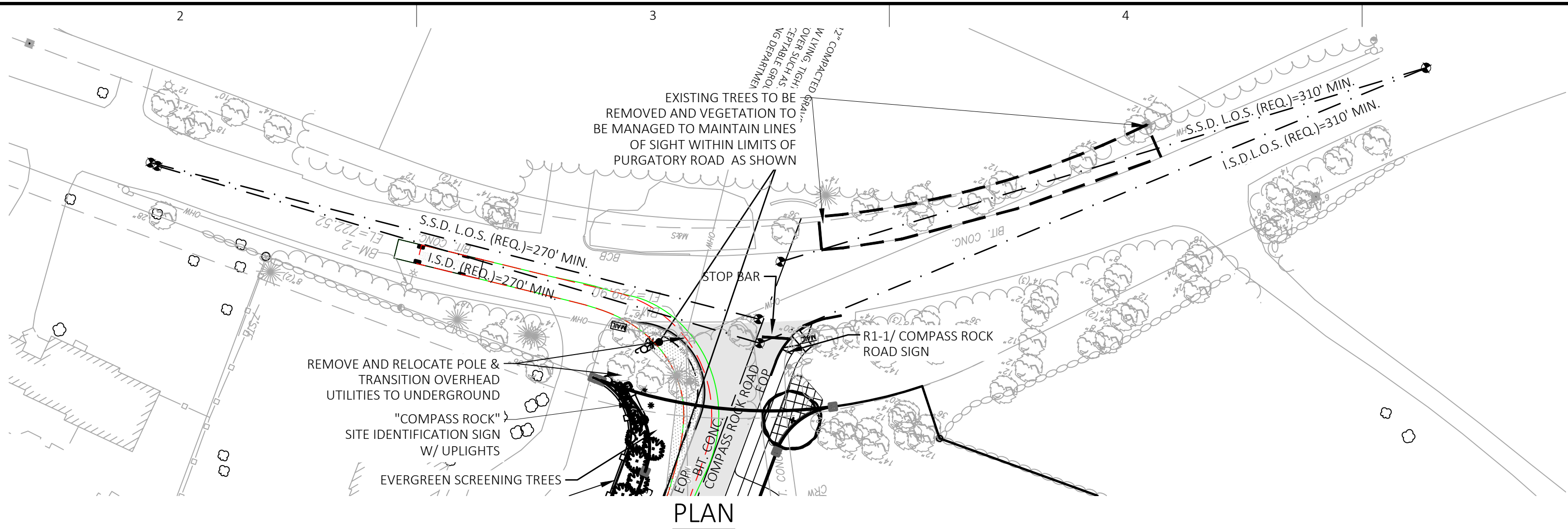
Drawn By: **CMP** Checked By: **WMB**  
Date: **03/13/2023** Project No.: **21-0120**

0 20 40 80 120  
Scale: 1" = 40'

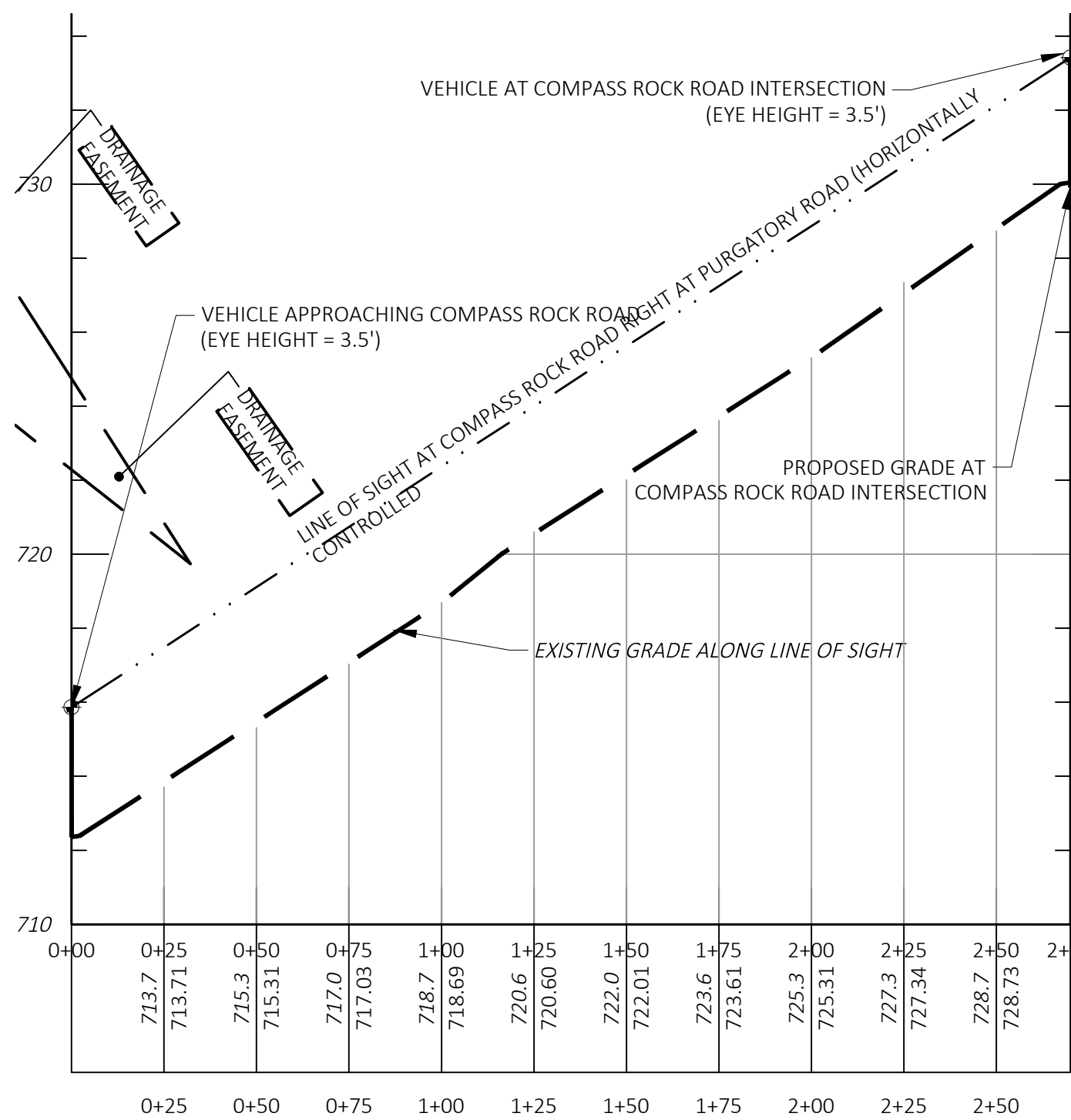
Sheet No.:

**C-305**

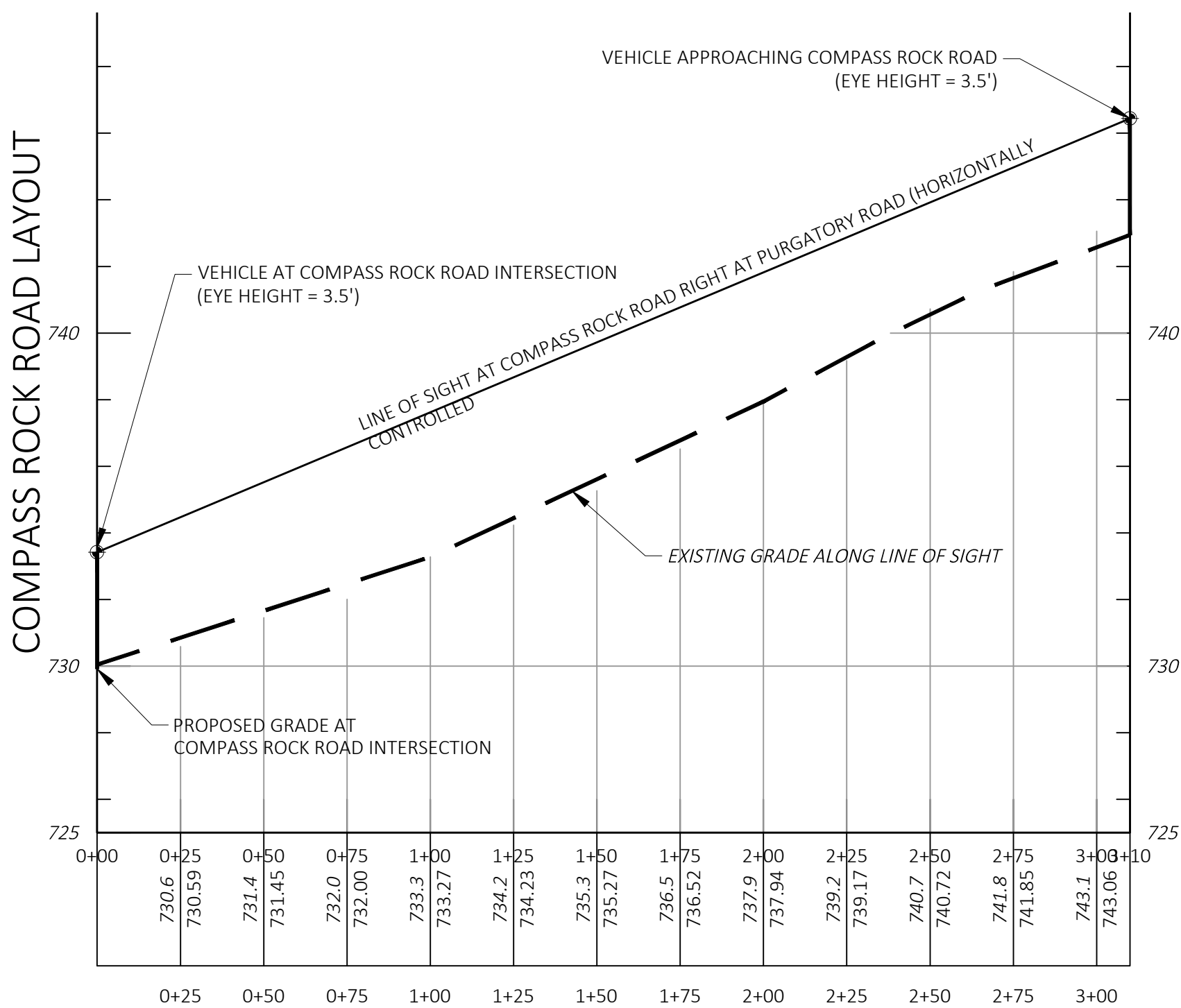




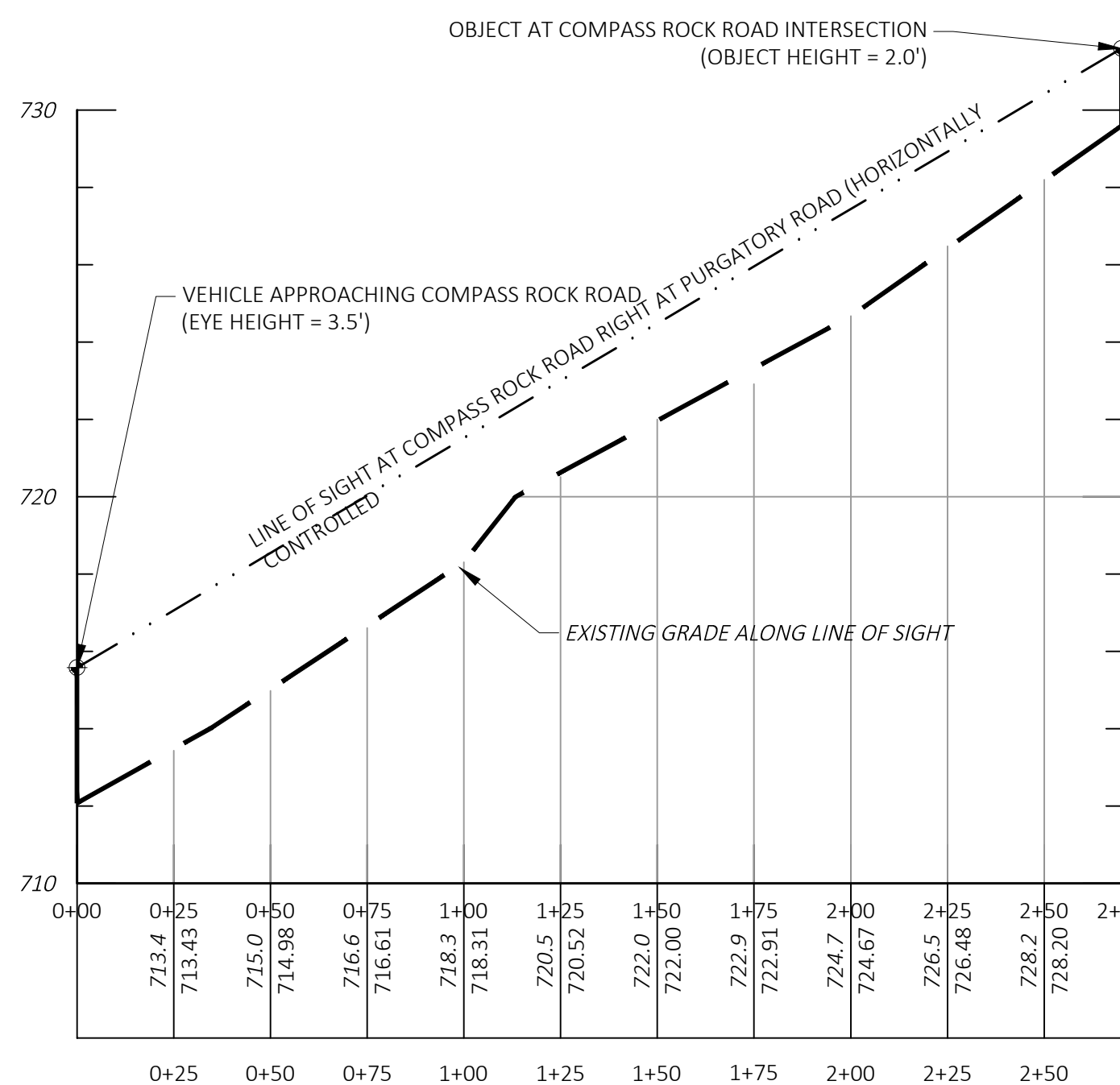
PLAN



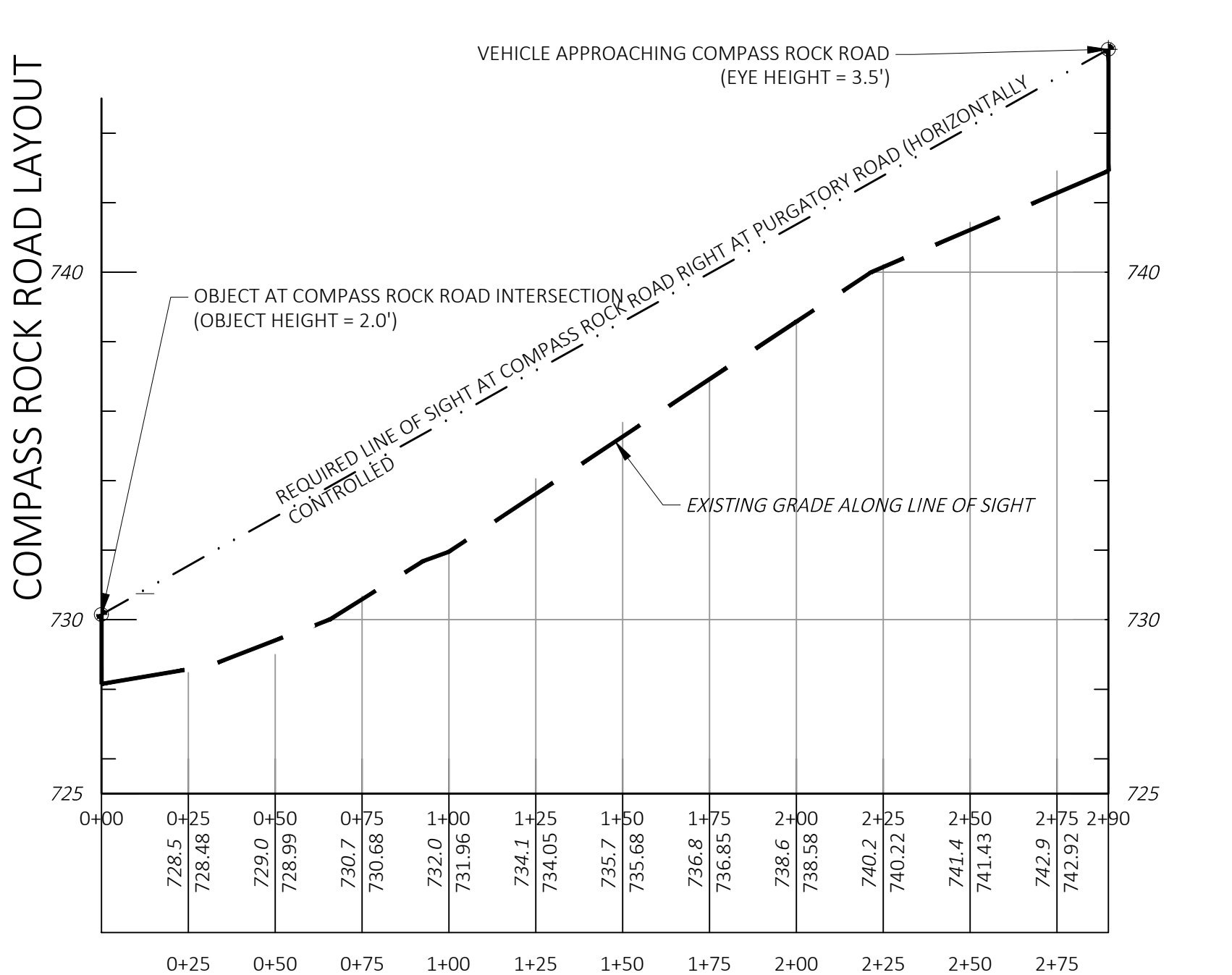
I.S.D.- VEHICLE ON PURGATORY COMPASS ROCK ROAD APPROACHING COMPASS ROCK ROAD FROM THE EAST



I.S.D.- VEHICLE ON PURGATORY COMPASS ROCK ROAD APPROACHING COMPASS ROCK ROAD FROM THE WEST



S.S.D.-VEHICLE ON PURGATORY COMPASS ROCK ROAD APPROACHING COMPASS ROCK ROAD FROM THE EAST

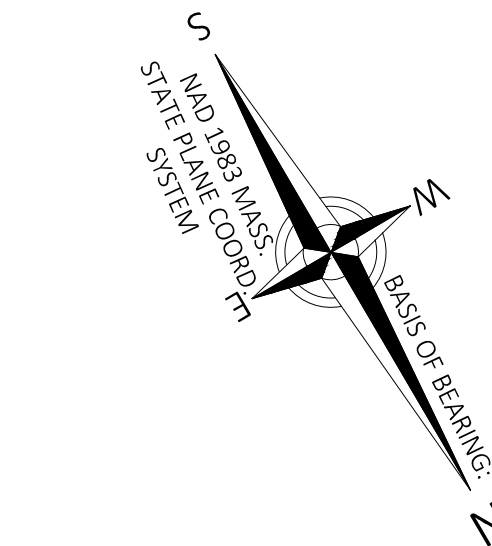


S.S.D.-VEHICLE ON PURGATORY COMPASS ROCK ROAD APPROACHING COMPASS ROCK ROAD FROM THE WEST

PROFILES

SUTTON PLANNING BOARD  
APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.  
PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.  
SUTTON PLANNING BOARD

DATE: \_\_\_\_\_  
THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.  
SUTTON TOWN CLERK CERTIFICATION  
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.  
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



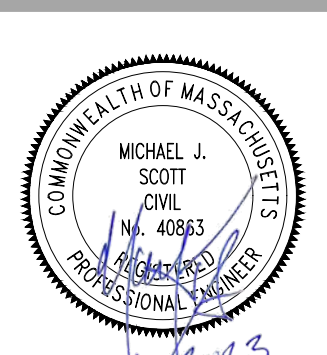
Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA  
Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)**

Sheet Title:  
**PLAN & PROFILE  
S.S.D & I.S.D LINE OF SIGHT  
PURGATORY ROAD @  
NORTHERN ENTRANCE OF  
COMPASS ROCK ROAD**

Local Permitting



Prepared By:  
**LDC**  
**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:  
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

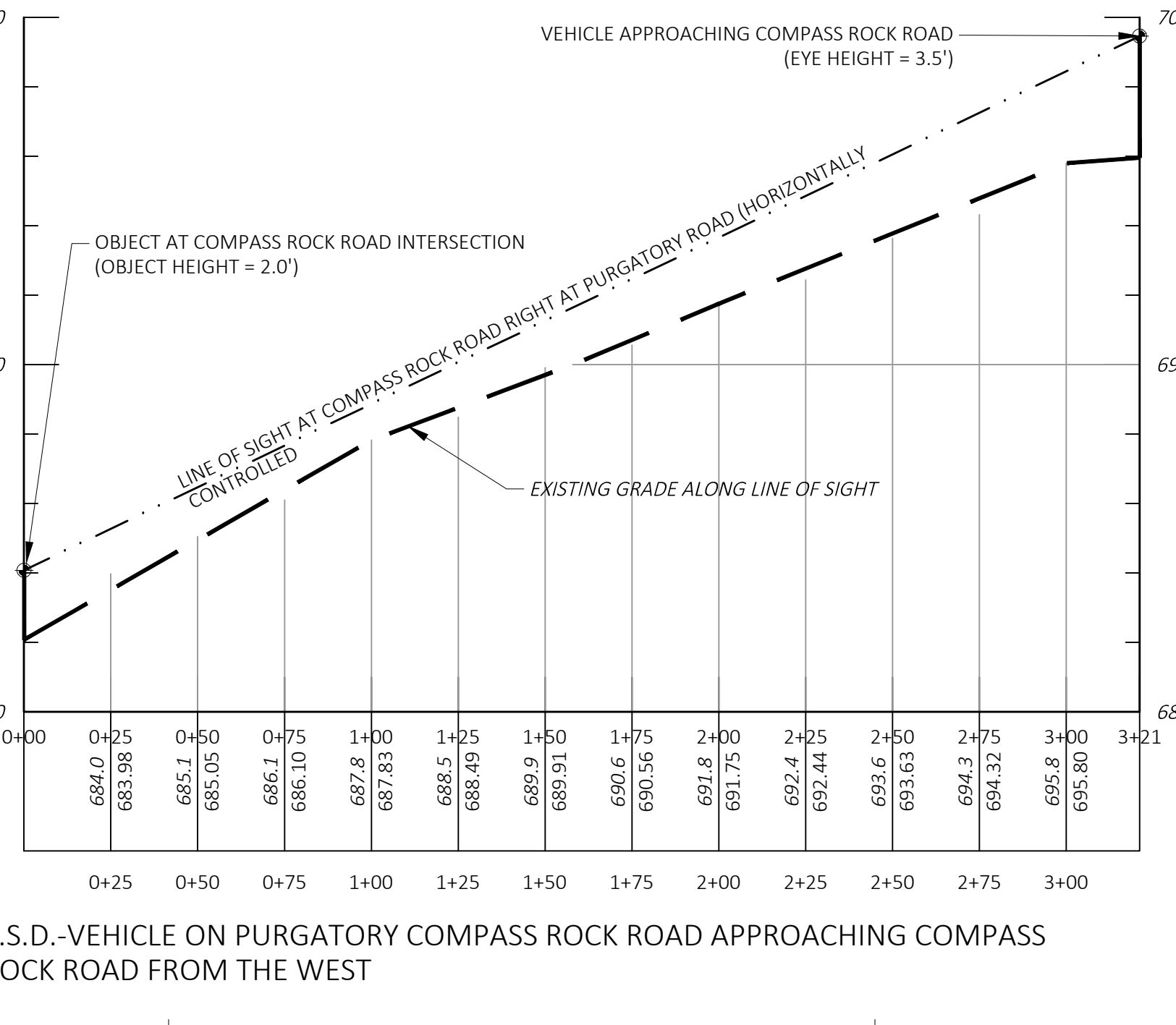
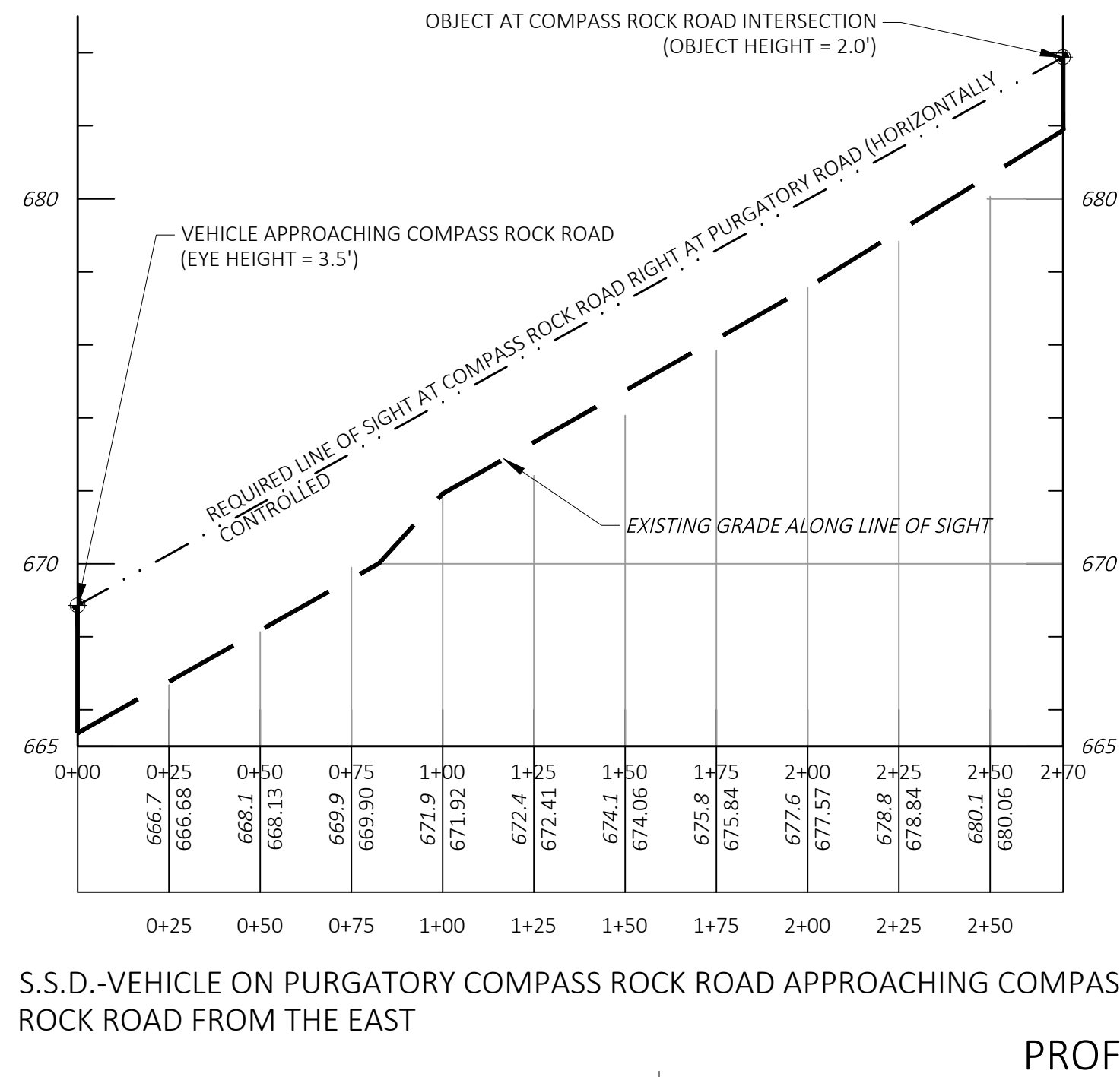
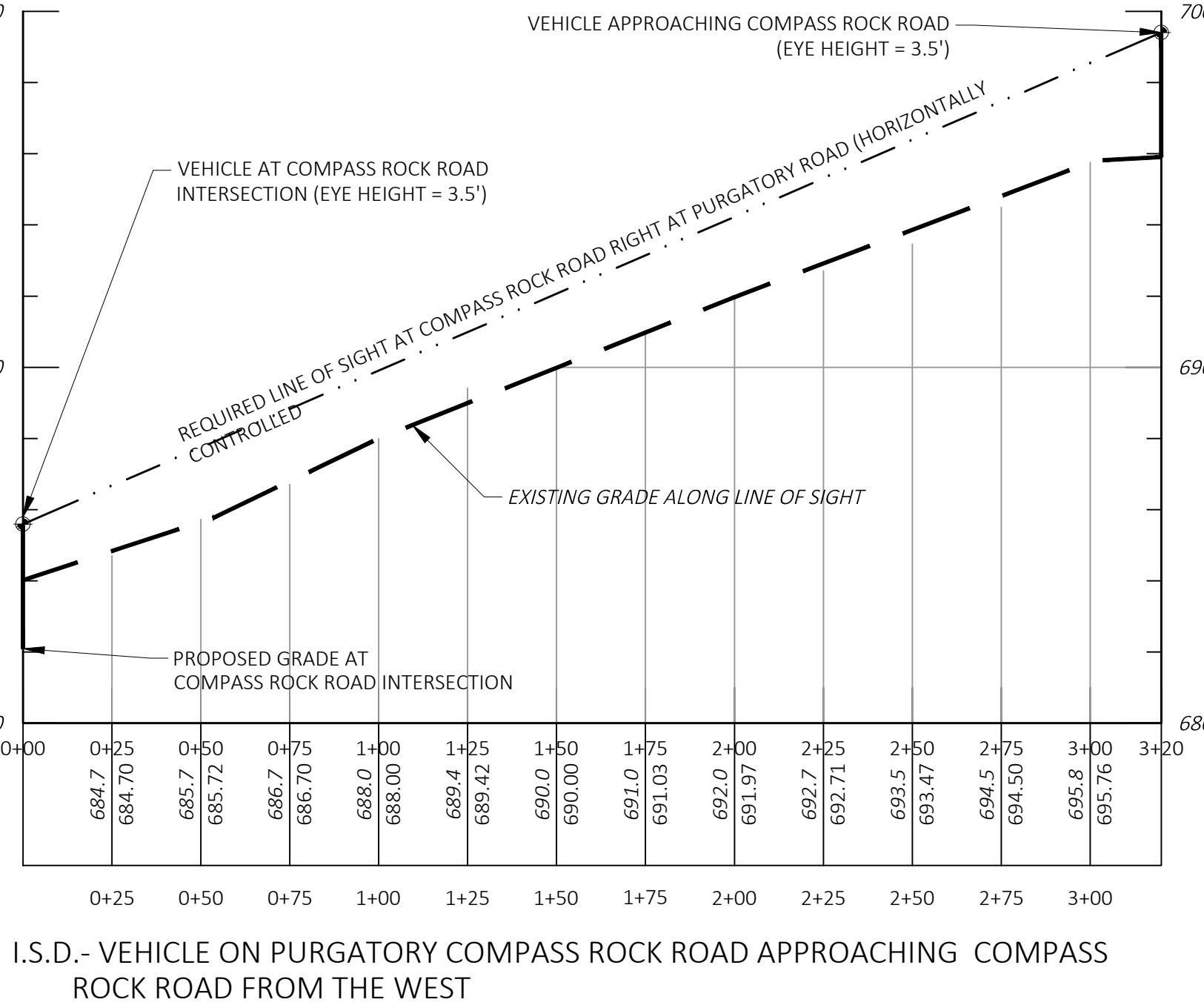
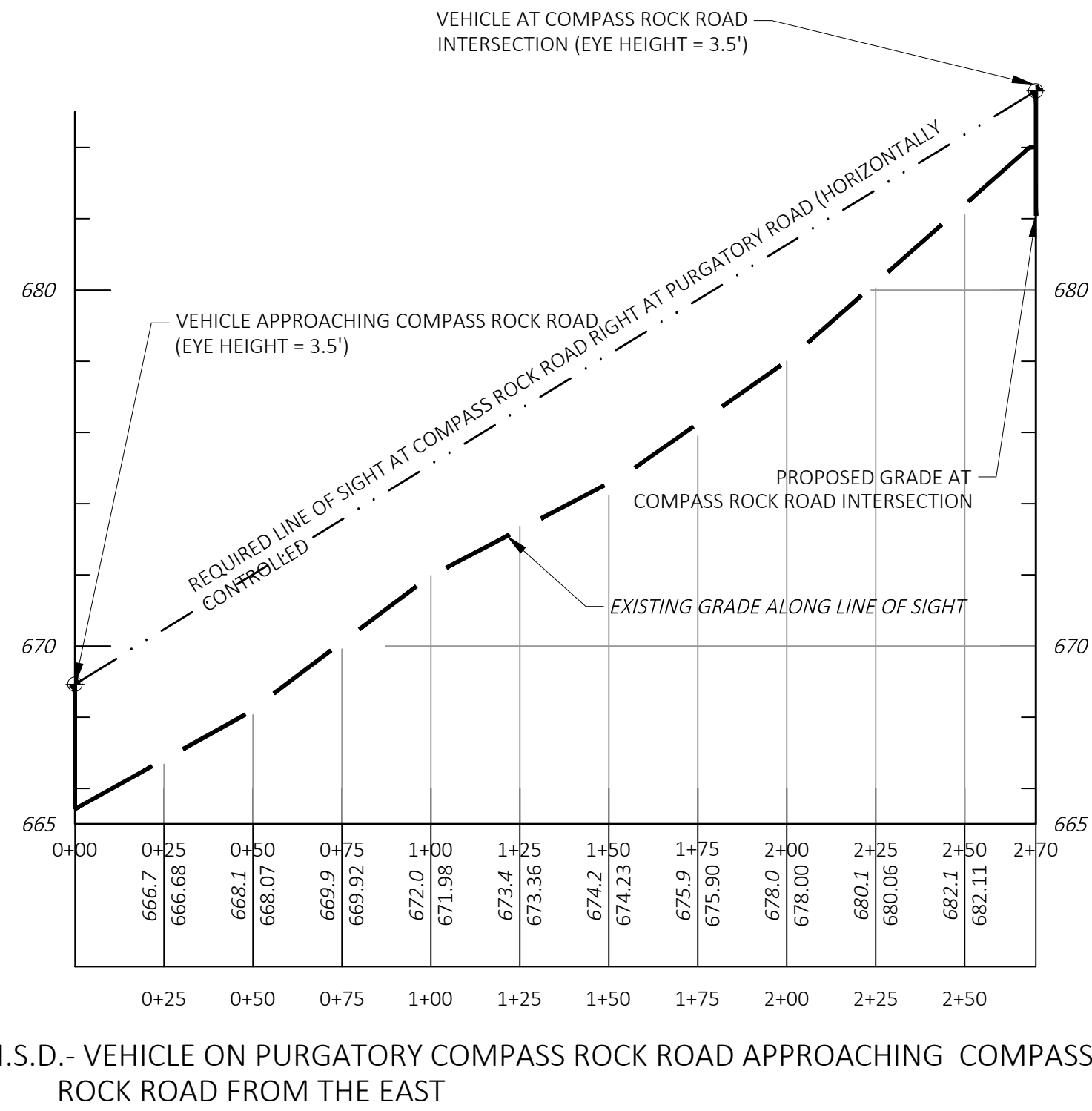
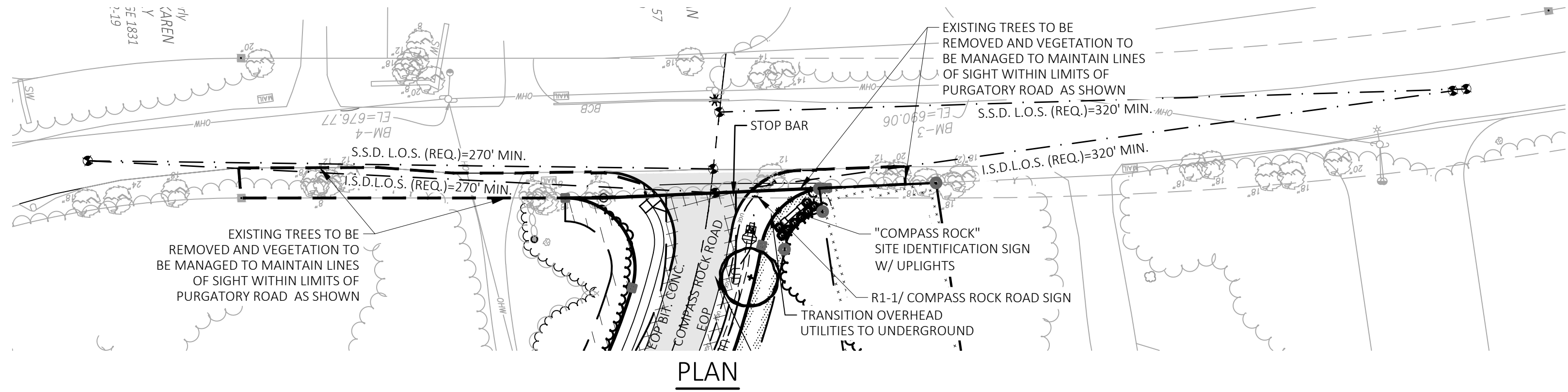
Date: 03/13/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 4' V : 1" 40' H

Sheet No.:

C-306





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

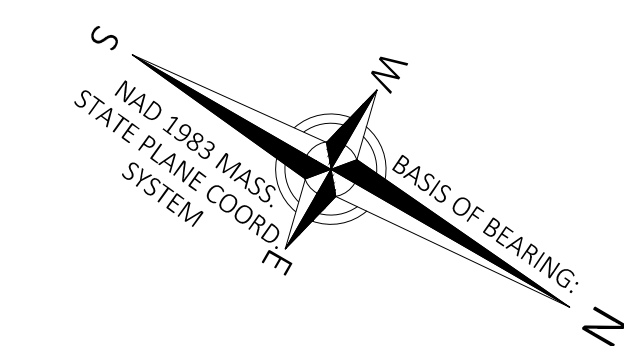
DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

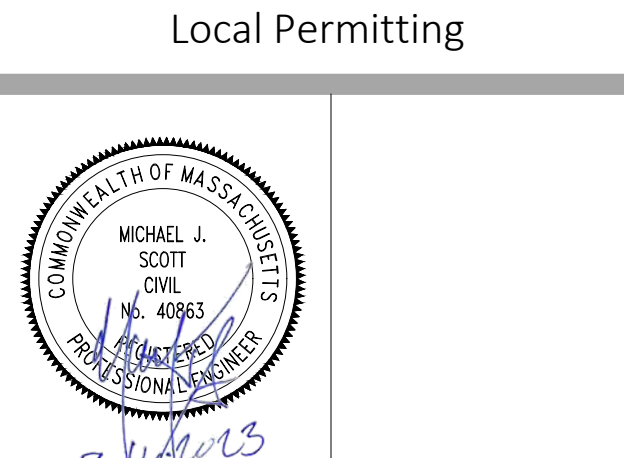
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)**

Sheet Title:

**PLAN & PROFILE  
S.S.D & I.S.D LINE OF SIGHT  
PURGATORY ROAD @  
SOUTHERN ENTRANCE OF  
COMPASS ROCK ROAD**



Prepared By:

**LDC**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:

**FELDMAN**

152 Hampden Street  
Boston, MA 02119

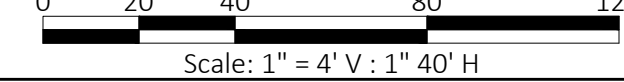
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

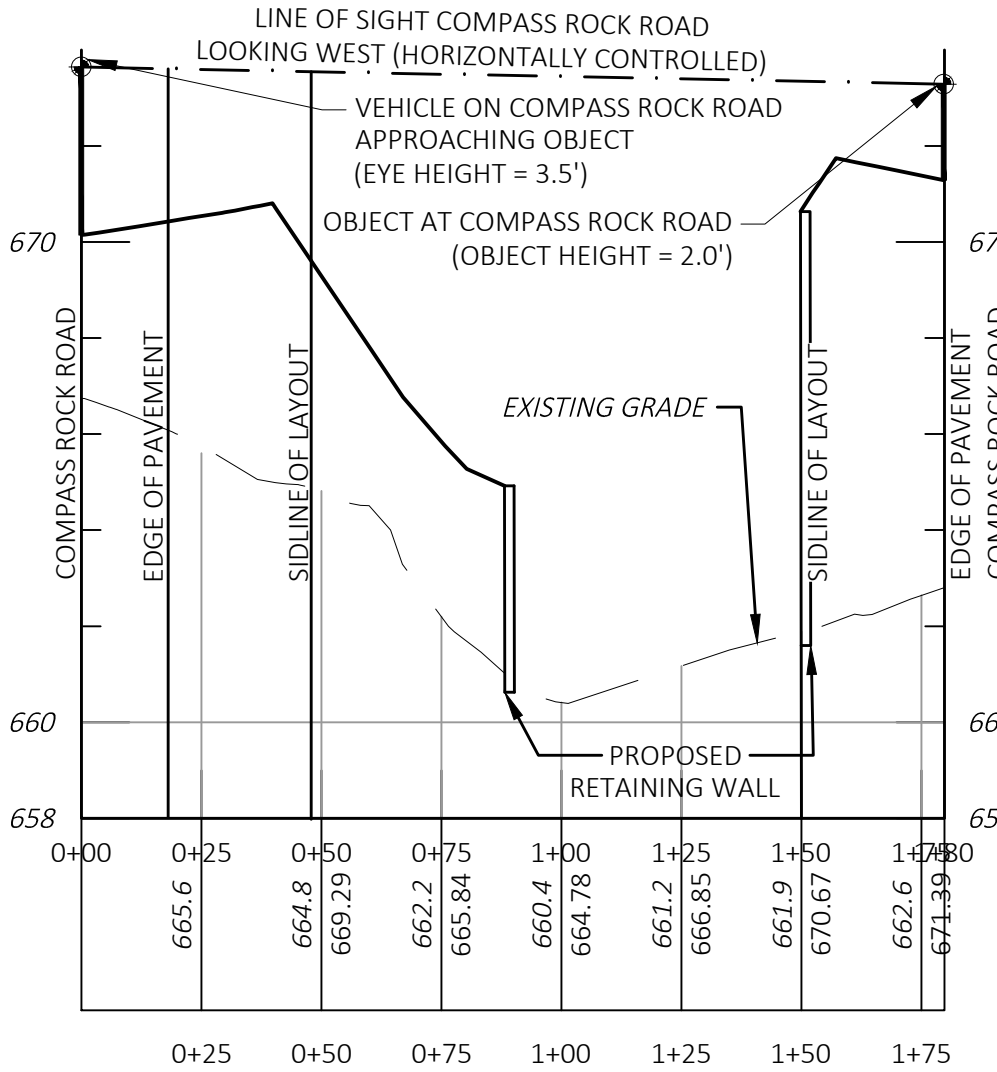
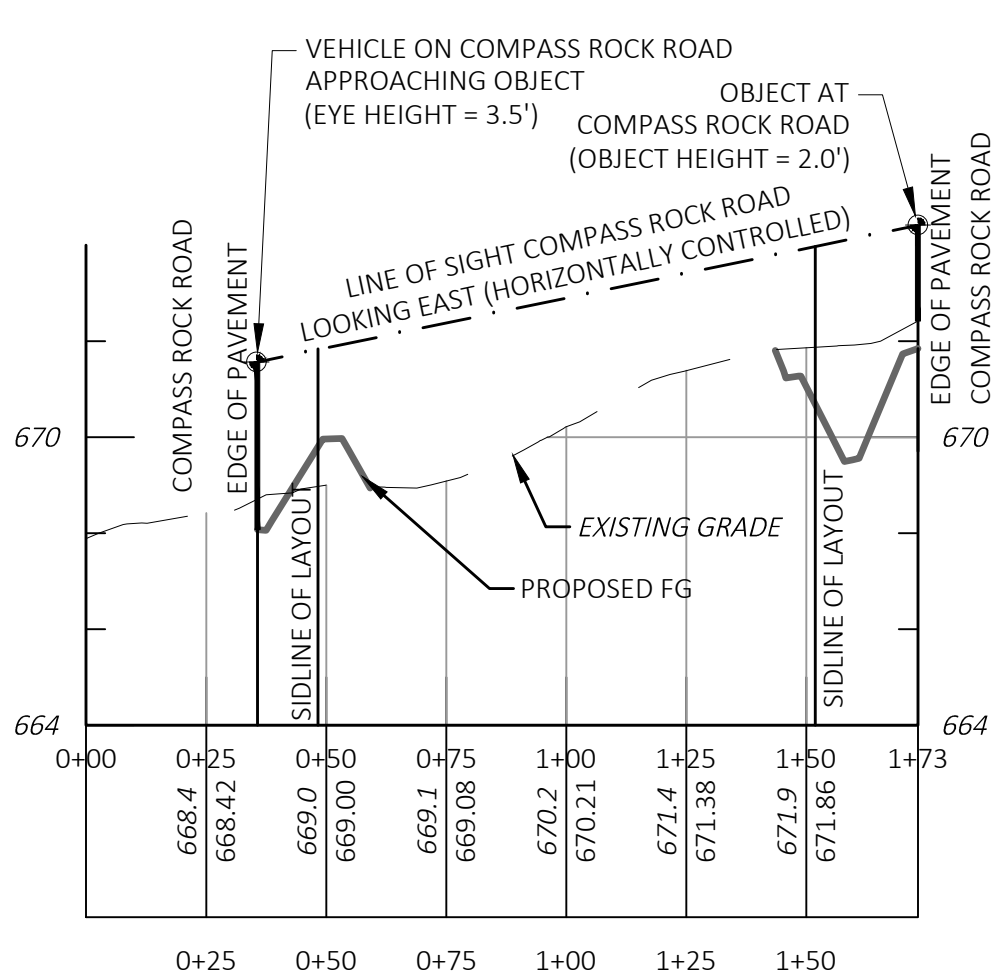
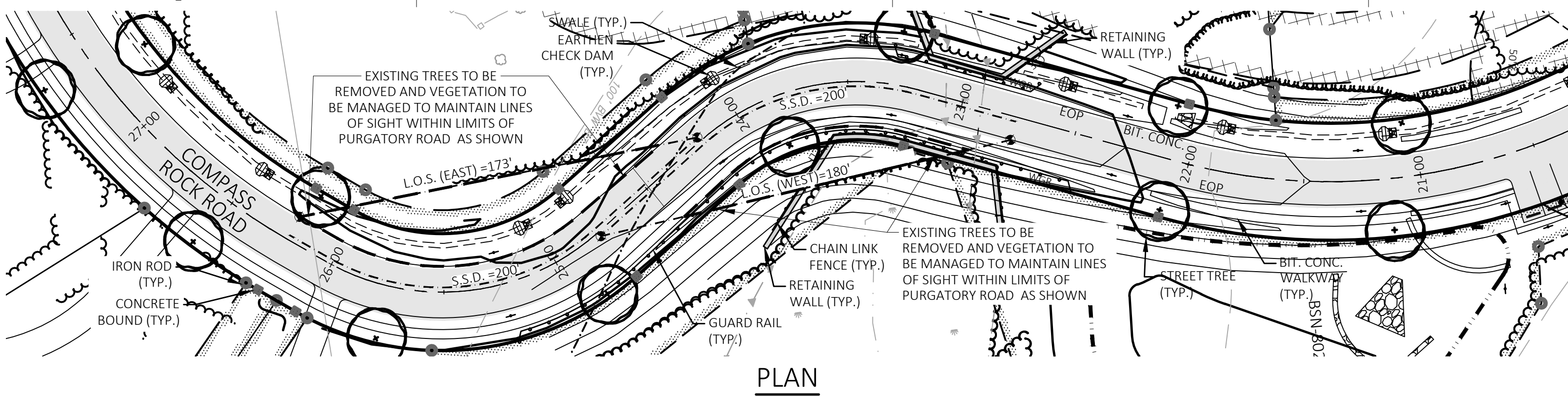
Date: 03/13/2023 Project No.: 21-0120



Sheet No.:

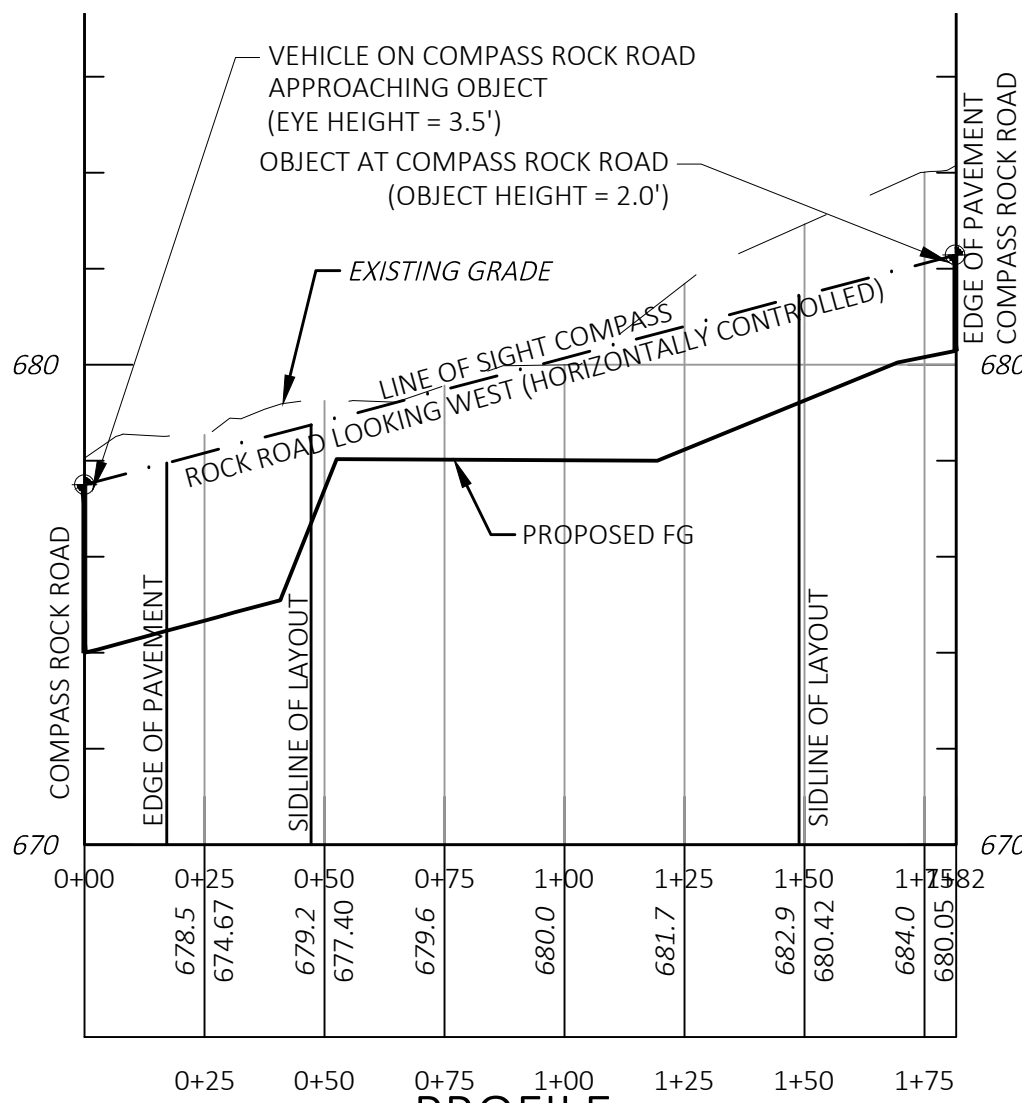
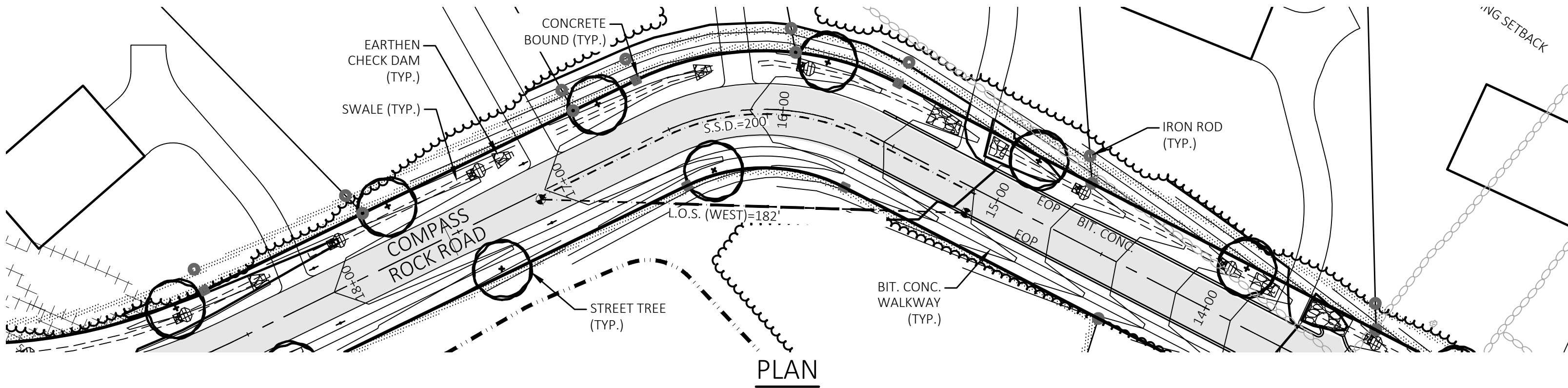
**C-307**





VEHICLE @ STA. 24+19 ON COMPASS ROCK ROAD LOOKING EAST

VEHICLE @ STA. 24+78 ON COMPASS ROCK ROAD LOOKING WEST



VEHICLE @ STA. 17+12 ON COMPASS ROCK ROAD LOOKING WEST

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**PLAN & PROFILE**  
**S.S.D LINE OF SIGHT ALONG**  
**COMPASS ROCK ROAD**

Local Permitting



Prepared By:

**LD**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:

**FELDMAN**

152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

2 08/16/2023 ENDORSEMENT PLANS  
1 07/13/2023 PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB

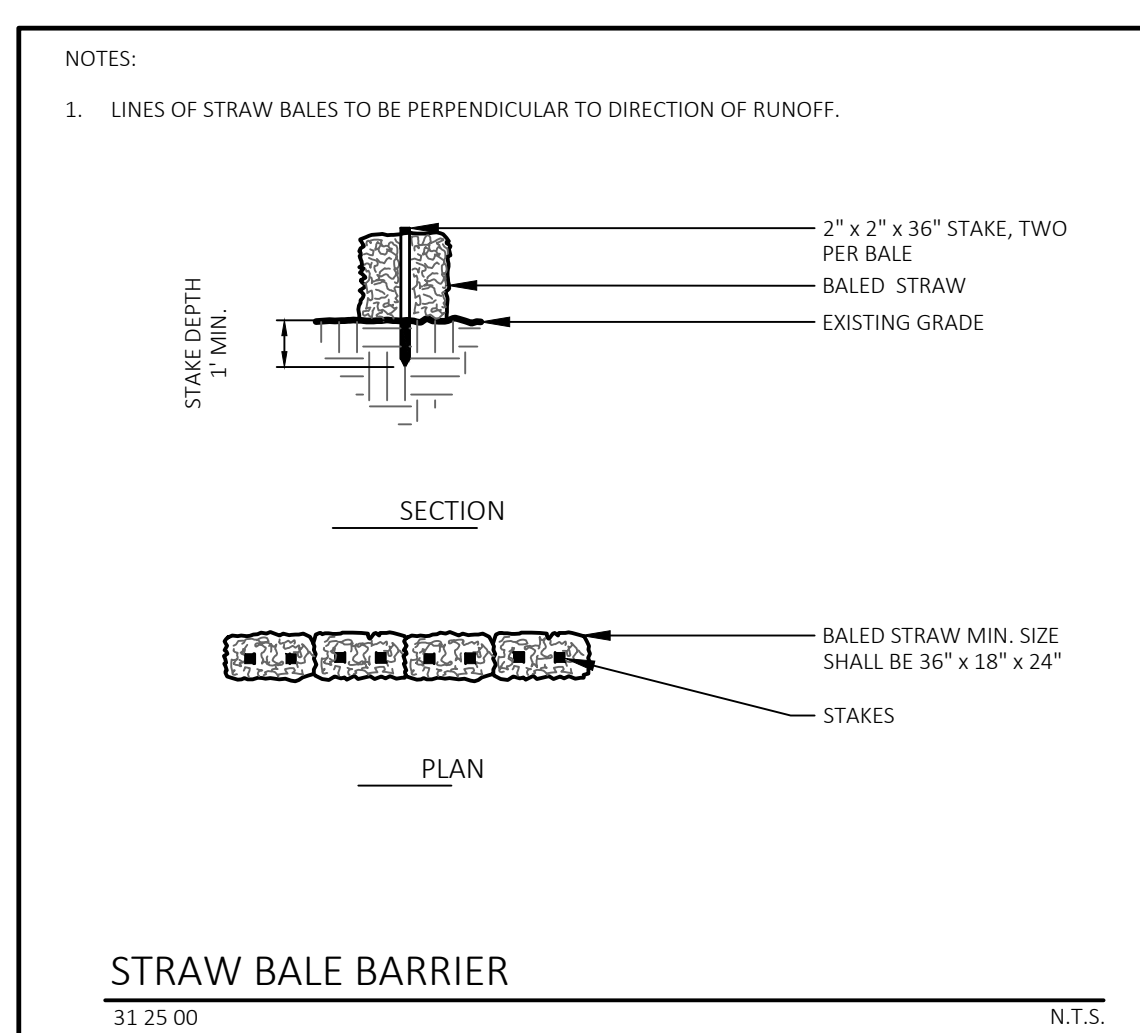
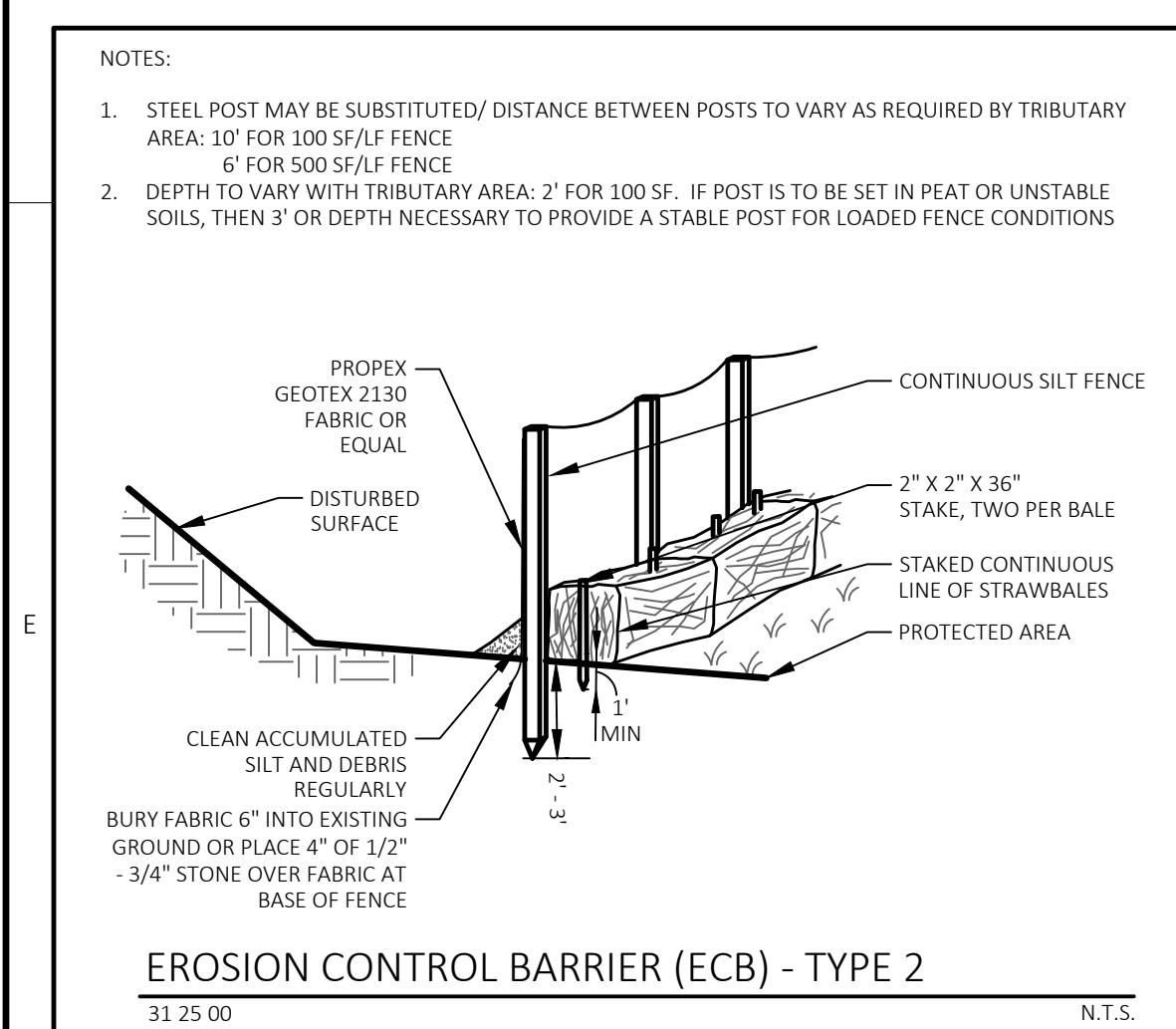
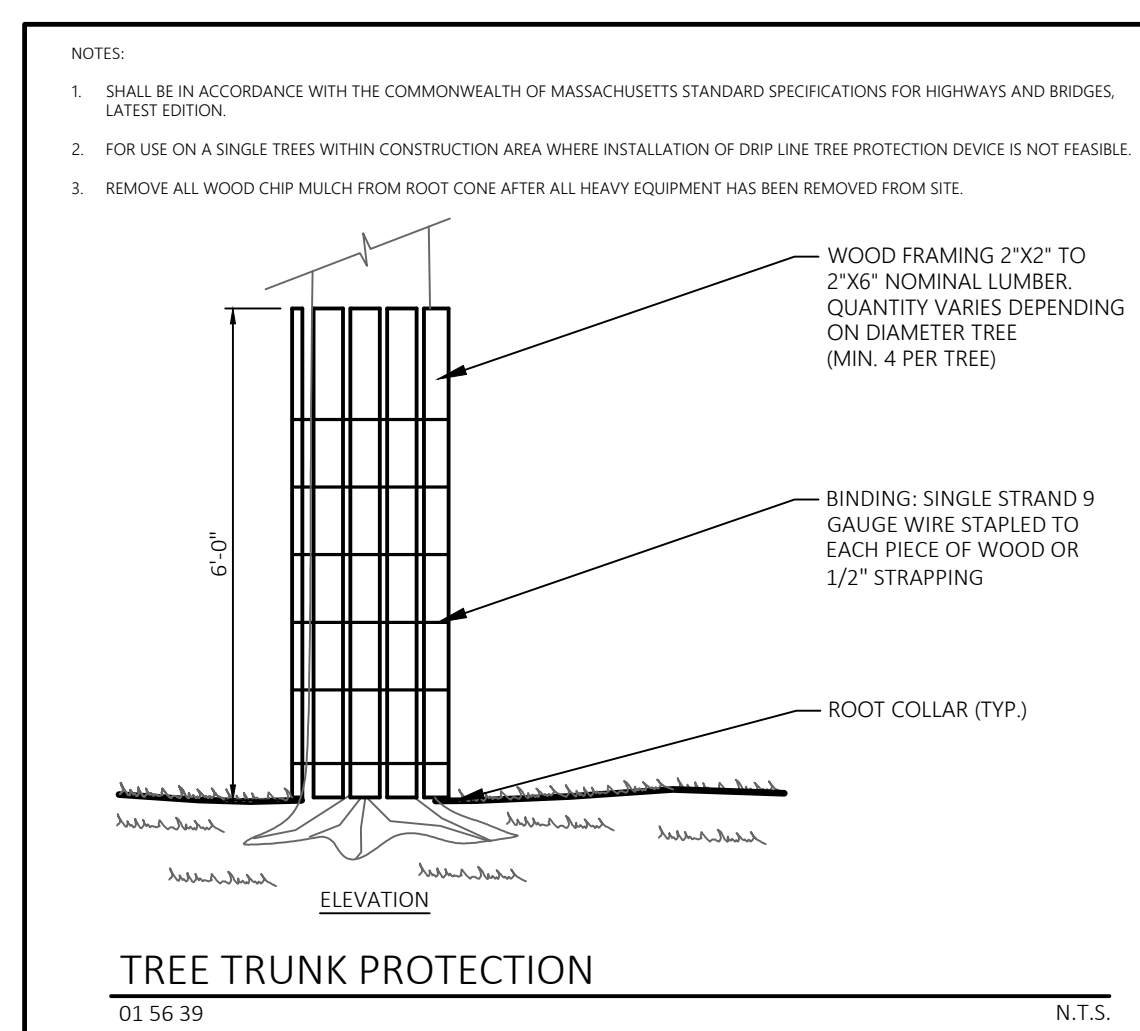
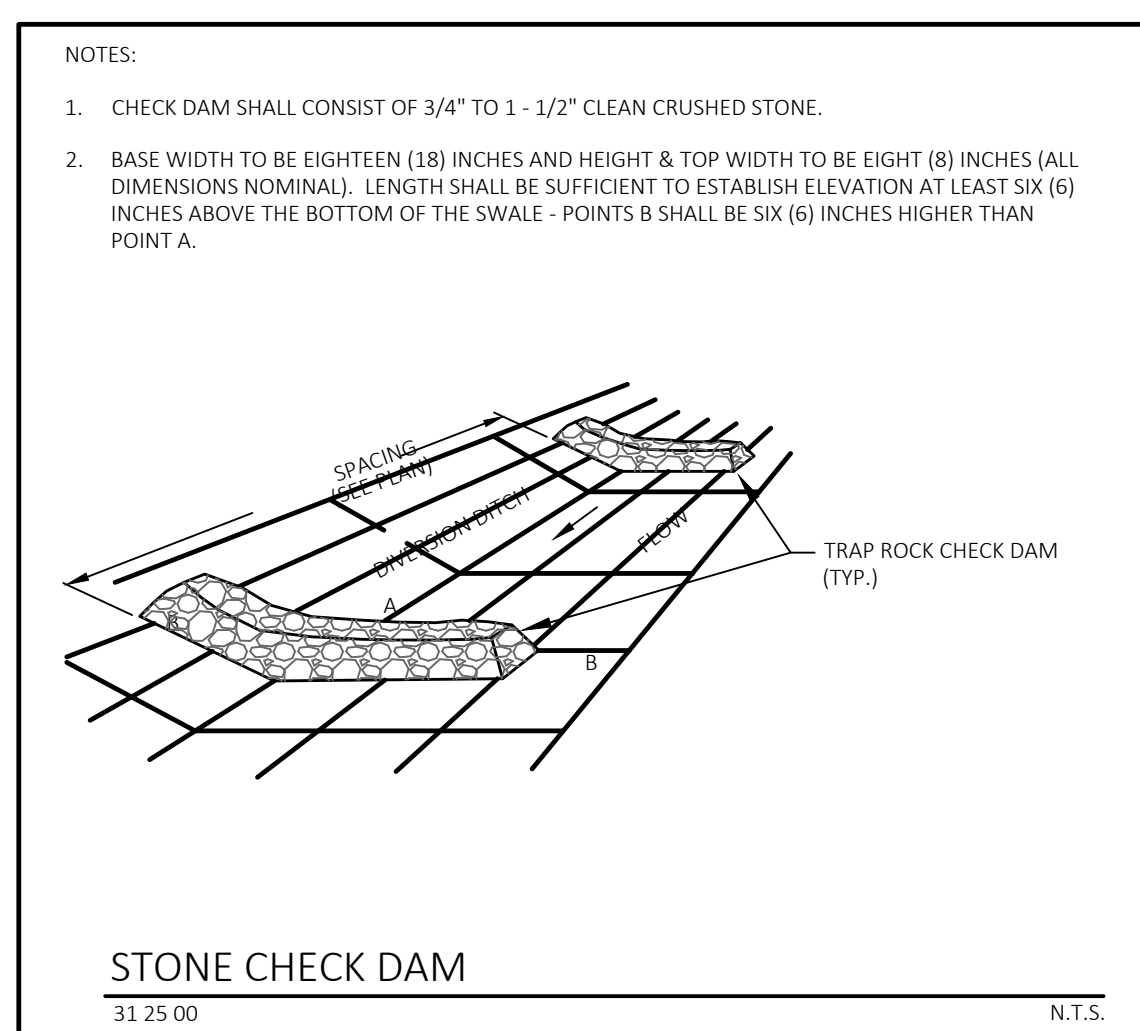
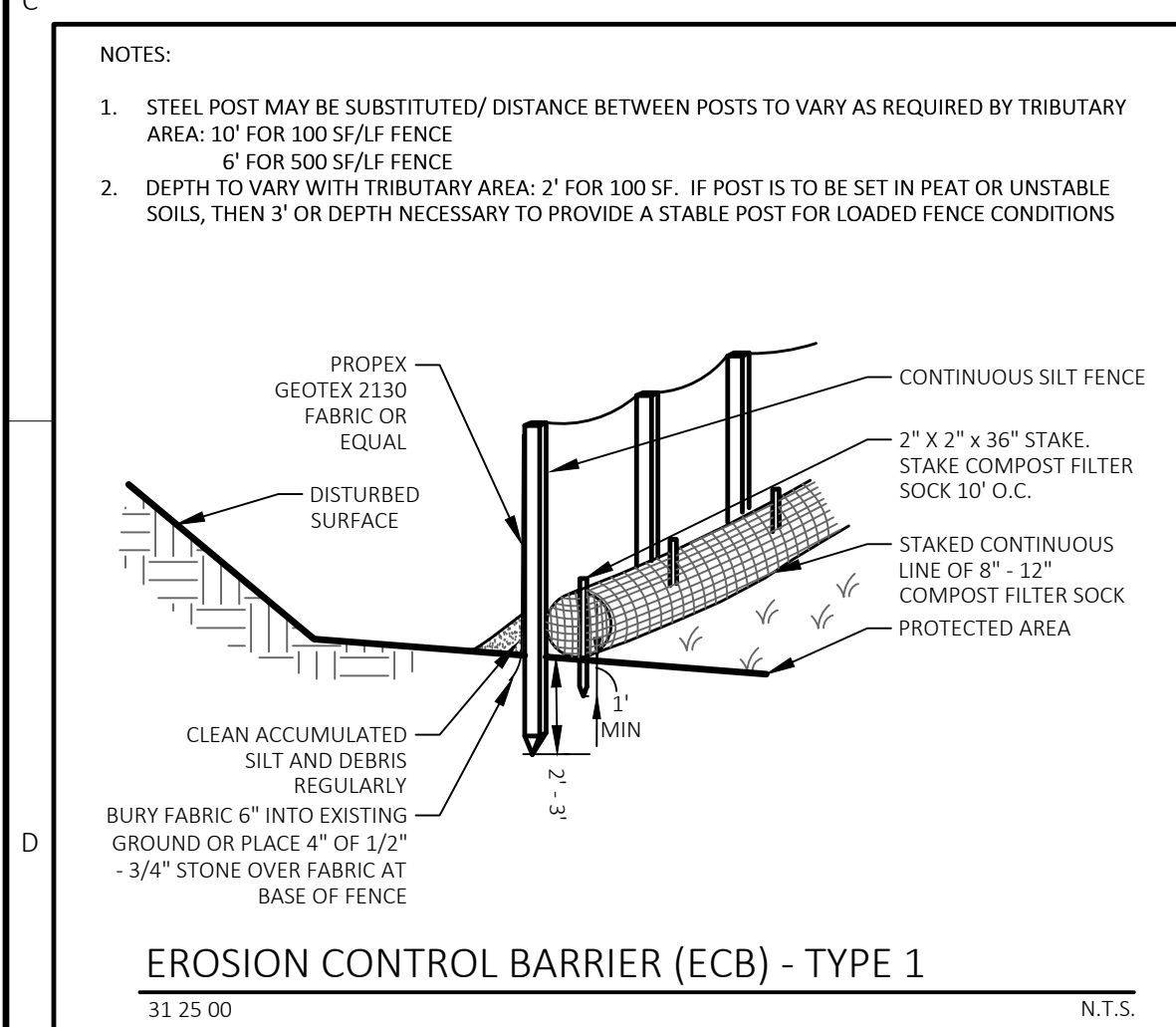
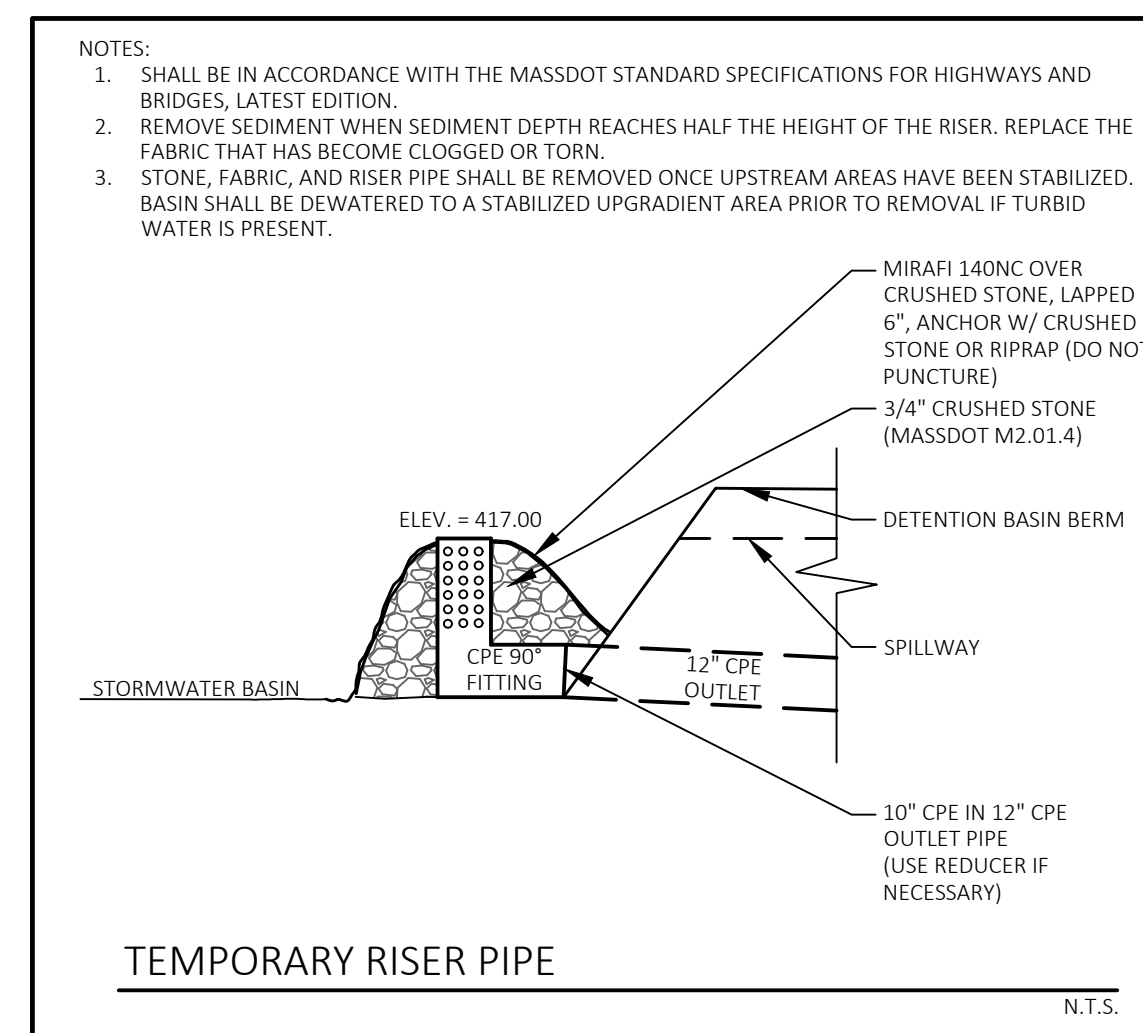
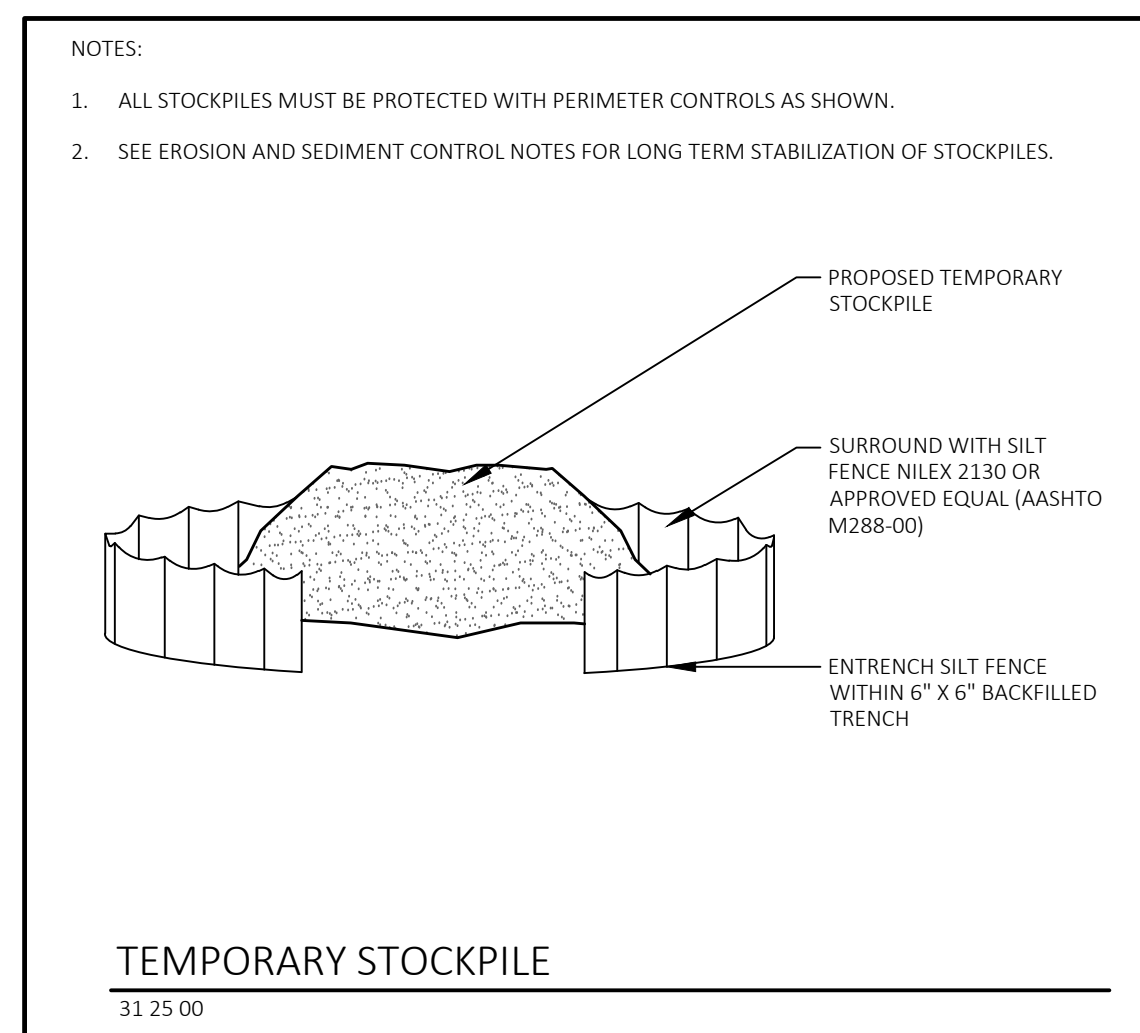
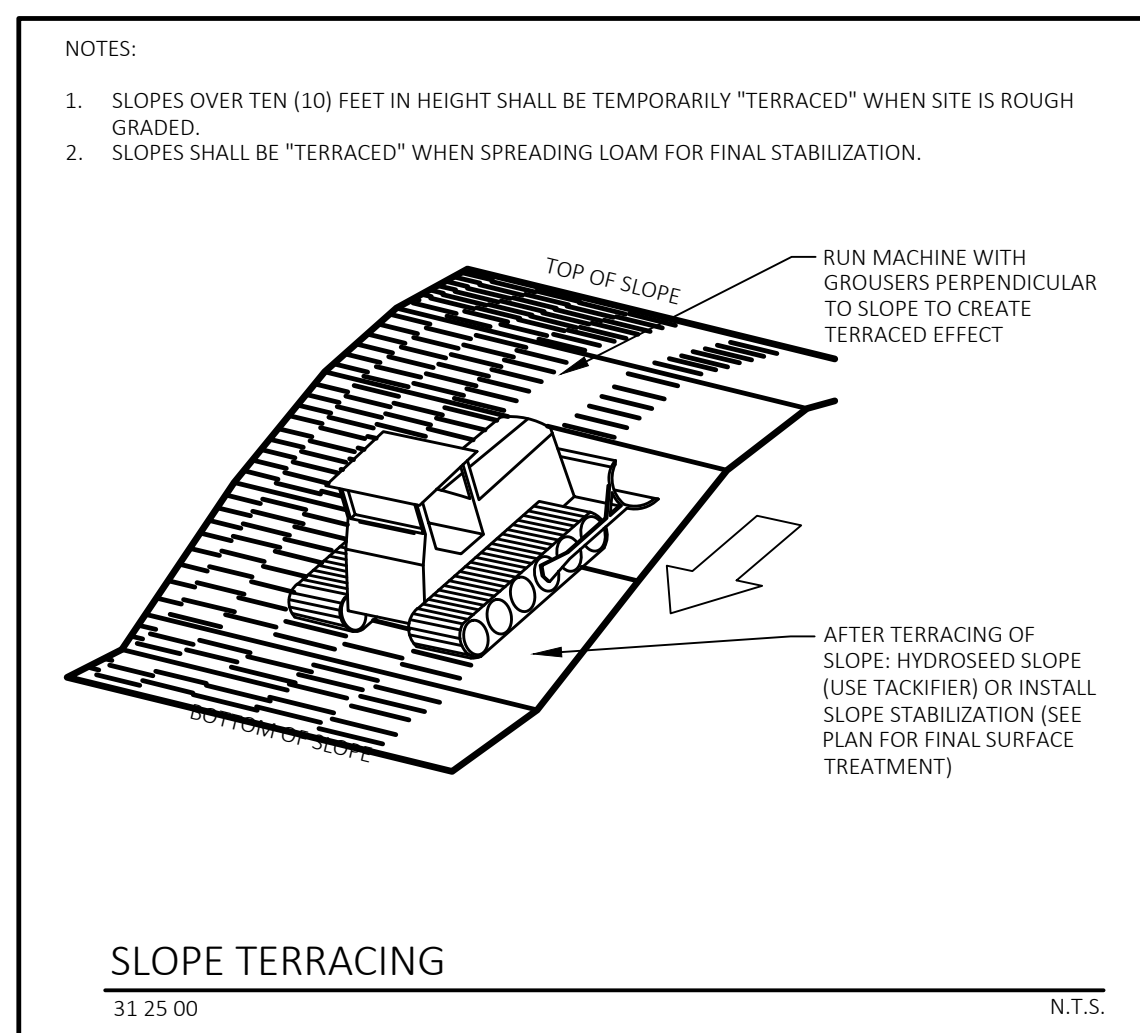
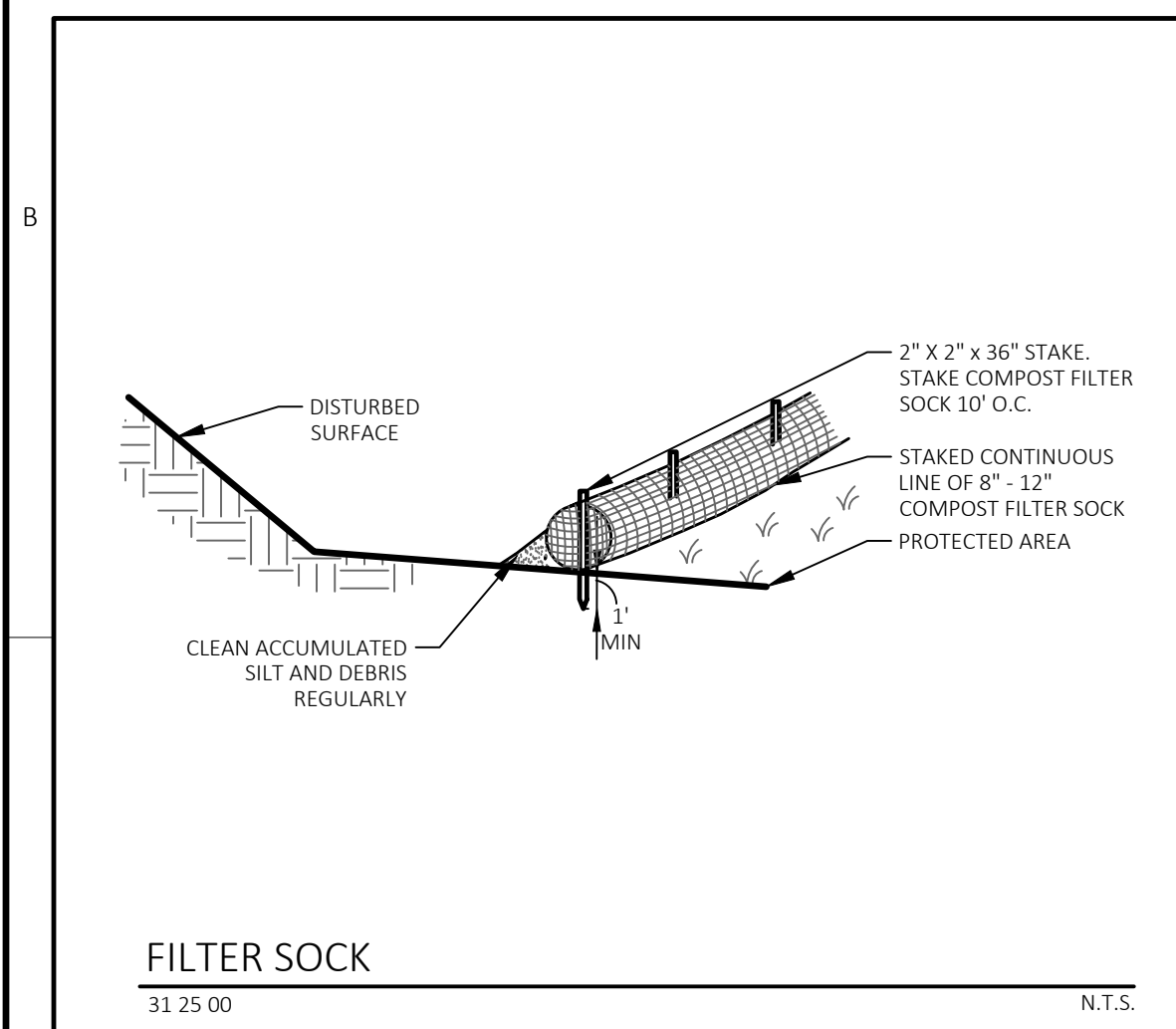
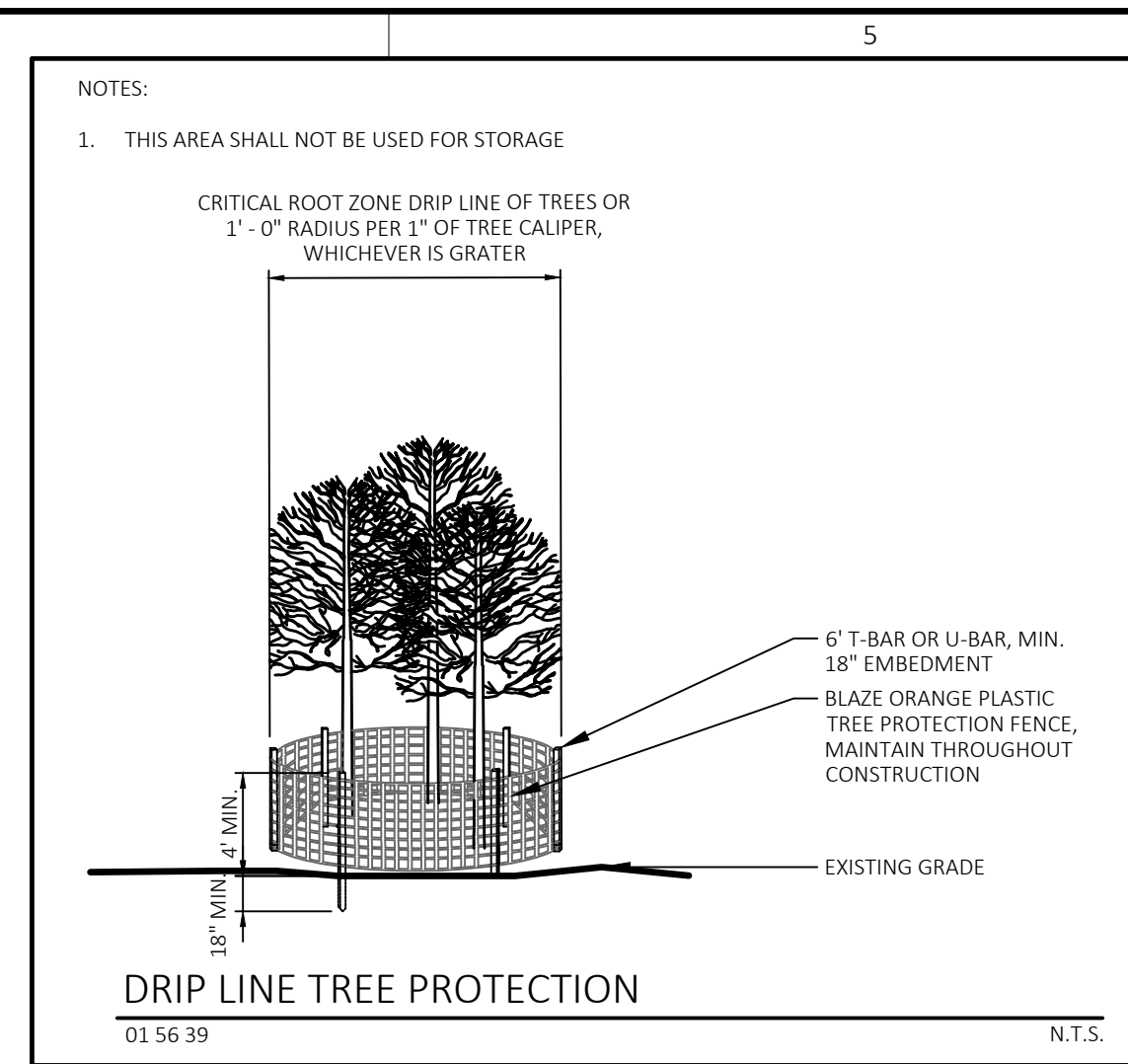
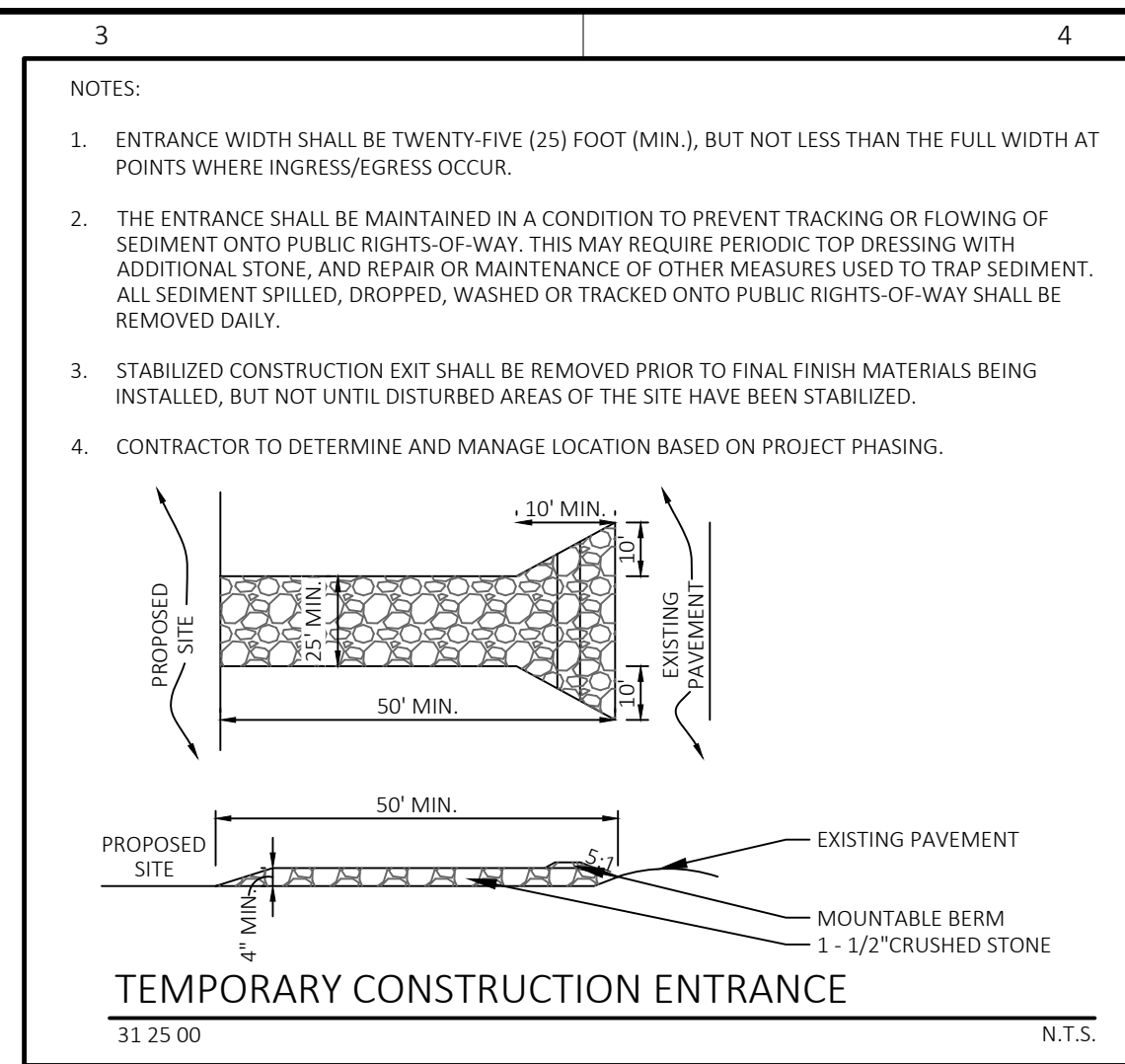
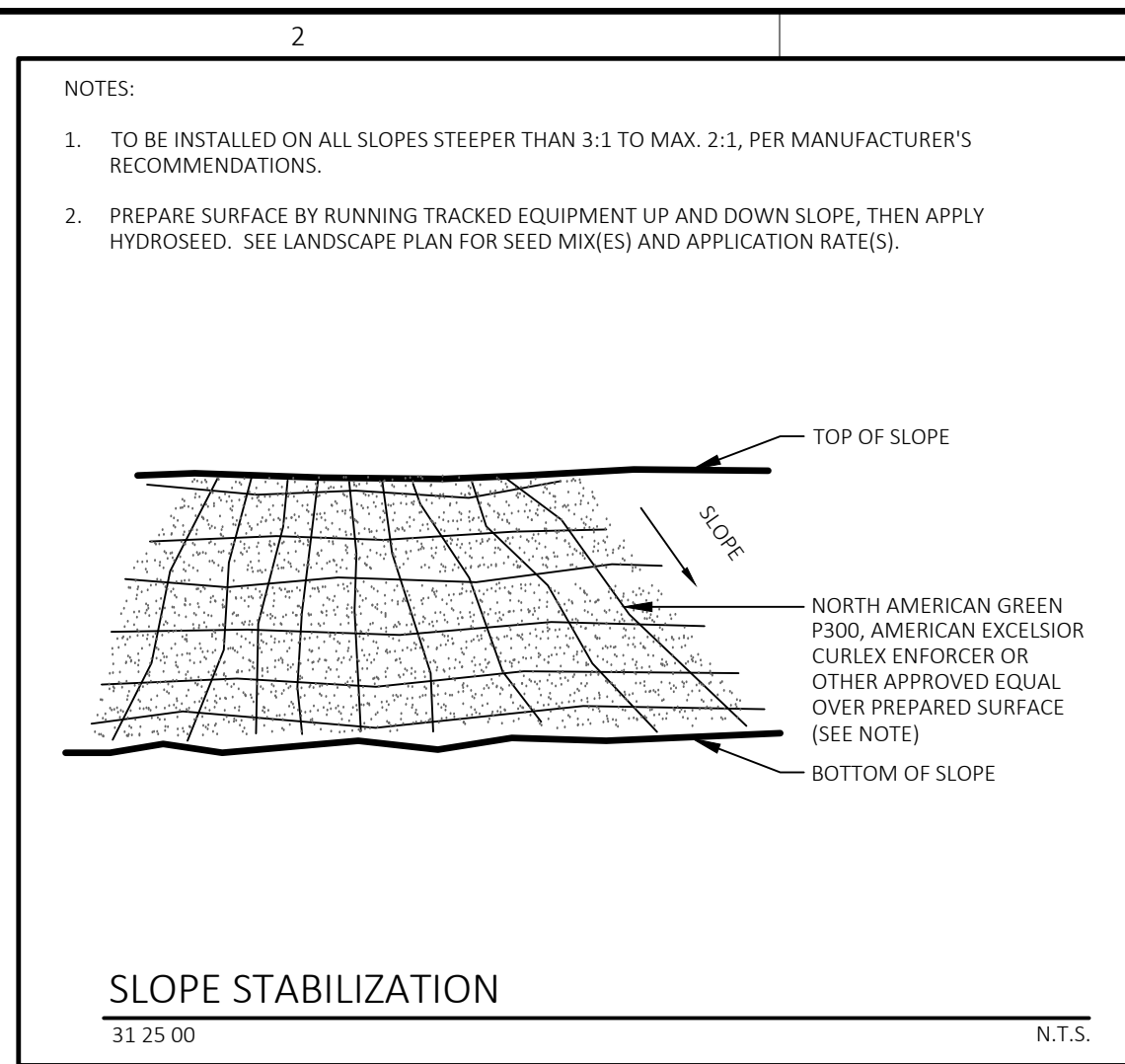
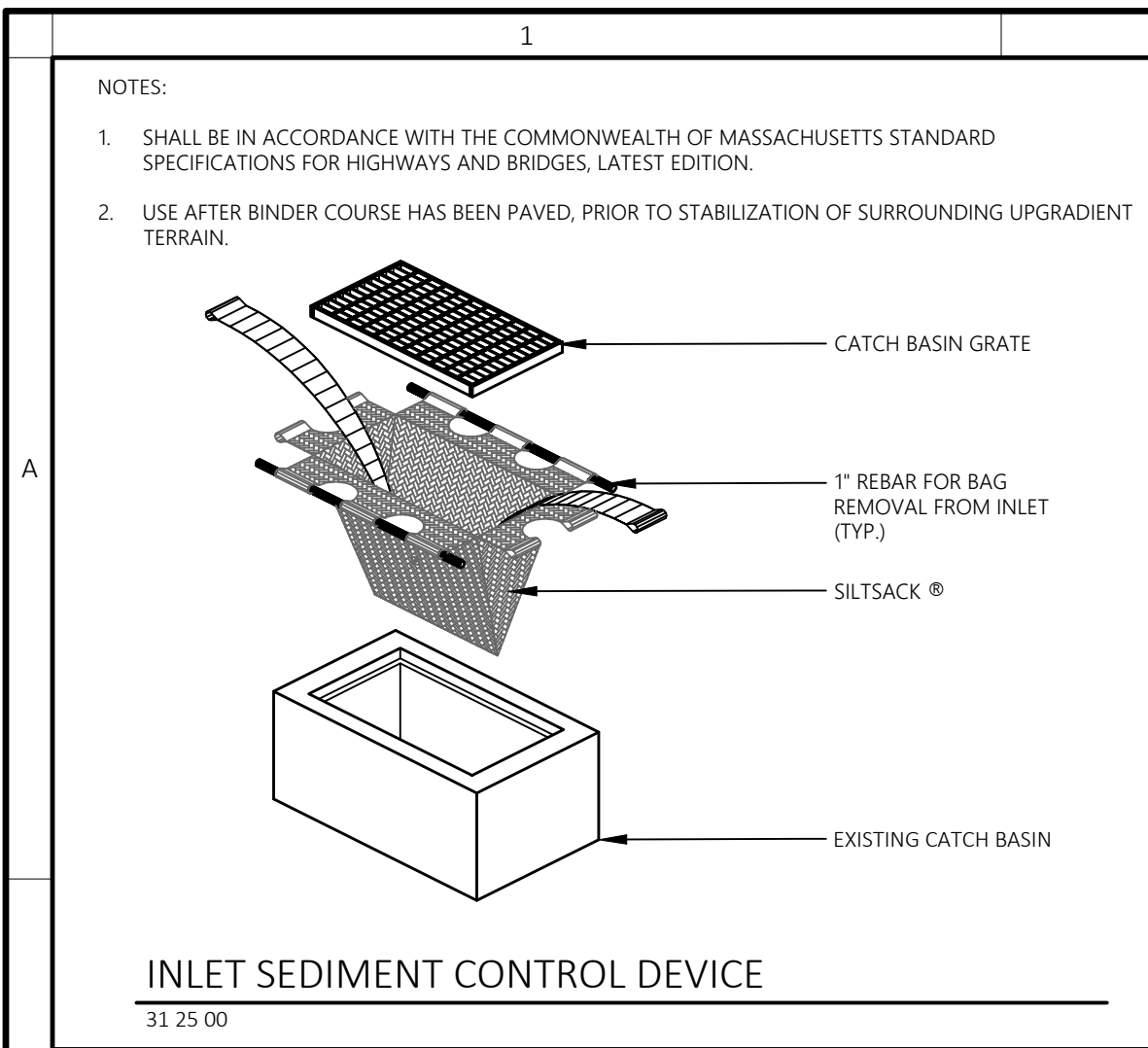
Date: 06/12/2023 Project No.: 21-0120

0 20 40 80 120  
Scale: 1" = 4' V : 1" 40' H

Sheet No.:

**C-308**





Project Owner:  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA  
Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

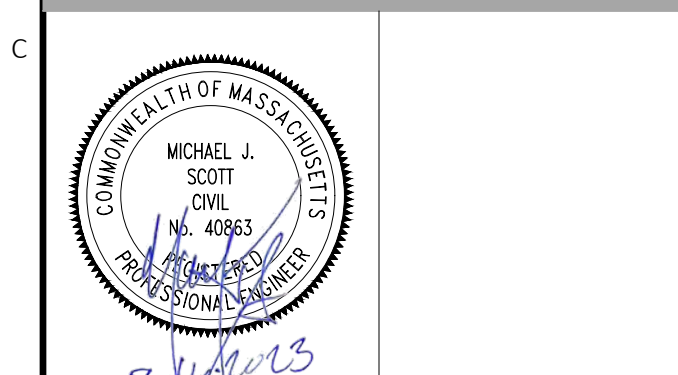
Project Applicant:  
81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:  
Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

DETAILS  
EROSION & SEDIMENT  
CONTROL

Local Permitting



Prepared By:

**LDC**

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | [LDCollaborative.com](http://LDCollaborative.com)

Project Surveyor:

**FELDMAN**

152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.


3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES

E	1	06/12/2023	PEER REVIEW & TOWN COMMENT
---	---	------------	----------------------------

No:	Date:	Revision	Issue:

Drawn By:	CMP	Checked By:	WM
Date:	03/13/2023	Project No.:	21-012

[illegible]

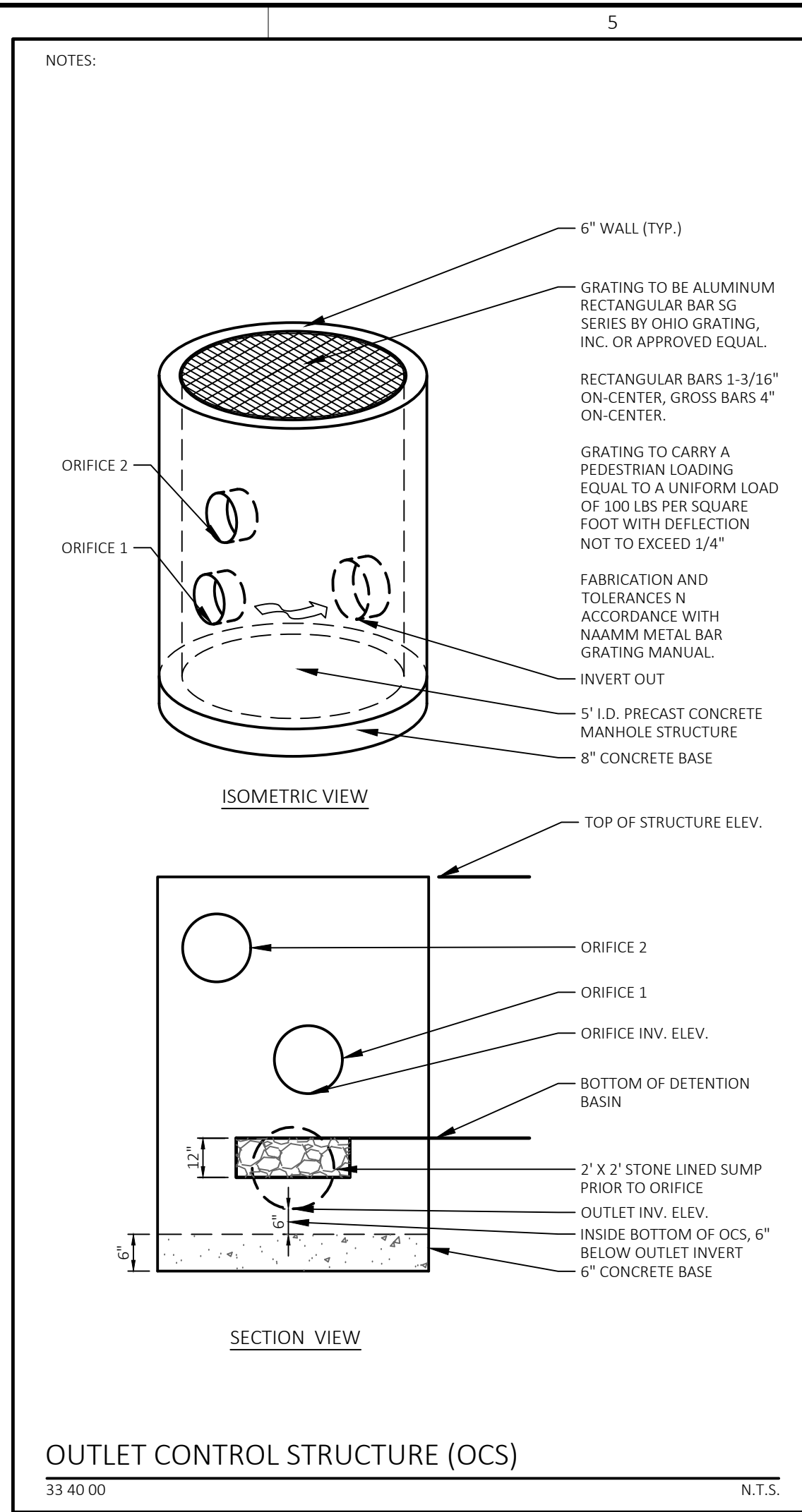
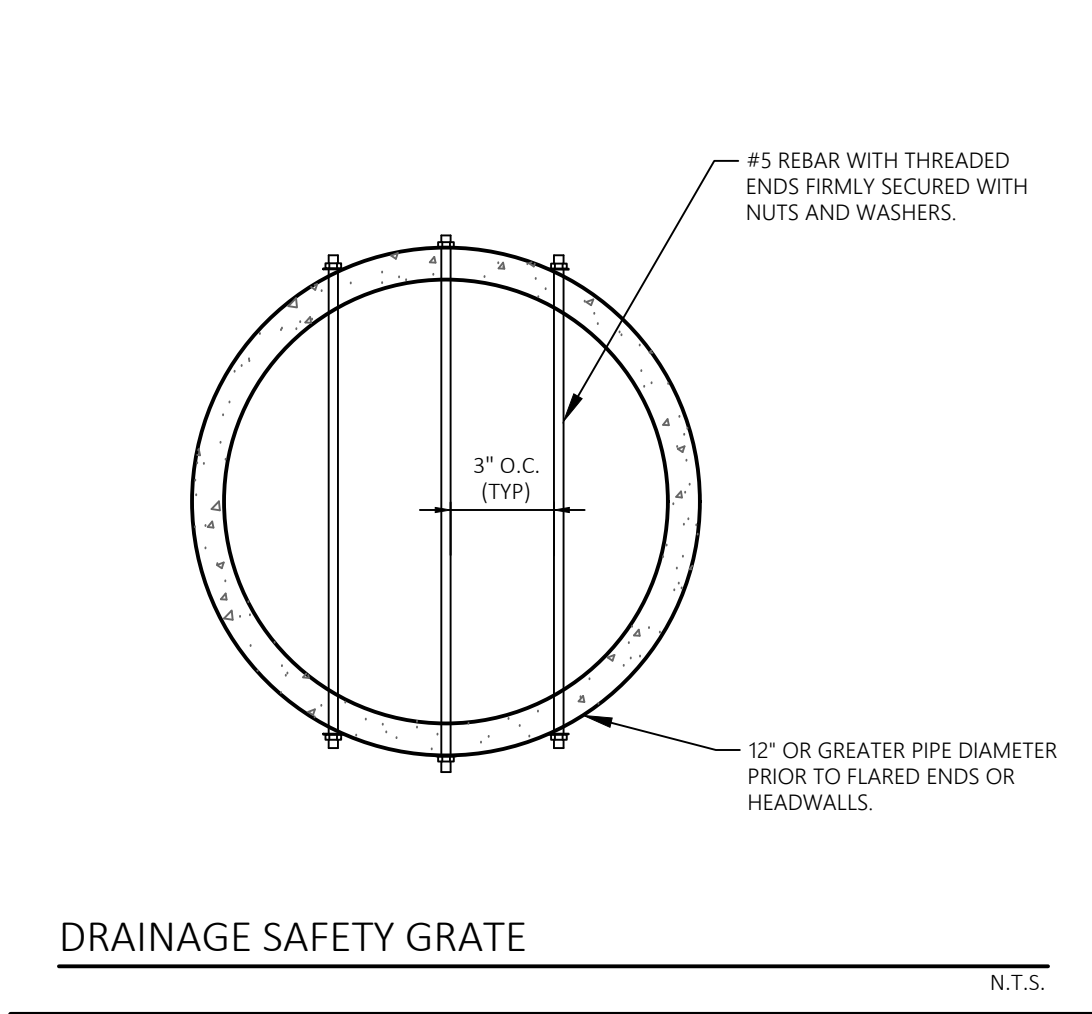
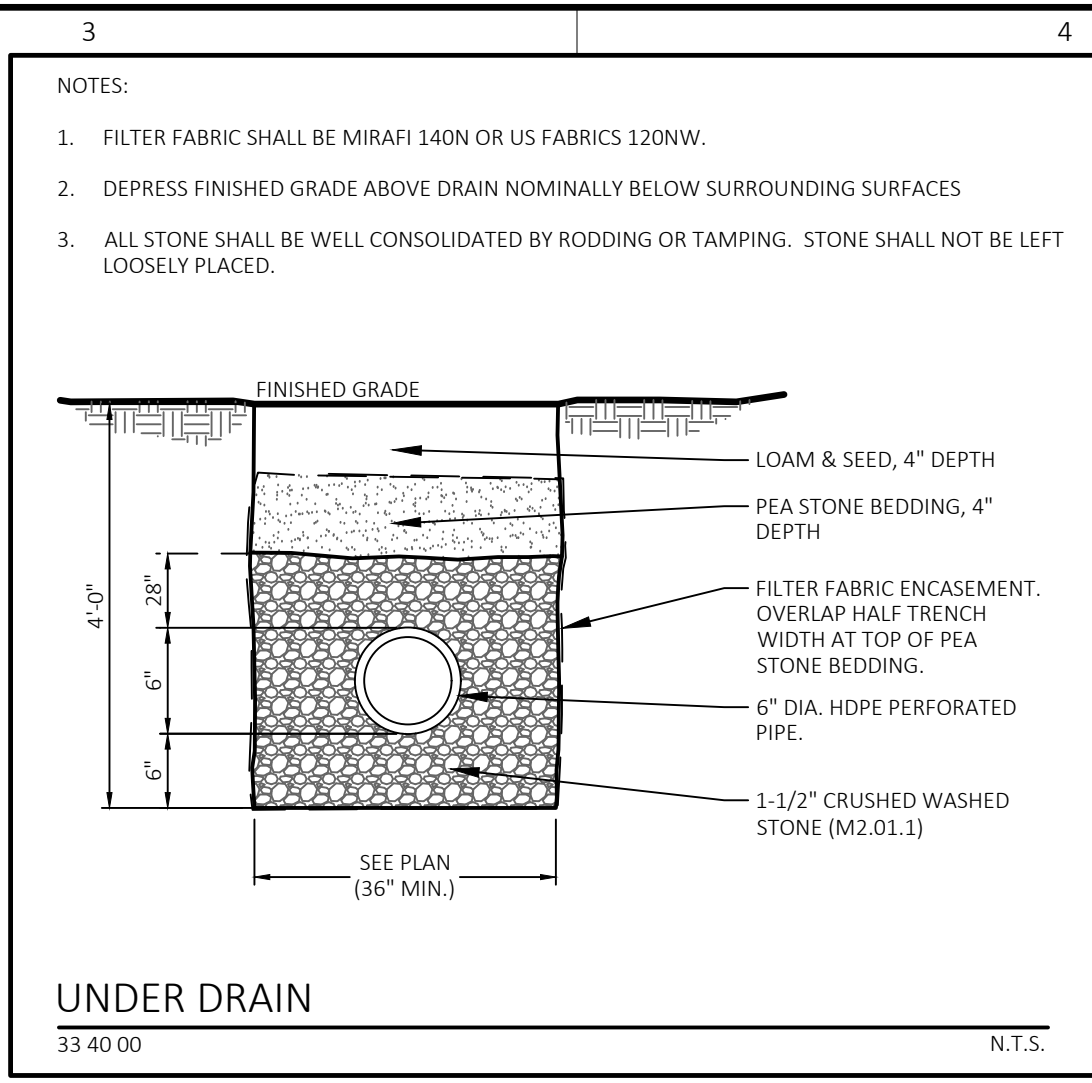
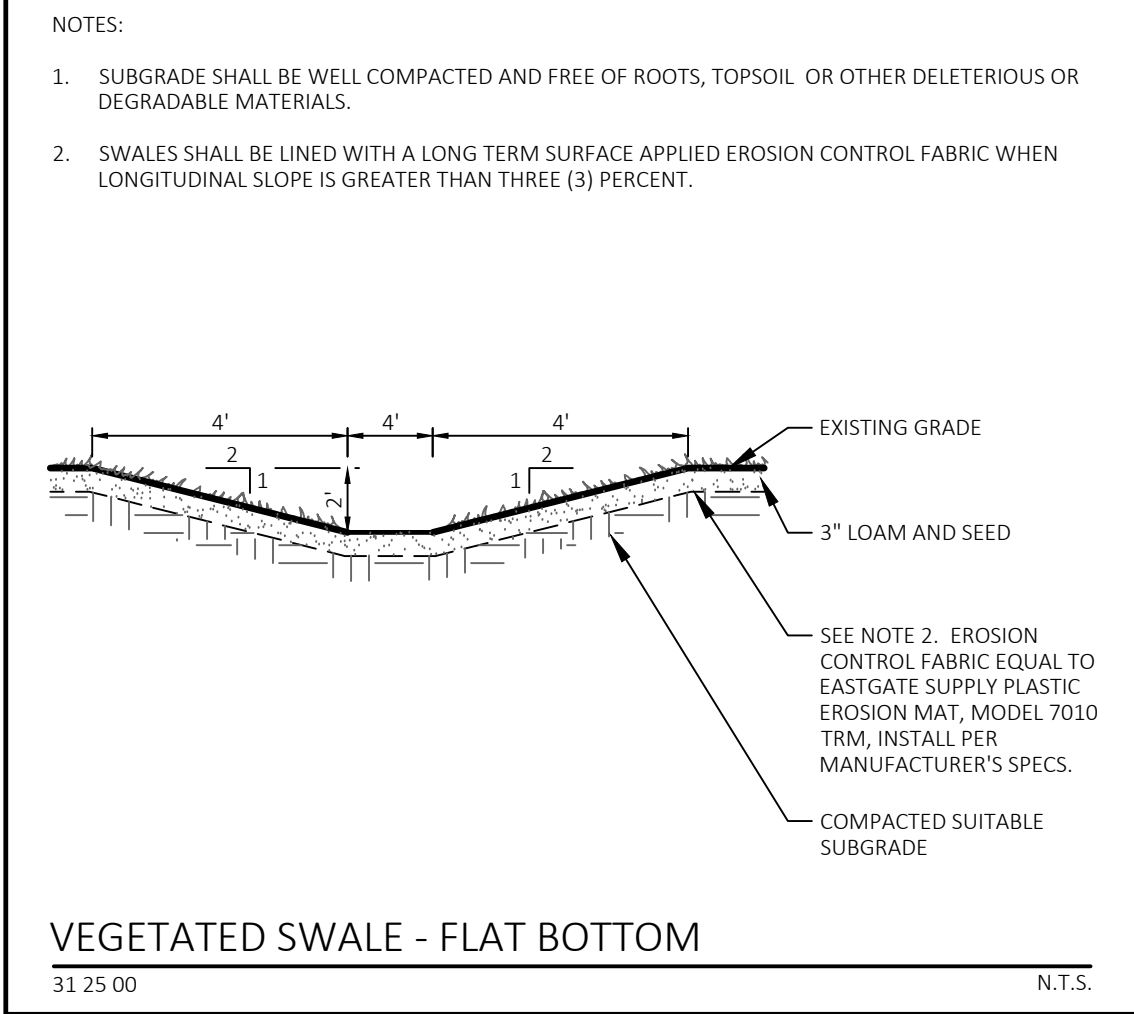
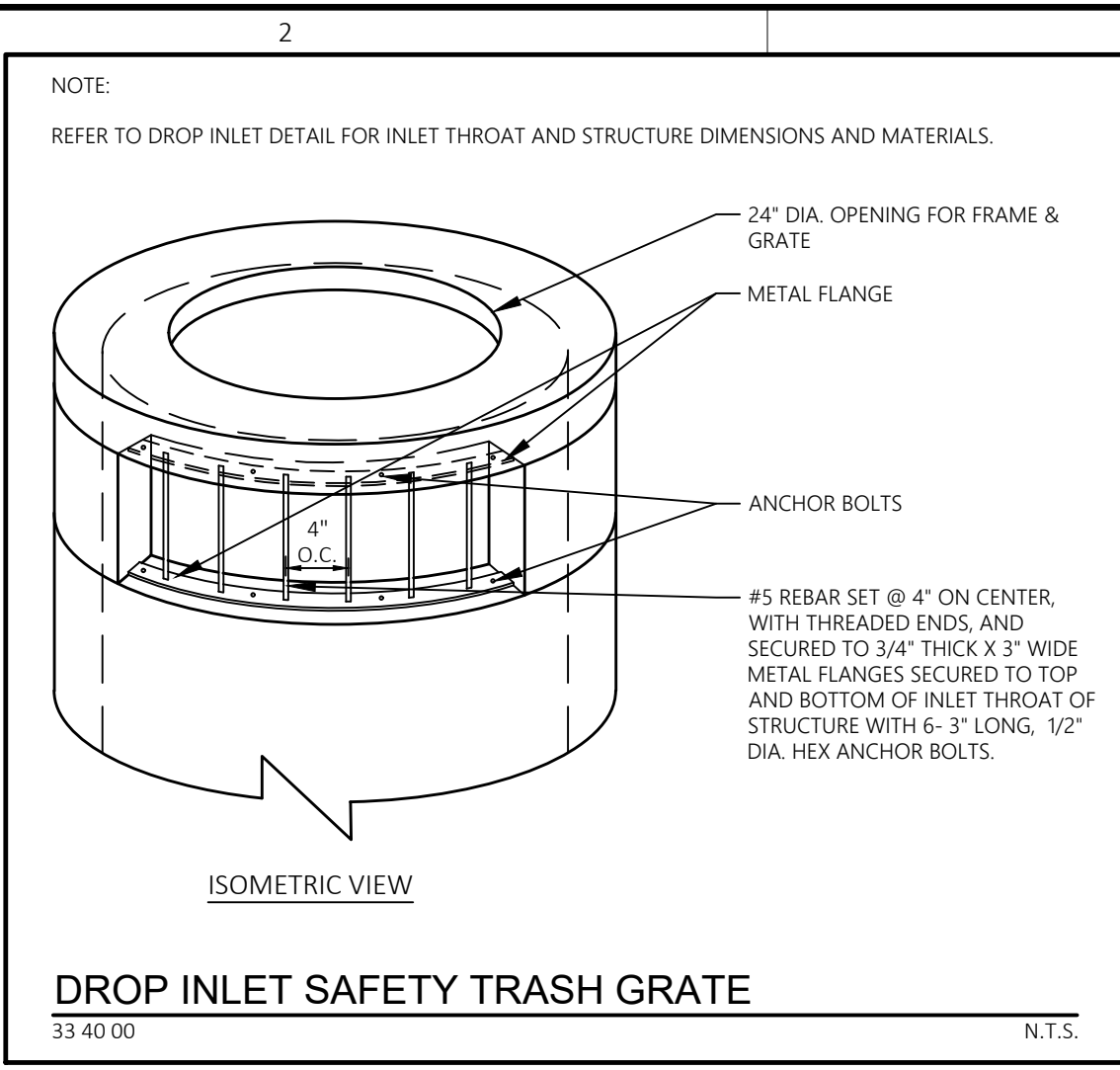
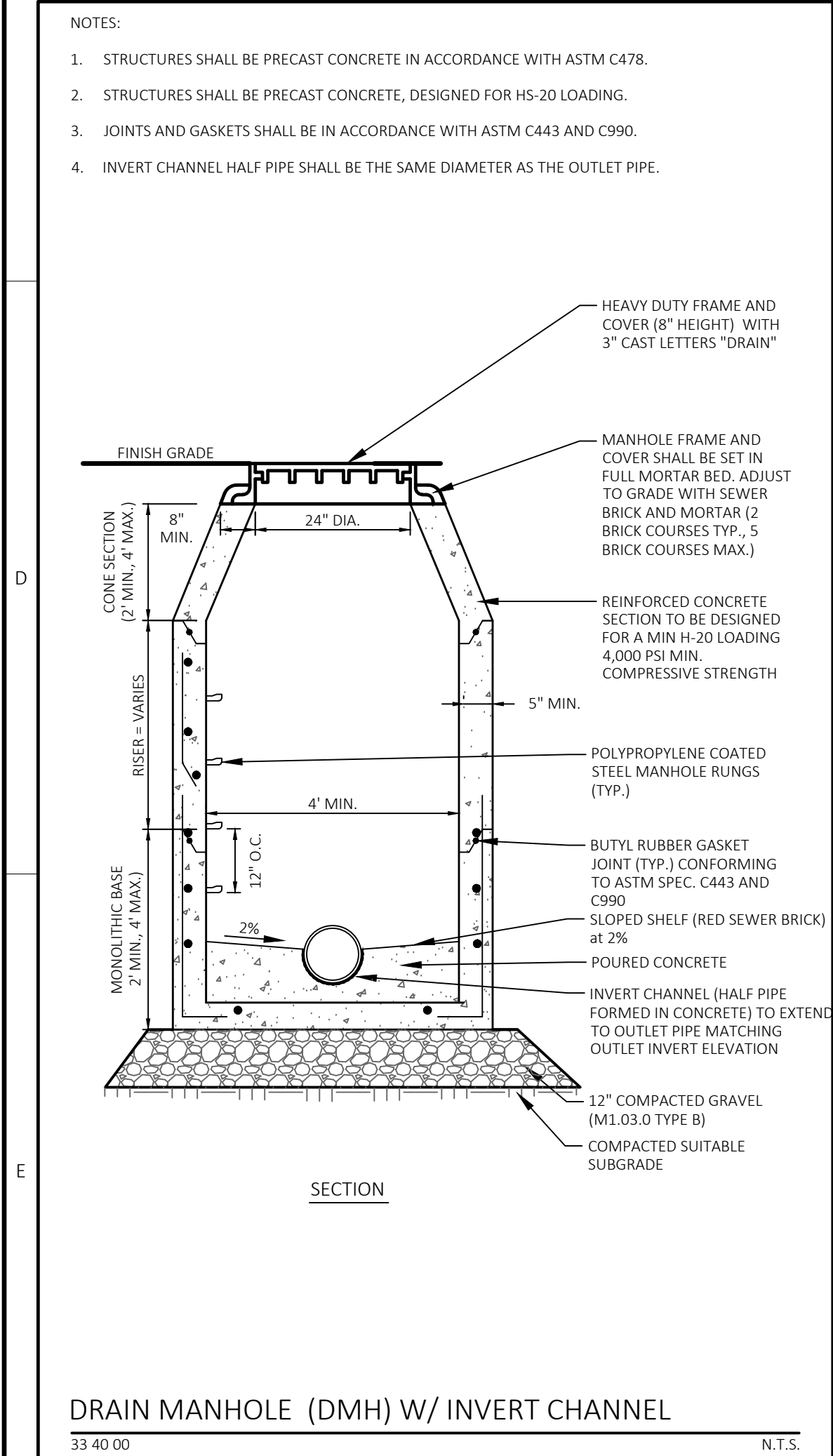
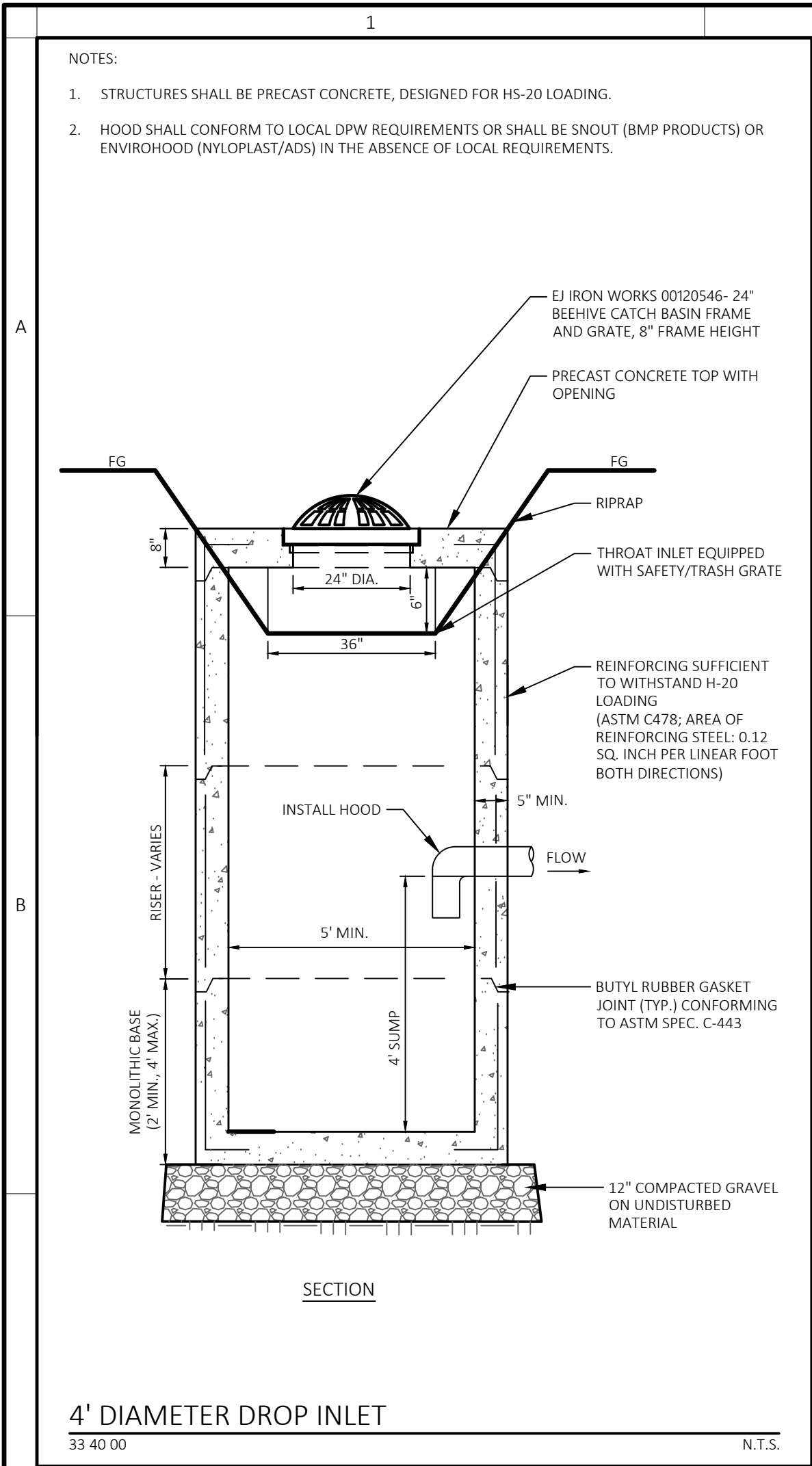
Sheet No. :

C 101

C-401

---





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

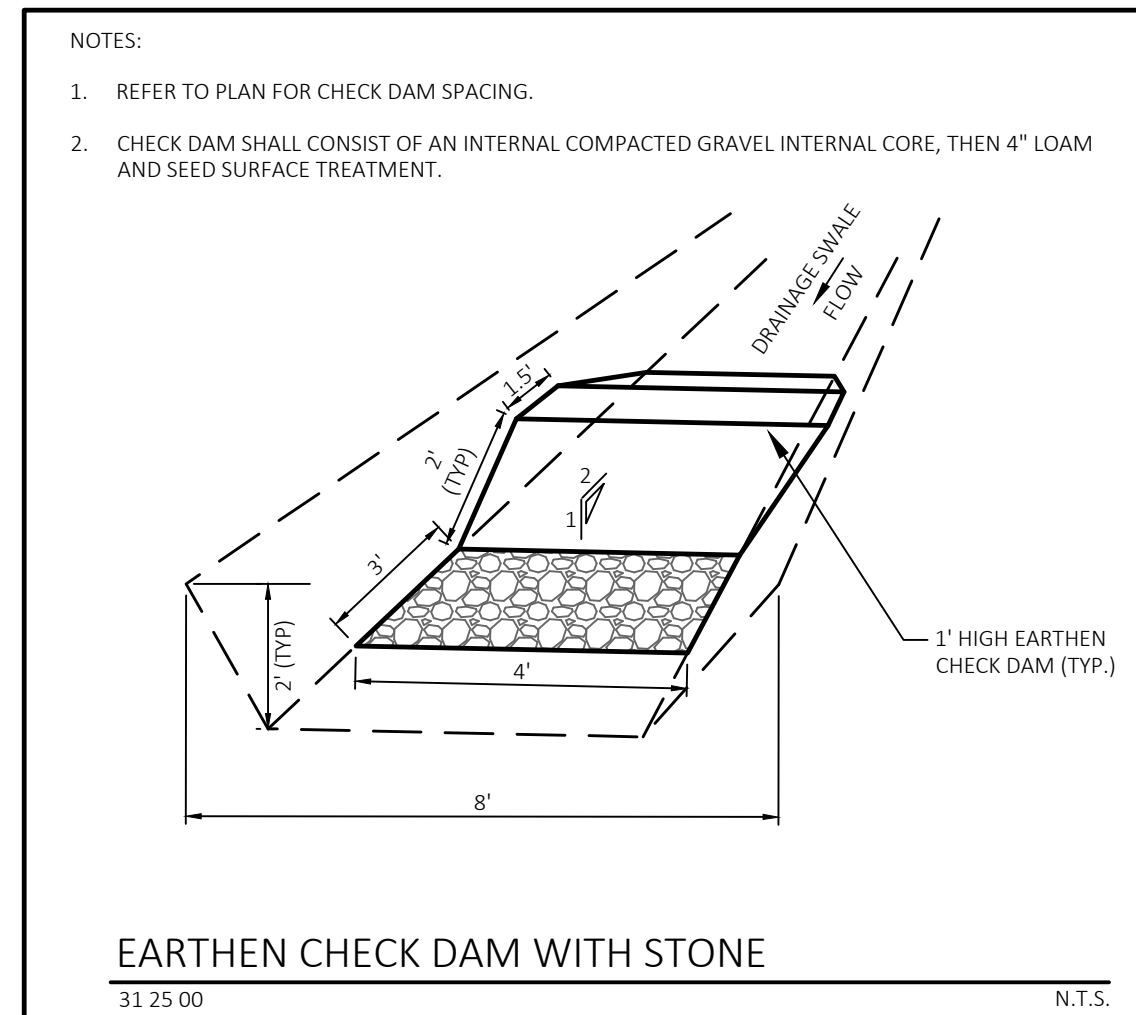
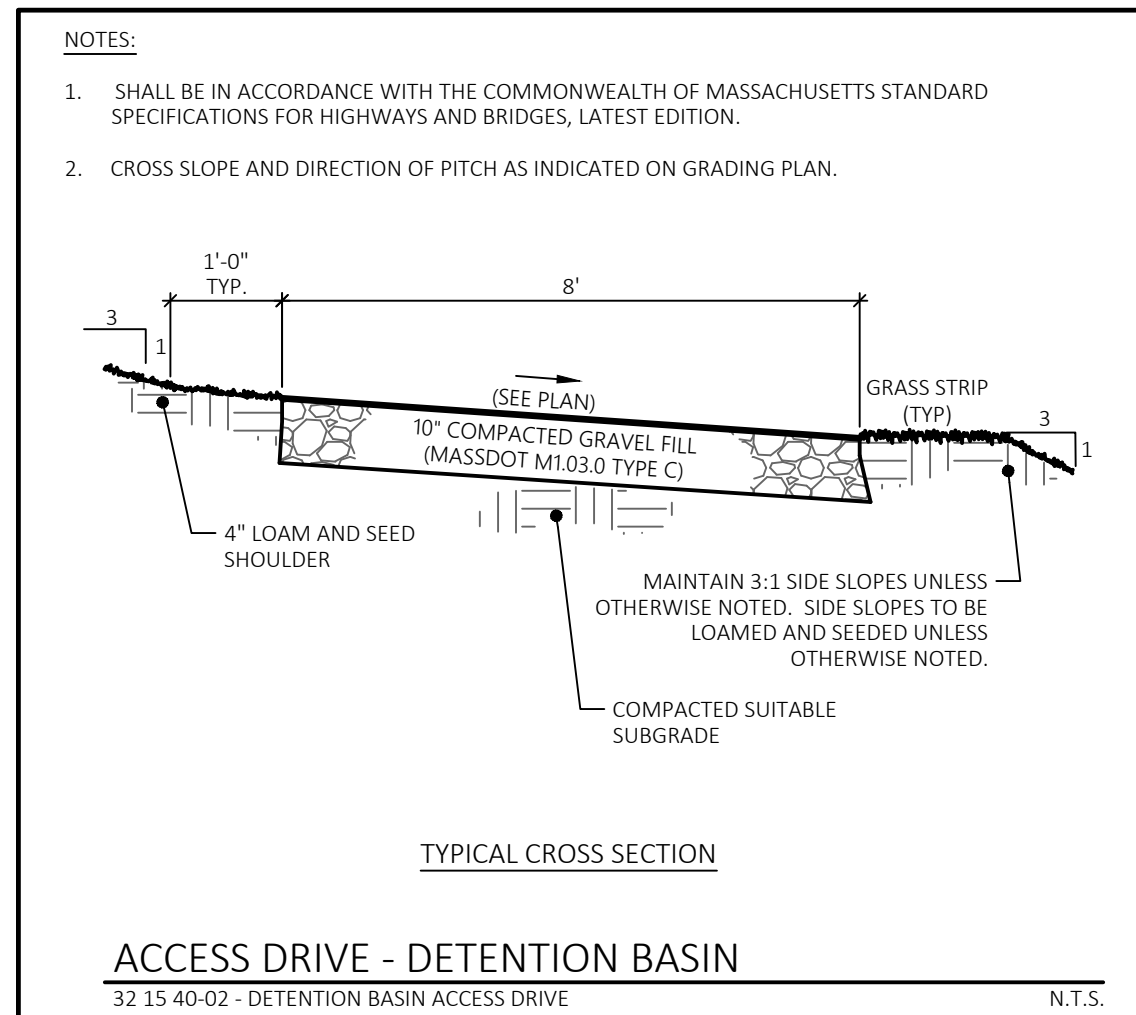
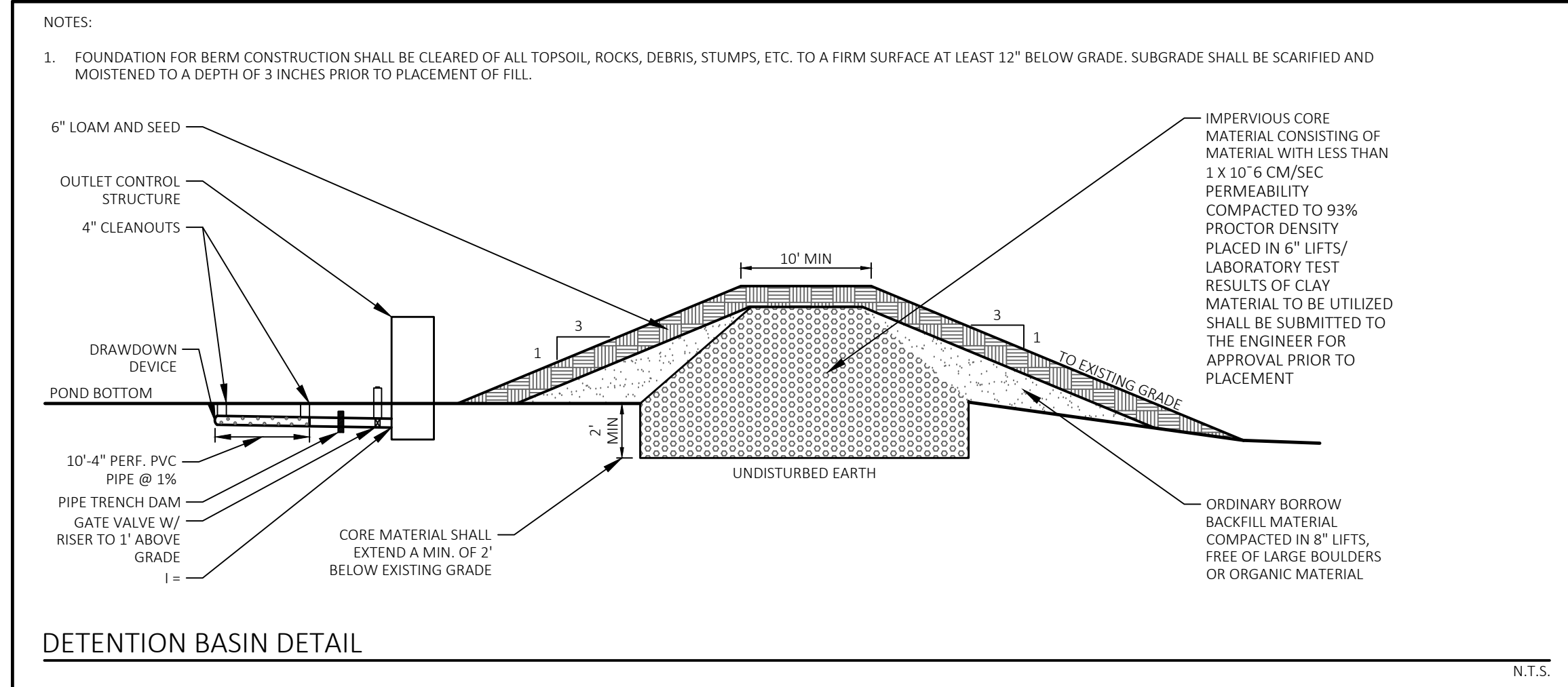
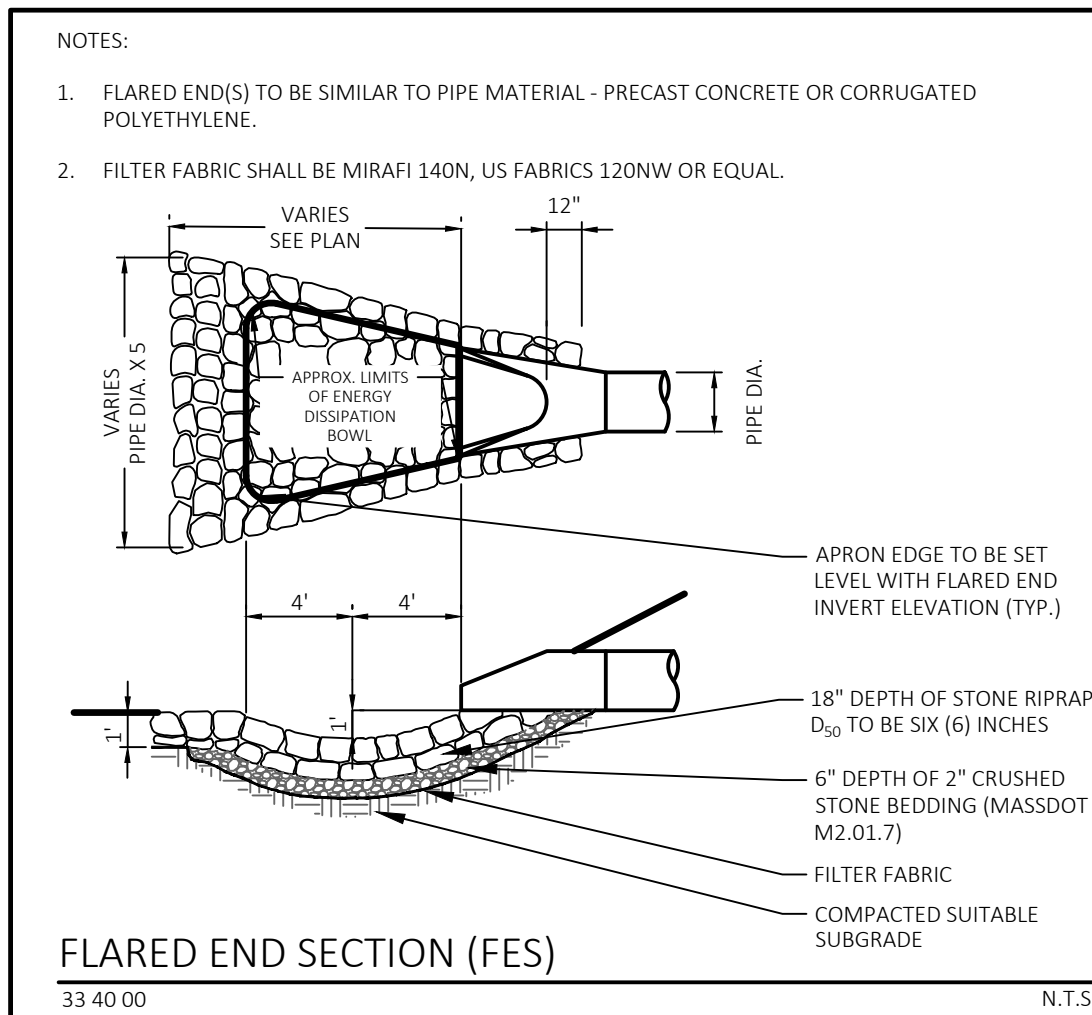
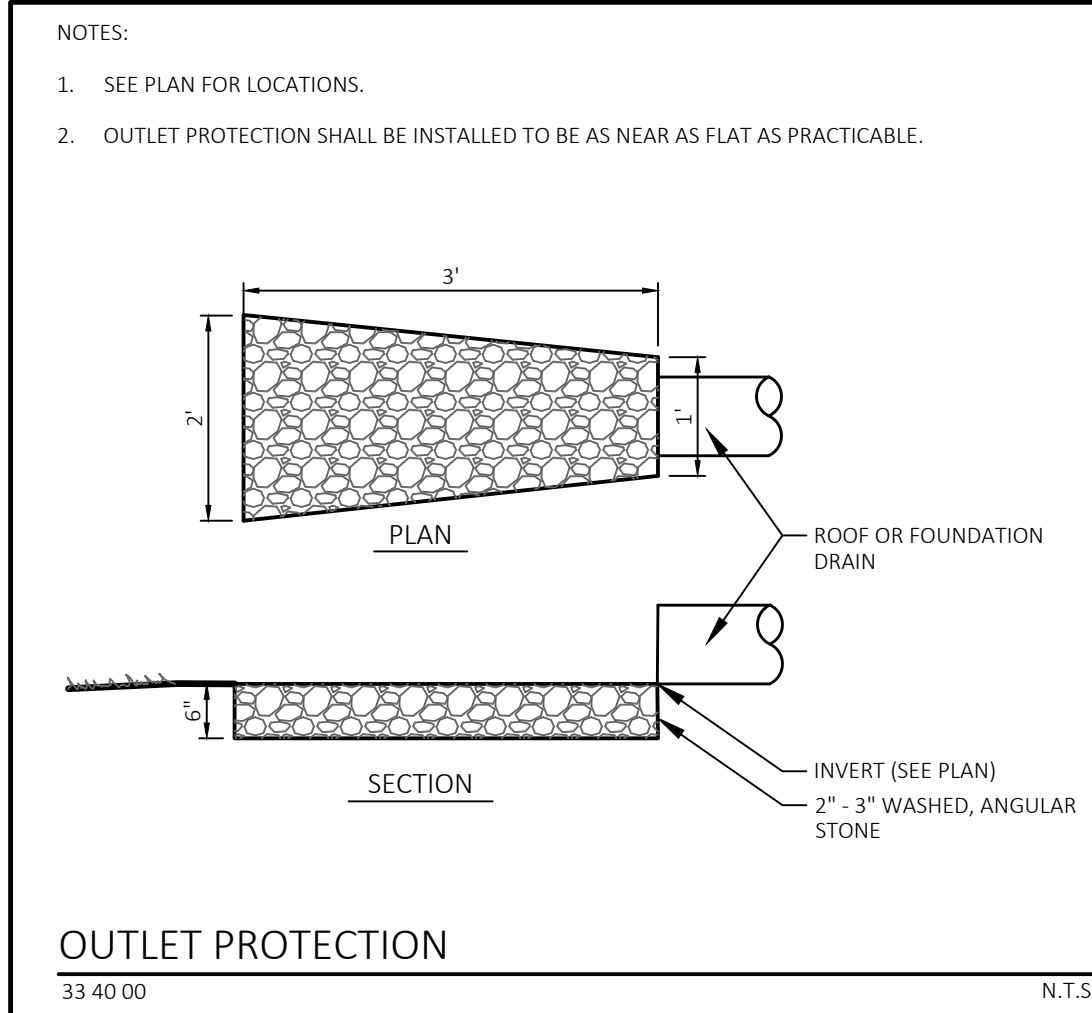
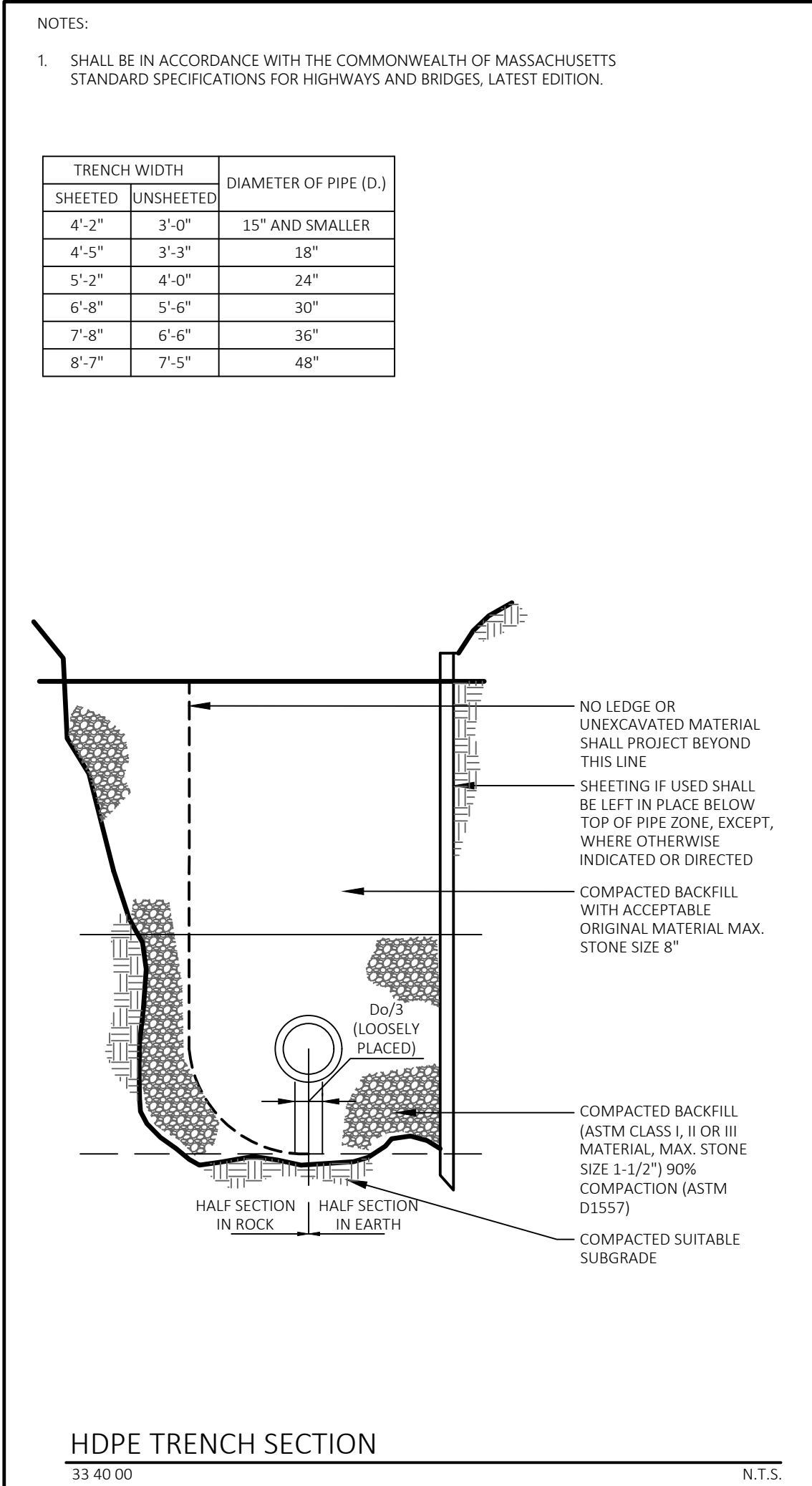
DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

DETAILS  
GRADING & DRAINAGE

Local Permitting

COMMITTEE OF MASSACHUSETTS  
MICHAEL J. SCOTT  
CIVIL  
10-4083  
REGISTERED PROFESSIONAL ENGINEER

Prepared By:

LDC  
LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

DATE	DESCRIPTION
3 08/16/2023	ENDORSEMENT PLANS
2 07/13/2023	NO CHANGES
1 06/12/2023	PEER REVIEW & TOWN COMMENTS

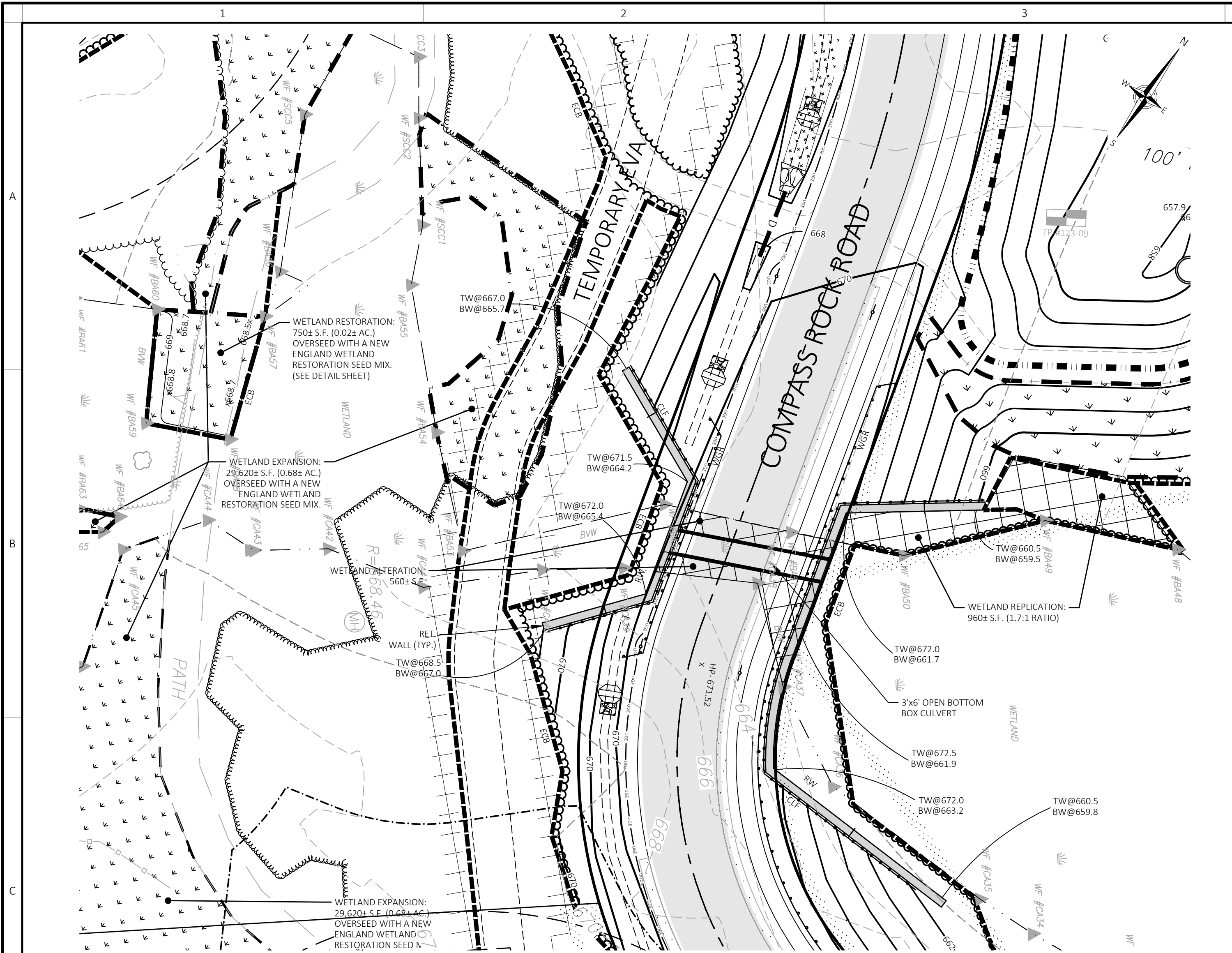
No: Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

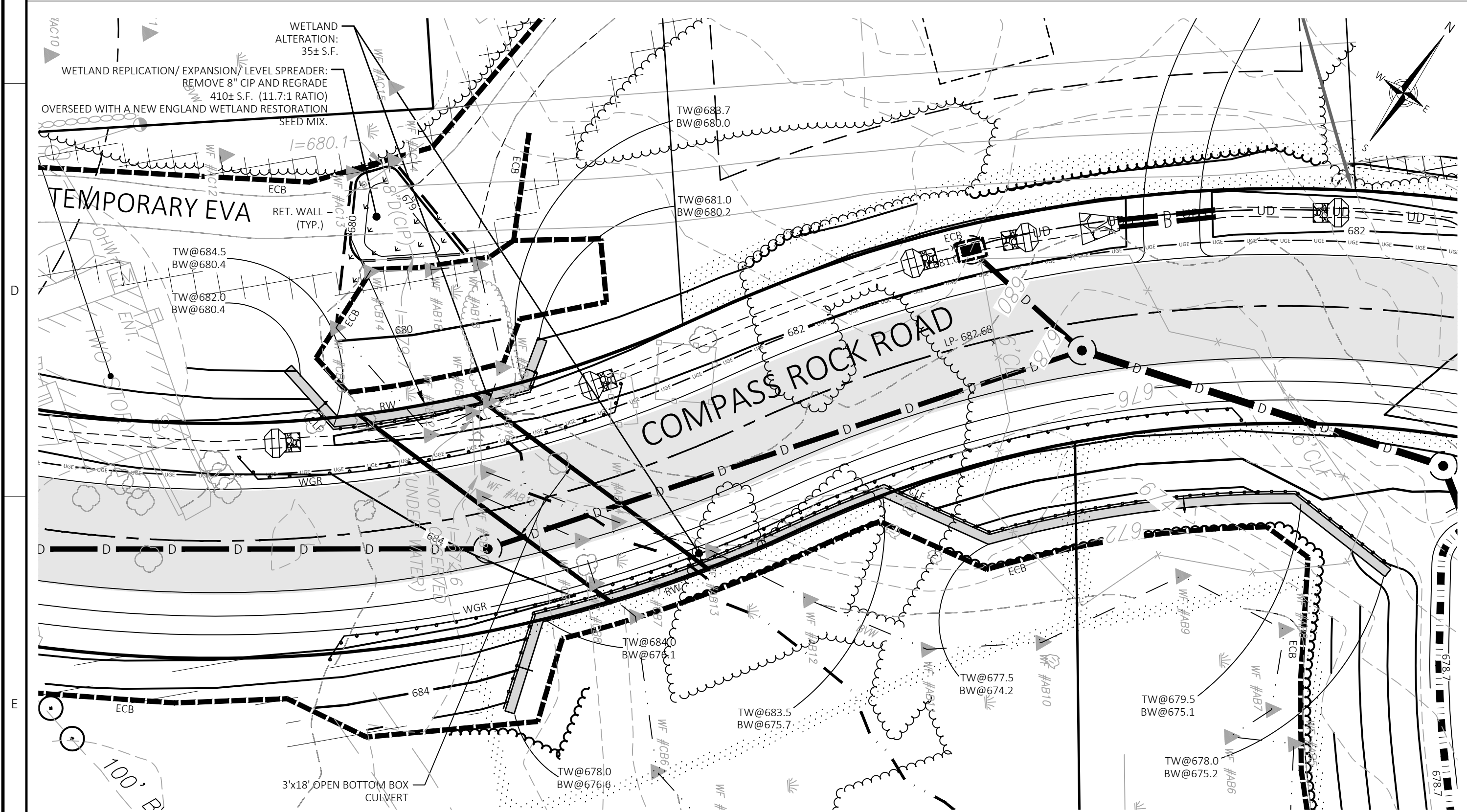
Sheet No.:

C-402





STA. 23+00 COMPASS ROCK ROAD



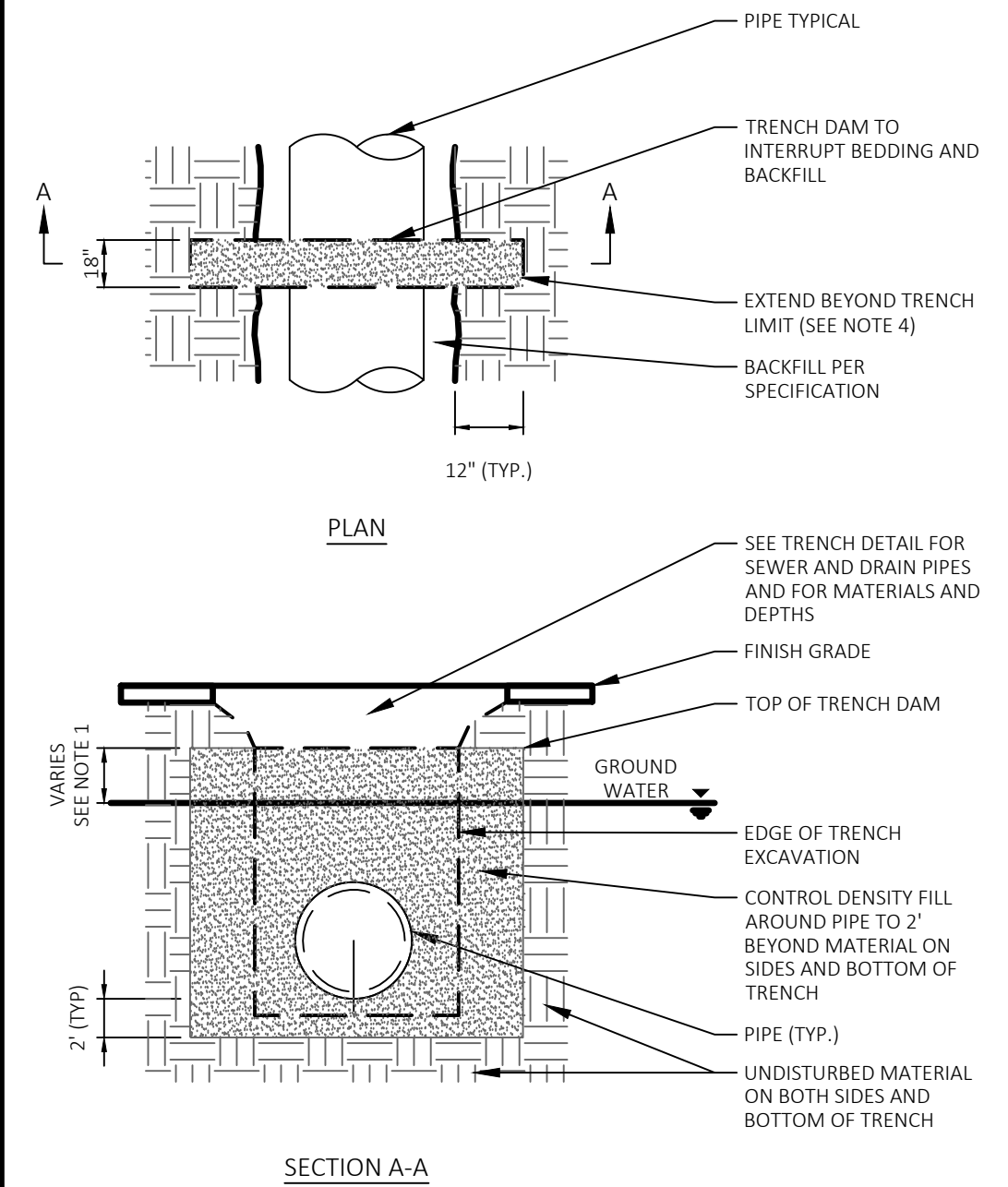
STA. 35+30 COMPASS ROCK ROAD

WETLAND CROSSINGS

SCALE: 1" = 20'

NOTES:

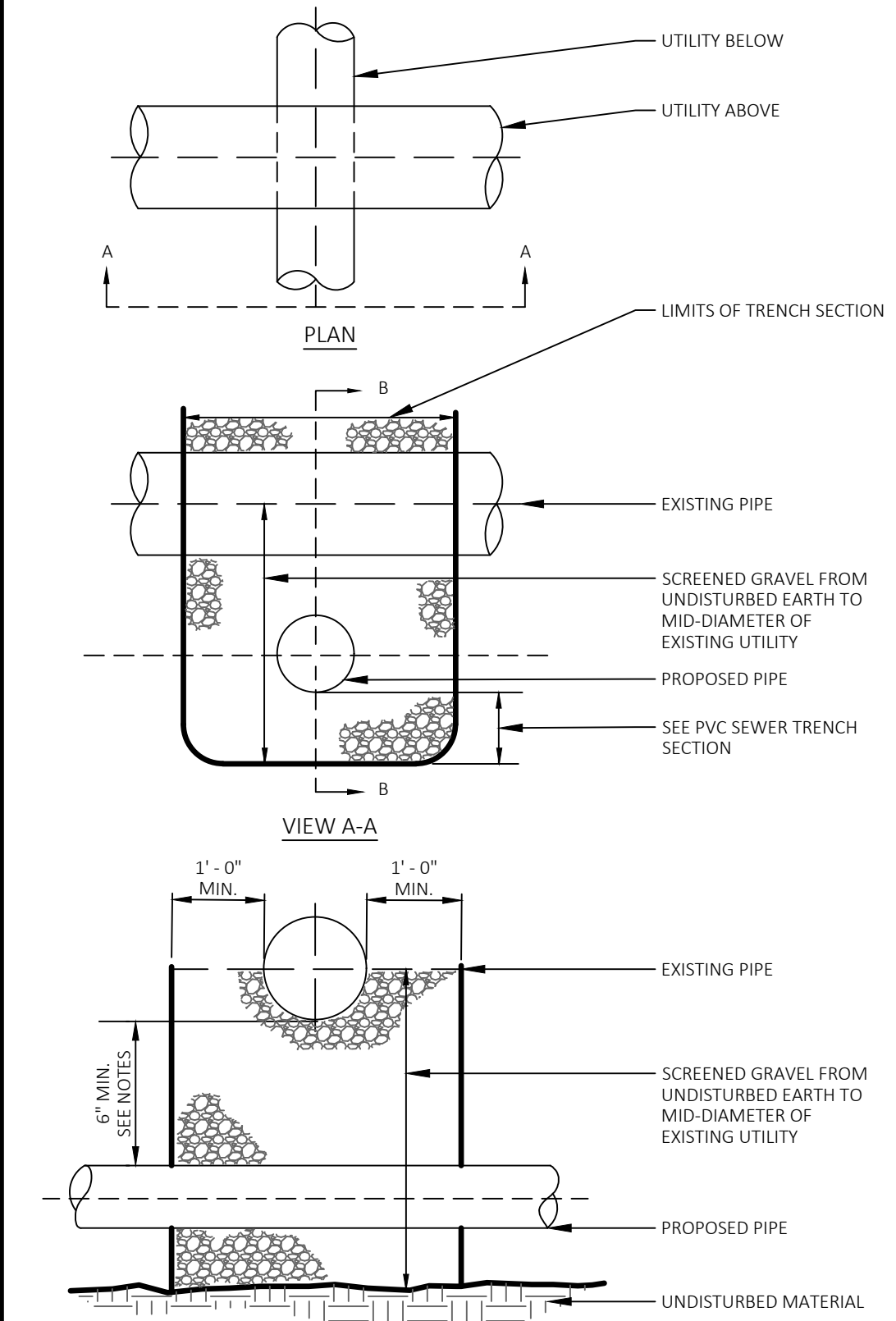
1. THE TOP OF THE TRENCH DAM SHALL EXTEND A MINIMUM OF FIVE (5) FEET ABOVE THE GROUND WATER LEVEL, AS DETERMINED BY THE NEAREST BORING OR BY THE ENGINEER, BUT SHALL NOT EXCEED A DEPTH OF ONE (1) FOOT BELOW FINISHED GRADE.
2. TRENCH DAMS SHALL BE INSTALLED AS INDICATED ON THE CONTRACT DRAWINGS OR AS DIRECTED BY THE PROJECT ENGINEER.
3. TRENCH DAMS SHALL BE COMPACTED/COHESIVE CLAY MATERIAL FOR PVC PIPE. TRENCH DAMS SHALL BE WELL CONSOLIDATED NON FLY-ASH BASED CONTROLLED DENSITY FILL FOR IRON PIPE.
4. NOTCH TRENCH DAM A MINIMUM OF TWELVE (12) INCHES BEYOND UNDISTURBED MATERIAL ON SIDES AND BOTTOM OF TRENCH.



TRENCH DAM

NOTES:

1. FOR NEW CONSTRUCTION, TEN (10) FEET (MIN.) OF SEPARATION OF WATER AND SEWER MAINS MUST BE MAINTAINED. IF WATER AND SEWER MAINS CROSS, BOTTOM OF WATER SHALL BE AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
2. FOR CONSTRUCTION ADJACENT EXISTING WATER OR EXISTING SEWER, IF WATER AND SEWER MAINS CROSS OR TEN (10) FEET SEPARATION CANNOT BE MAINTAINED, BOTTOM OF WATER SHALL BE AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER OR SEWER SHALL BE CONSTRUCTED OF AWWA C-900 PVC PIPE.



UTILITY CROSSING

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE:

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK

DATE

Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

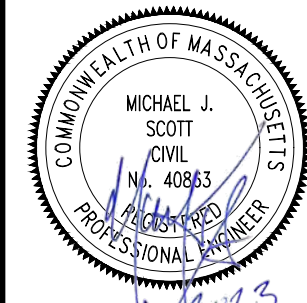
Definitive Subdivision Plan  
OSRD

Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

DETAILS  
GRADING & DRAINAGE

Local Permitting



Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

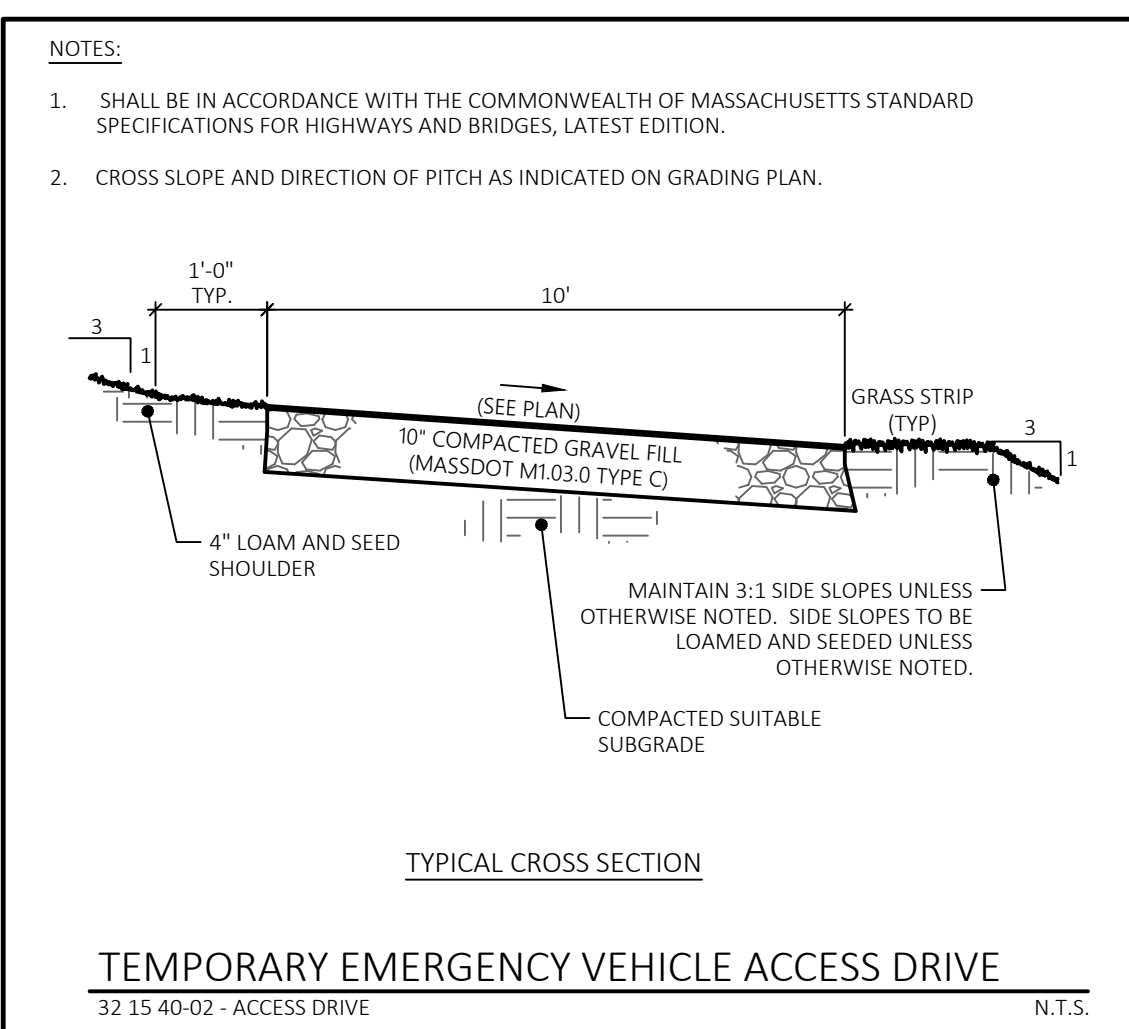
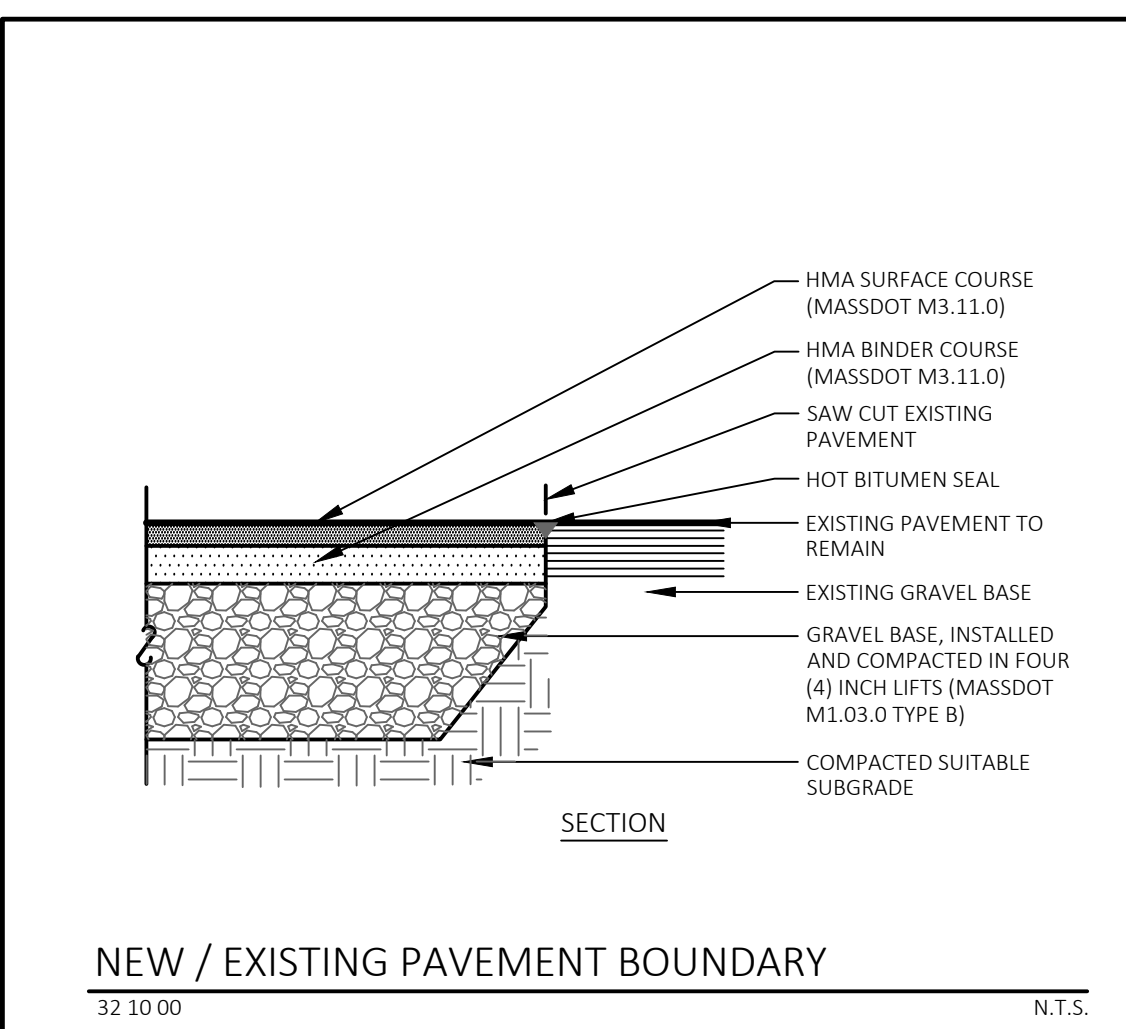
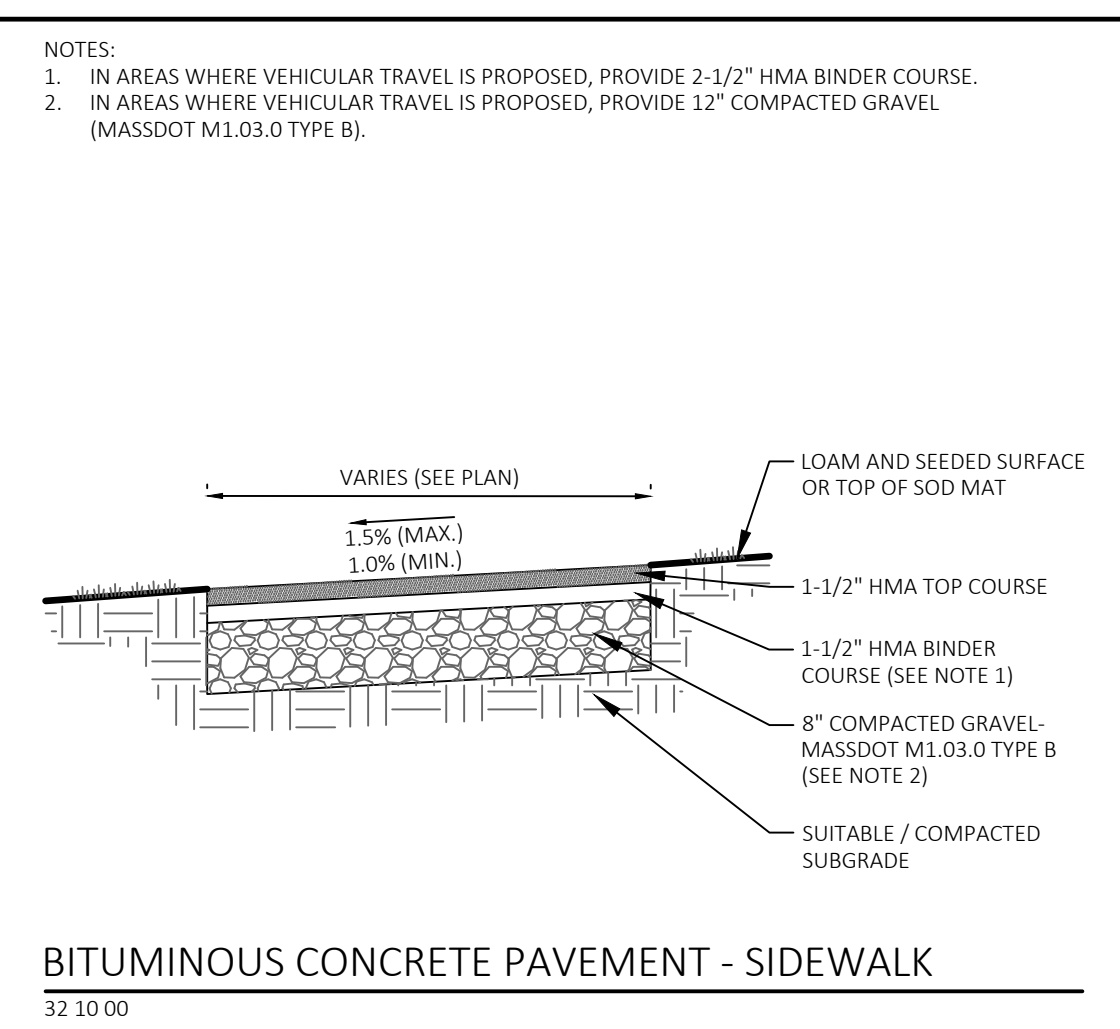
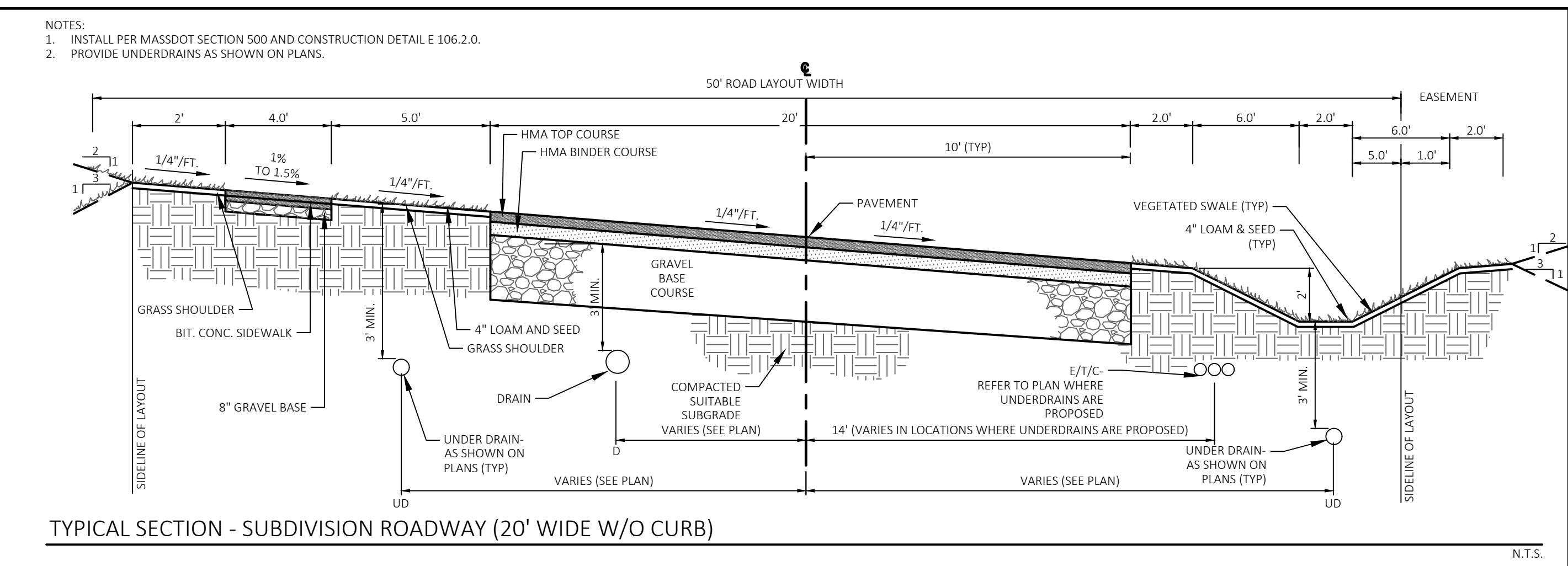
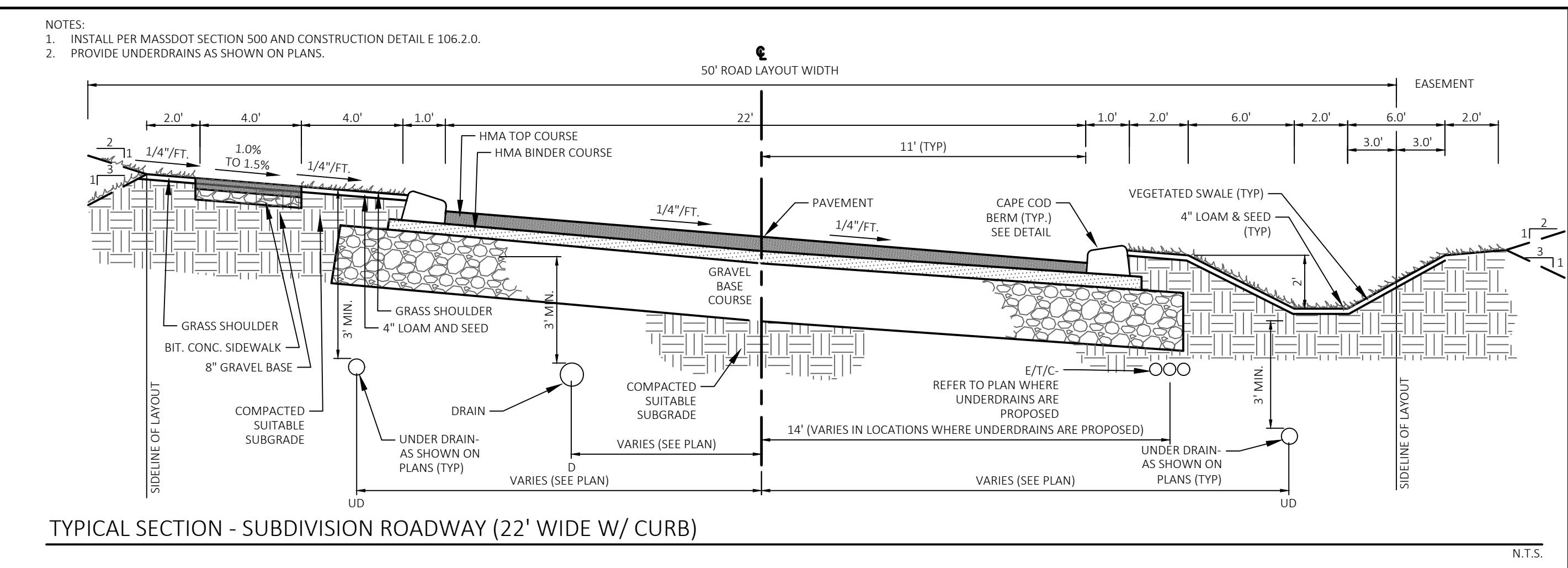
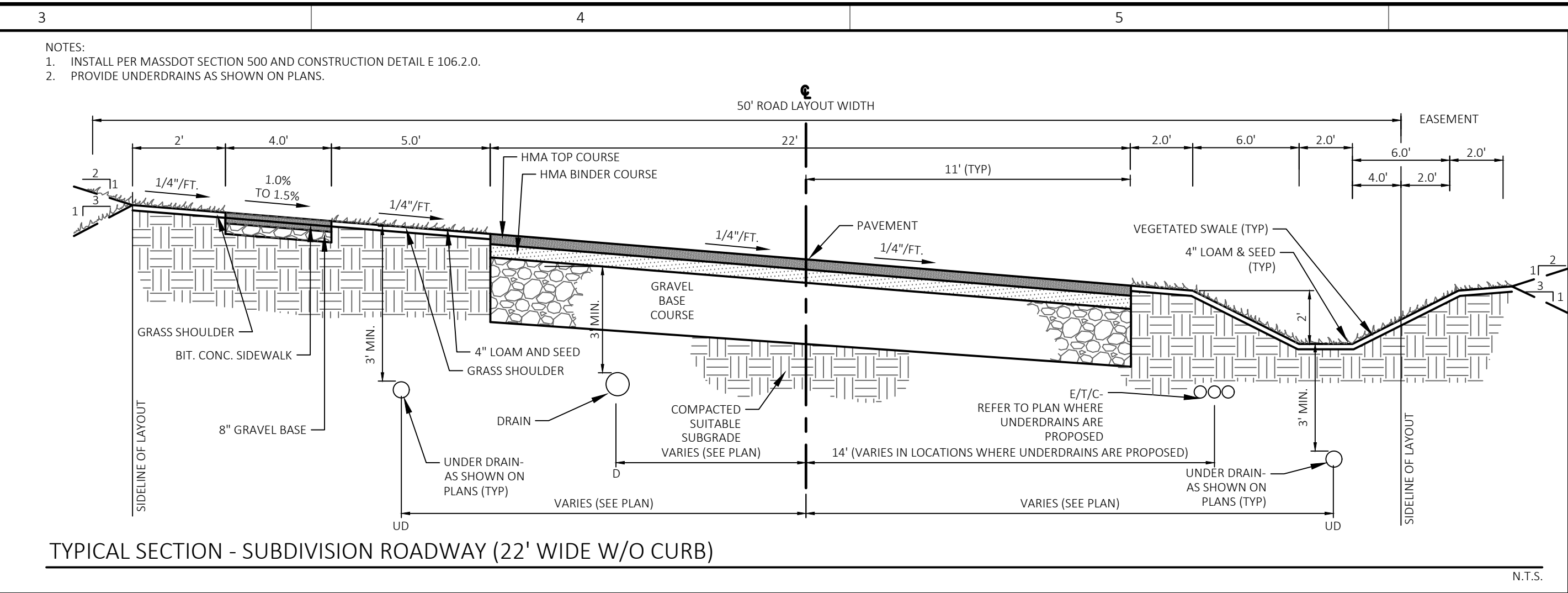
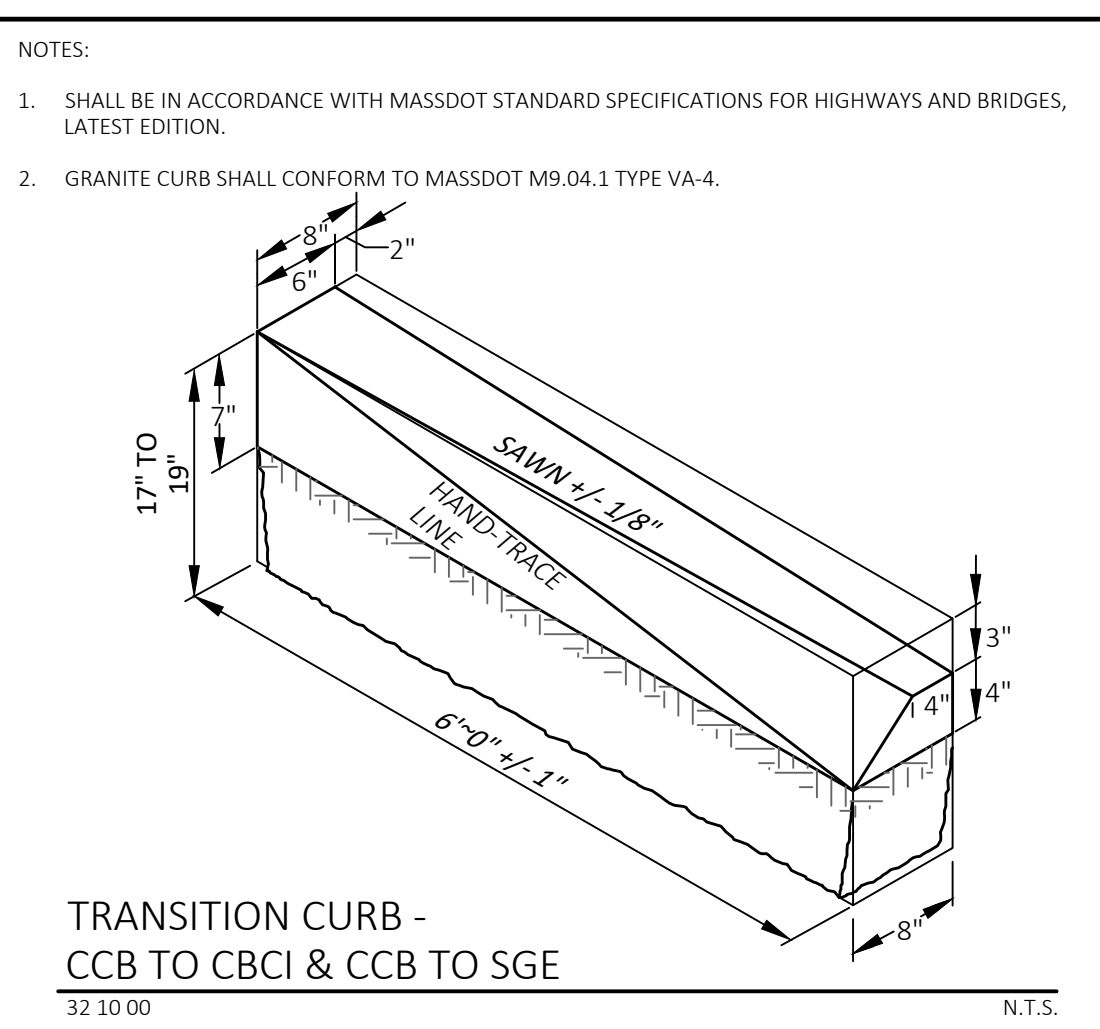
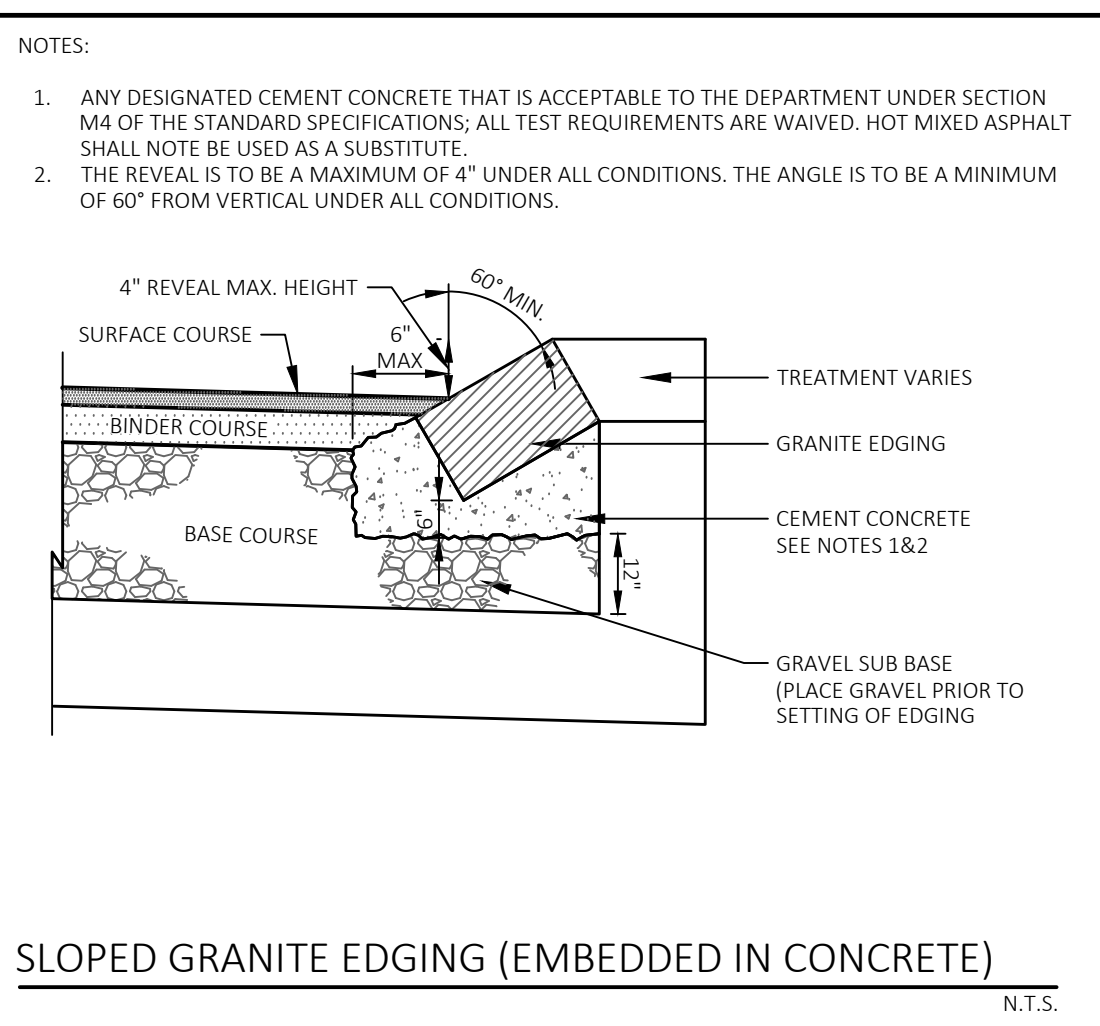
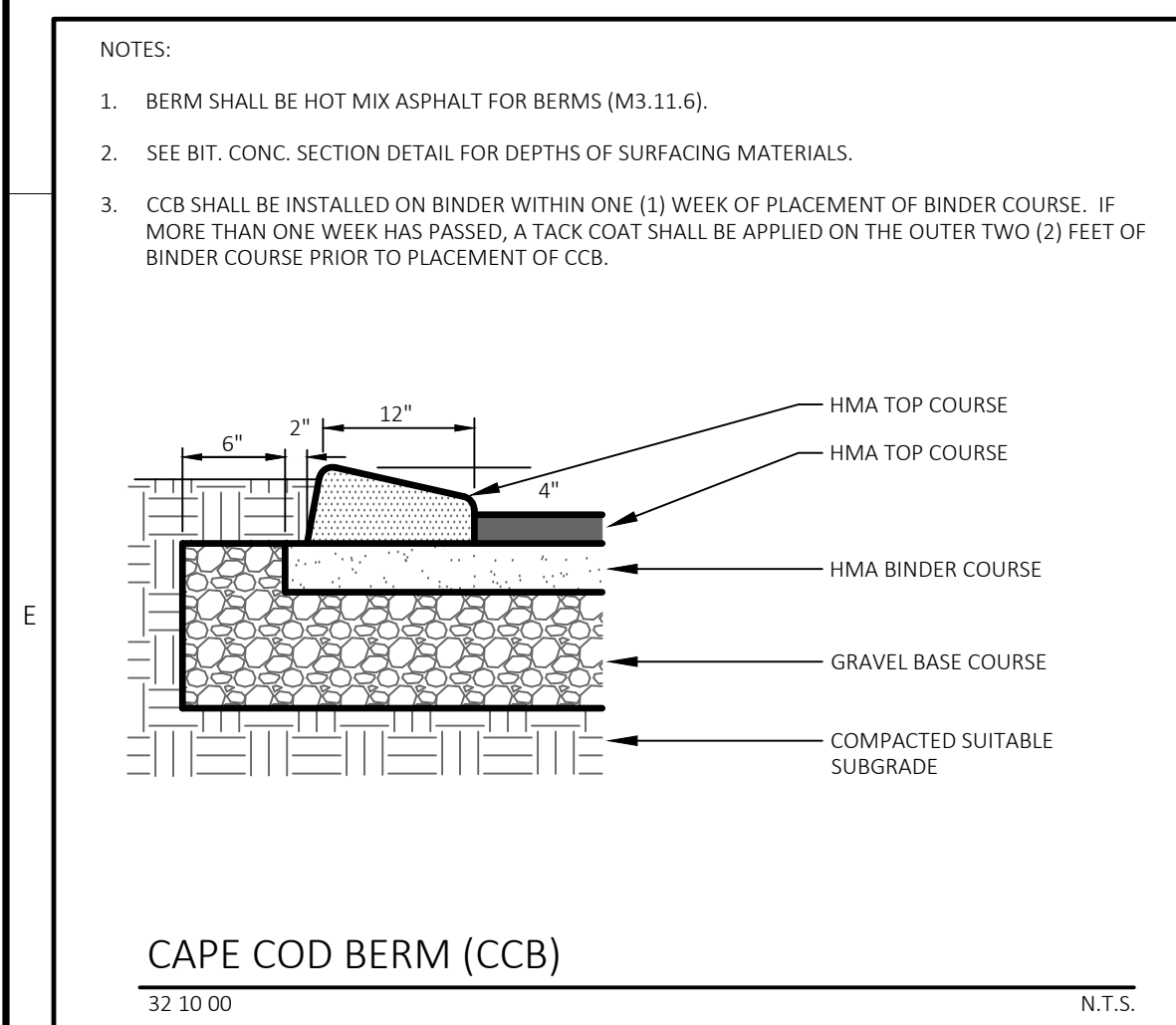
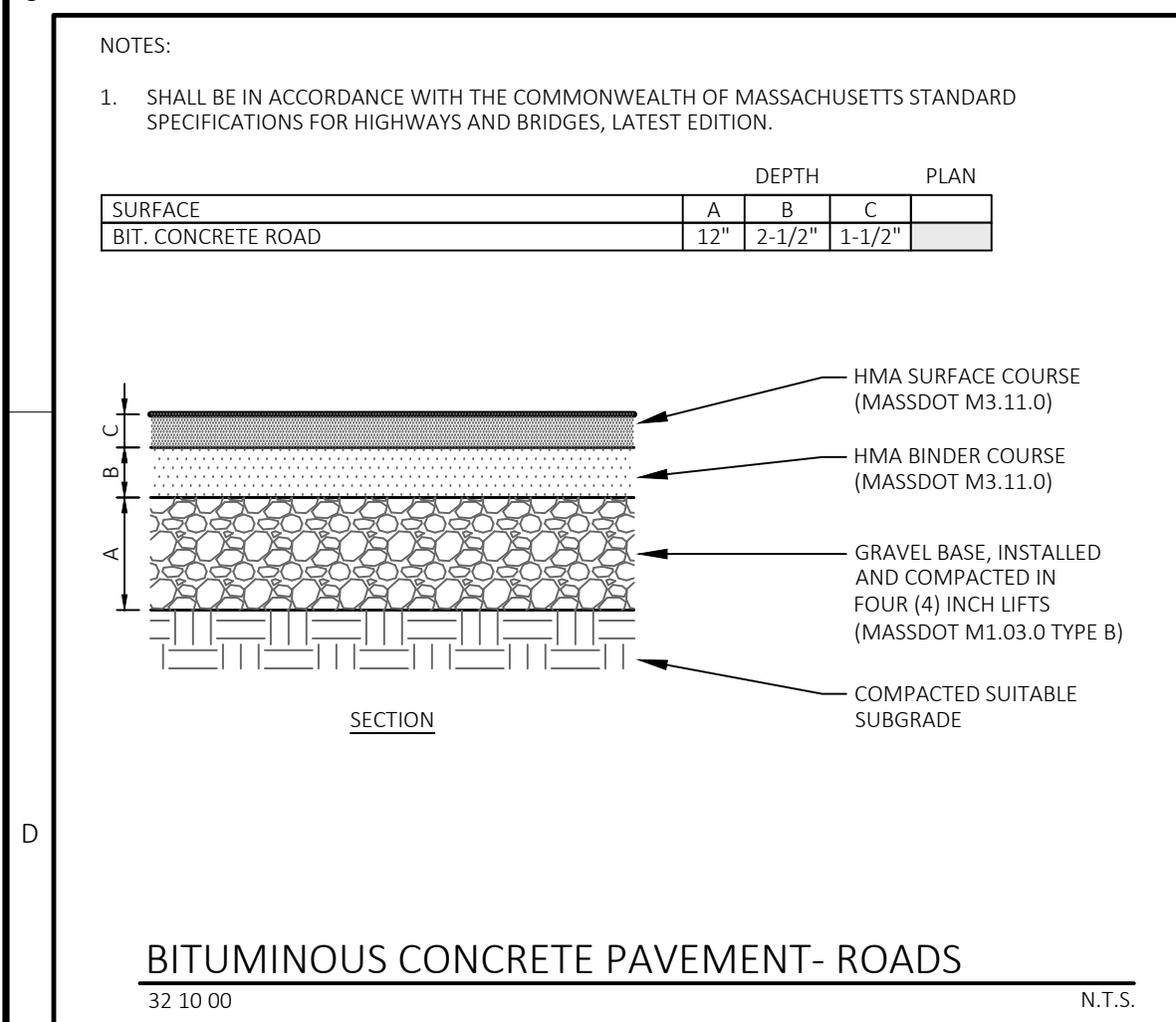
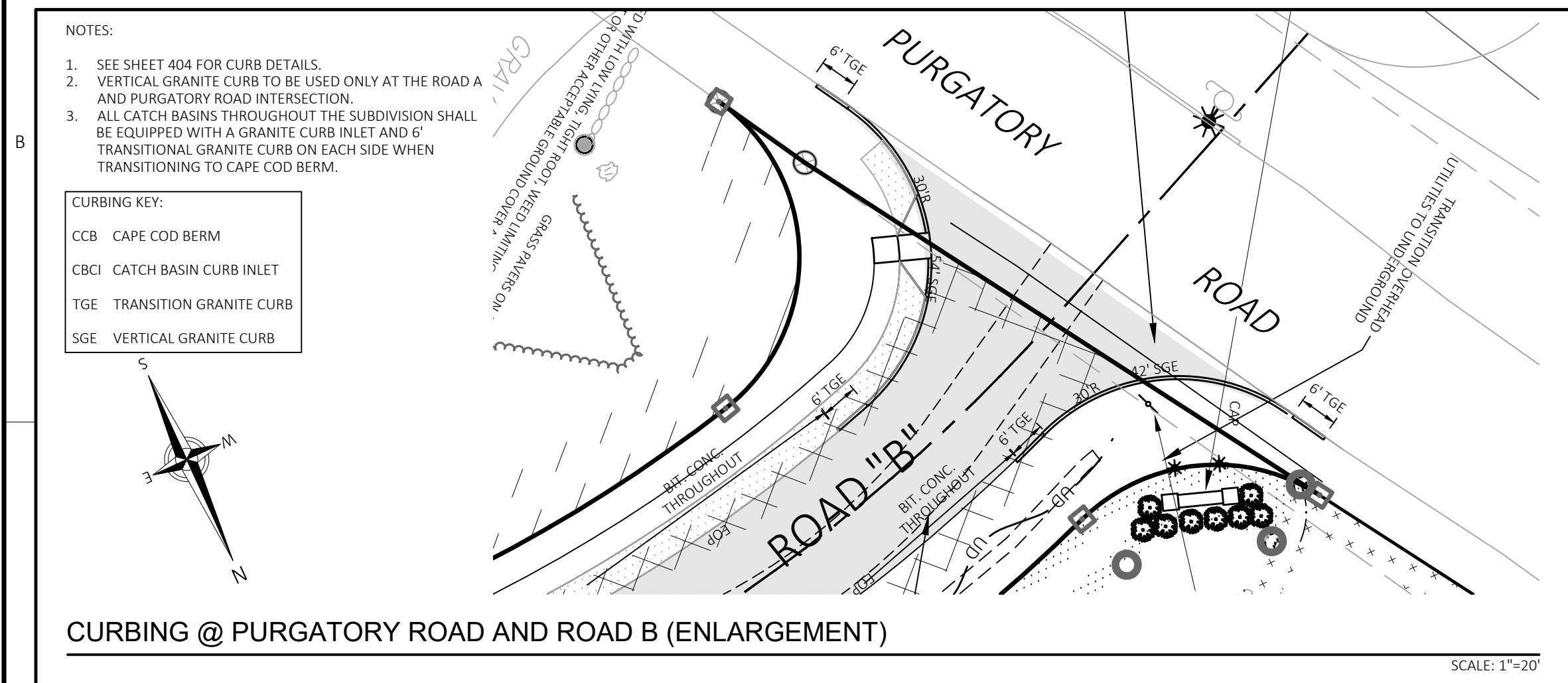
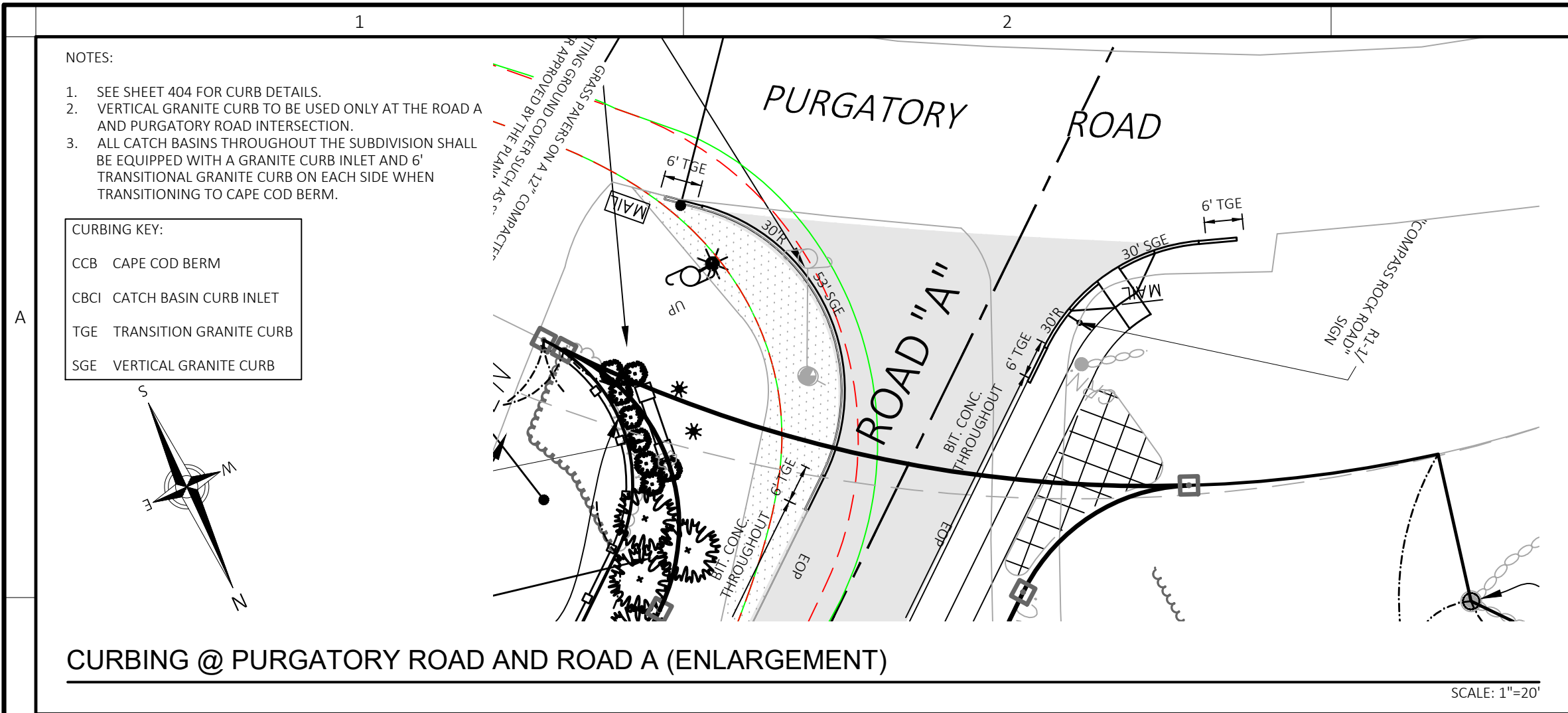
No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

Sheet No.:

C-403





SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

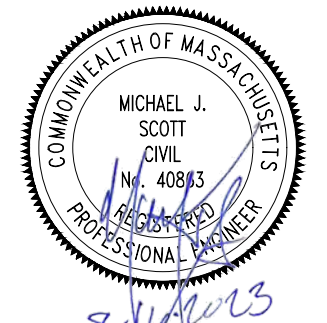
Project Title:

**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)


Sheet Title:

**DETAILS**  
**PAVEMENT & CURBING**

Local Permitting



Prepared By:

  
**LD COLLABORATIVE**  
Land Design Collaborative  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

No.	Date:	Revision / Issue:
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

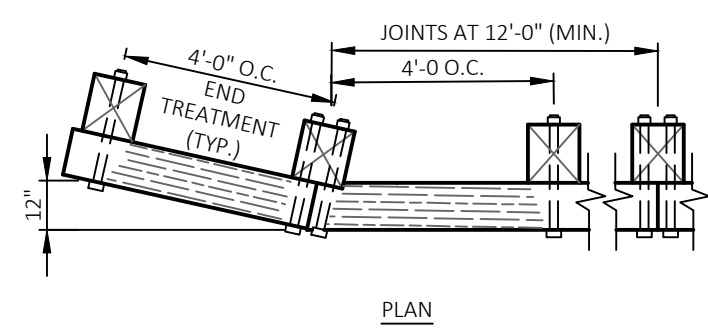
Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

Sheet No.:

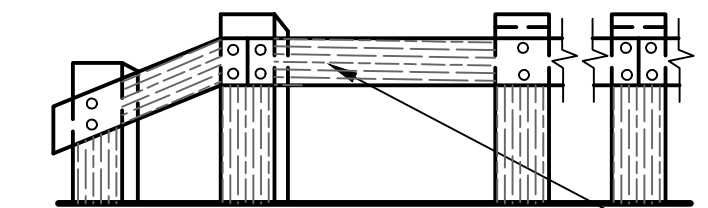
**C-404**



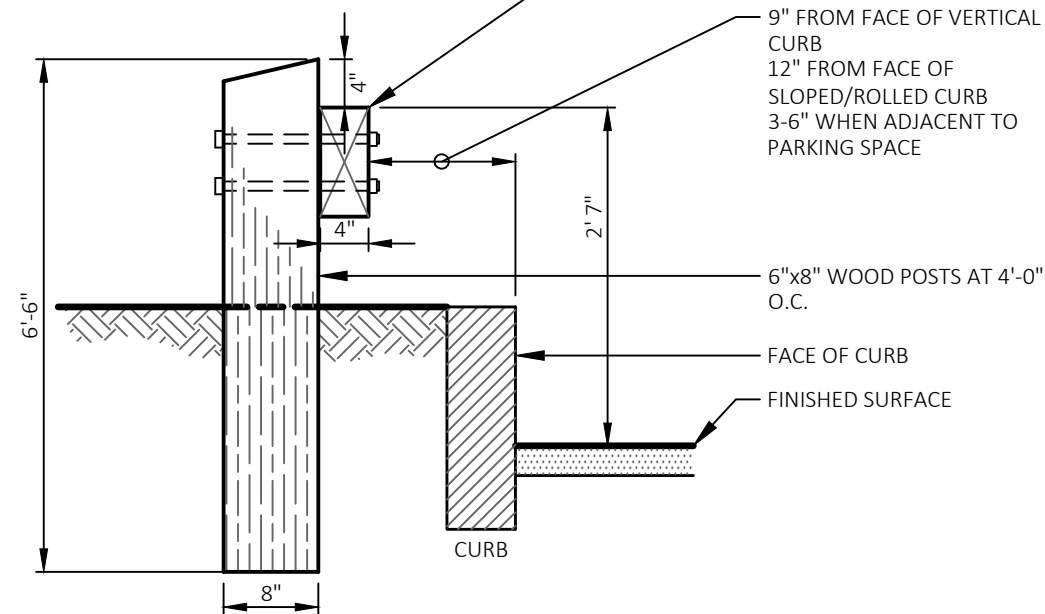
1. SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



PLAN



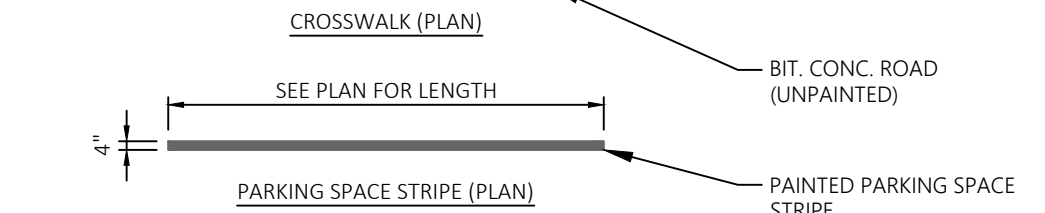
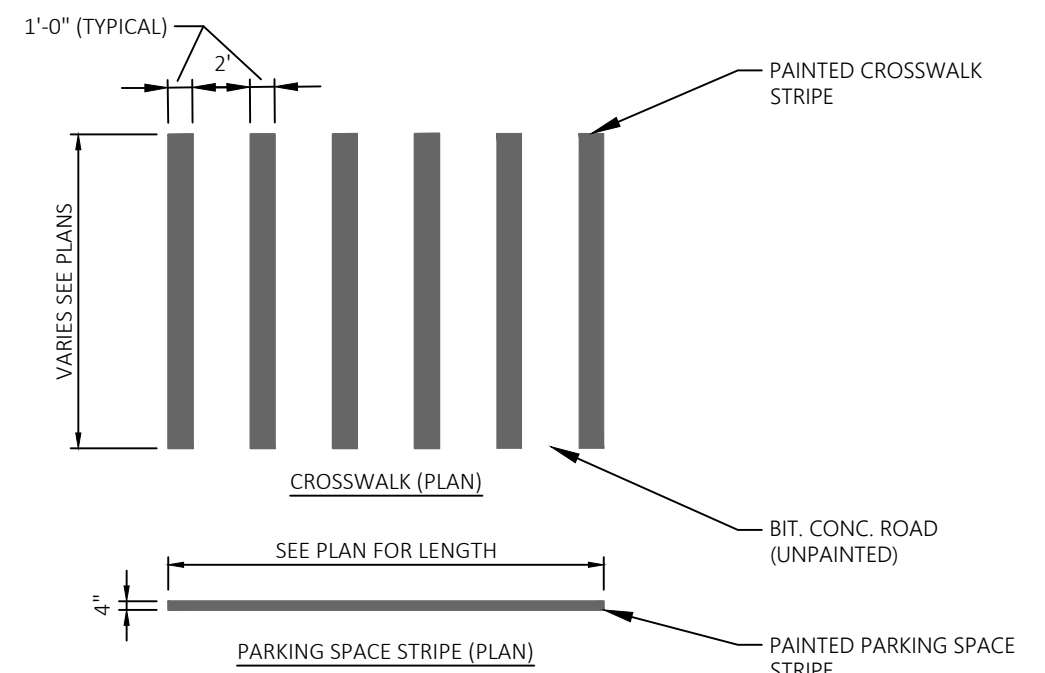
ELEVATION



SECTION

WOOD GUARD RAIL (WGR)

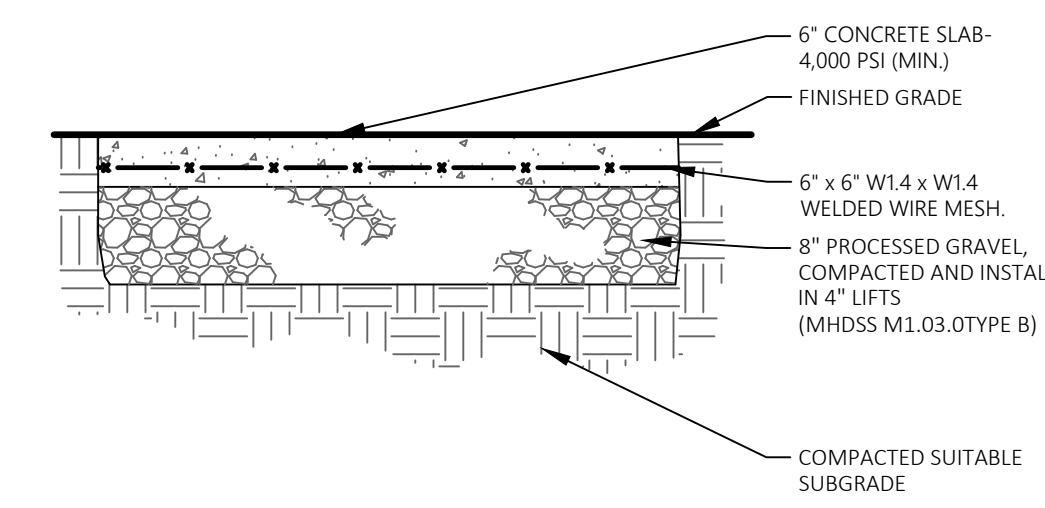
32 30 00 N.T.S.



PAINTED CROSSWALK / PARKING SPACE STRIPE

32 10 00 N.T.S.

NOTE:  
SEE PLAN FOR DIMENSIONS

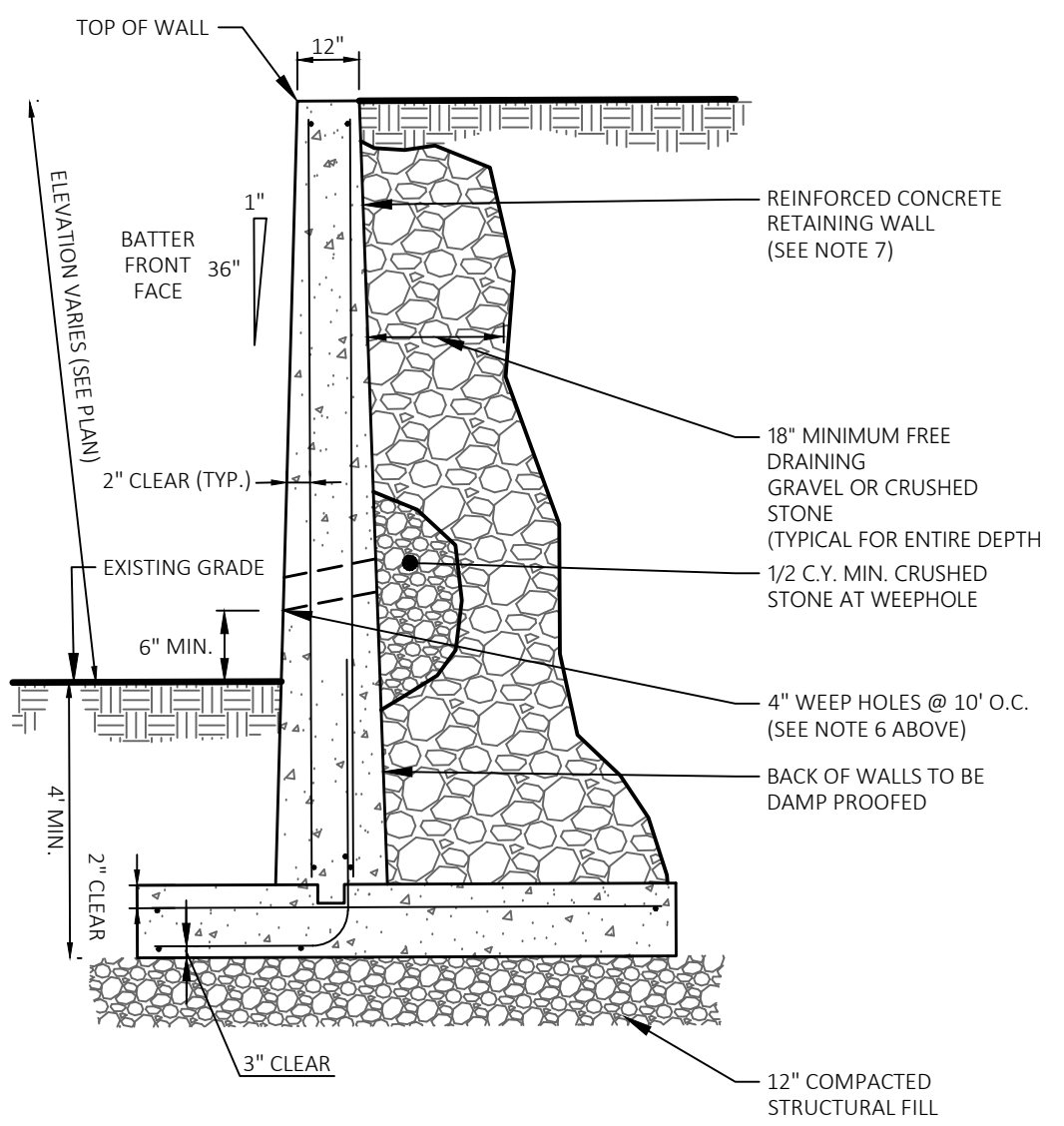


COMMUNITY MAILBOX CONCRETE PAD

32 10 00 N.T.S.

NOTES:

1. SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
2. CONCRETE TO BE 4,000 PSI MINIMUM.
3. EXPANSION JOINTS 40' O.C. MAXIMUM.
4. INTERMEDIATE CONSTRUCTION JOINTS AT 20' O.C. MAXIMUM.
5. RETAINING WALLS TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALL(S) WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO THE STATE BUILDING CODE (780 CMR, SECTIONS 105.2 AND 1807.2).
6. THERE SHALL BE NO WEEP HOLES ON THE SECTION OF WALL THAT WILL BE PART OF THE INFILTRATION BASIN. THE RETAINING WALL BEING USED TO SUPPORT THE INFILTRATION BASIN SHALL BE WATERPROOF AND CAPABLE OF SUPPORTING THE ASSOCIATED HYDROSTATIC LOAD.
7. SECTION(S) OF THE RETAINING WALL VISIBLE FROM ANY ROADS OR LOTS SHALL BE REVIEWED BY THE PLANNING DEPARTMENT AND SHALL BE PROVIDED WITH A VENEER WITH MATERIAL, TEXTURE AND COLOR APPROVED BY THE PLANNING DEPARTMENT.



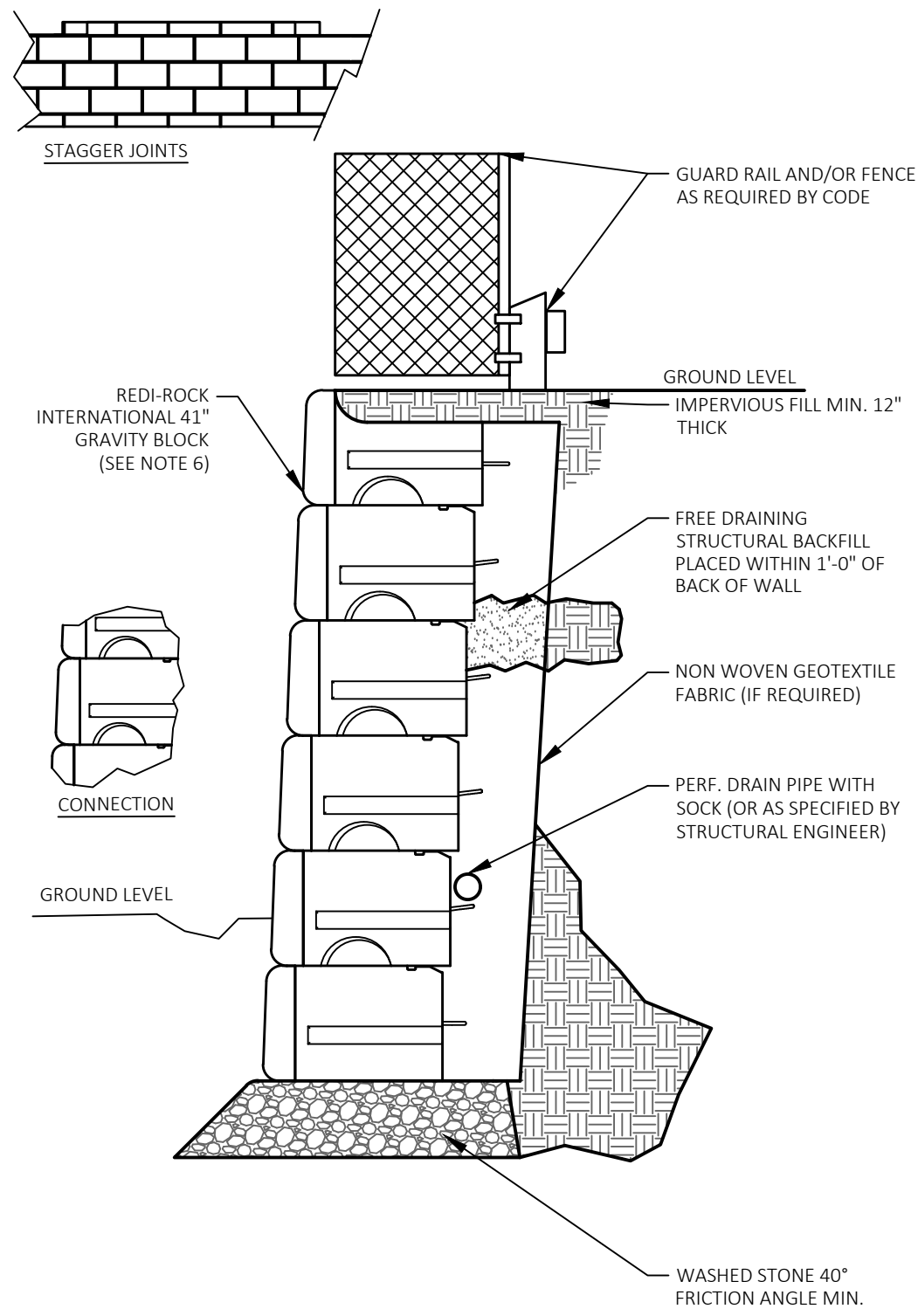
CAST-IN-PLACE CONCRETE RETAINING WALL TO BE USED AS AN ALTERNATIVE TO GRAVITY BLOCK RETAINING WALL.

CAST-IN-PLACE CONCRETE RETAINING WALL

32 30 00 N.T.S.

NOTES:

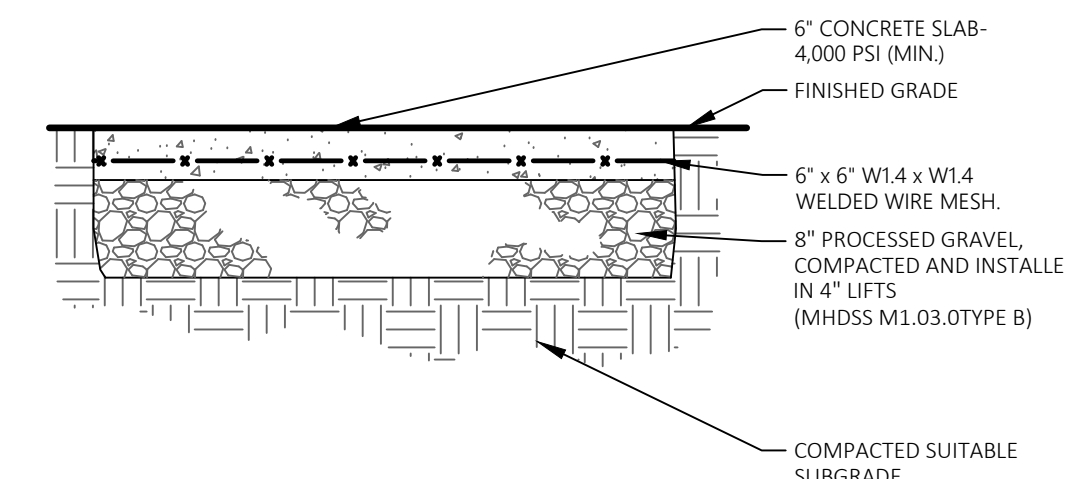
1. SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
2. TO BE DESIGNED AND BUILT PER MANUFACTURERS DESIGN AND DETAILS.
3. GEOTEXTILE FABRIC SHALL BE INSTALLED AROUND PIPE OPENING. BACKFILL WITH 1/2" 3/4" CLEAN GRAVEL (MASSDOT M2.01.4).
4. CHANGES ARE TO BE VERIFIED WITH ENGINEER.
5. RETAINING WALL(S) TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALL(S) WHERE REQUIRED BY CODE (780 CMR 105.2 AND 1807.2).
6. WALL MATERIAL, TEXTURE AND COLOR SHALL BE APPROVED BY THE PLANNING DEPARTMENT.



GRAVITY BLOCK RETAINING WALL

32 30 00 N.T.S.

NOTE:  
SEE PLAN FOR DIMENSIONS



COMMUNITY MAILBOX CONCRETE PAD

32 10 00 N.T.S.

## SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

## SUTTON PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

## SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_

AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_

DATE \_\_\_\_\_

Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

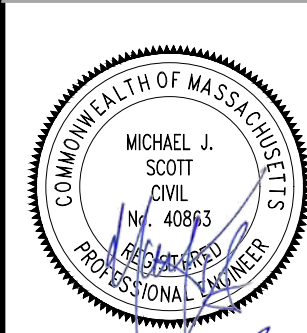
Project Title:

Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

DETAILS  
SITE IMPROVEMENTS &  
SIGNAGE

Local Permitting



Prepared By:



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3 08/16/2023 ENDORSEMENT PLANS  
2 07/13/2023 PEER REVIEW & TOWN COMMENTS  
1 06/12/2023 PEER REVIEW & TOWN COMMENTS

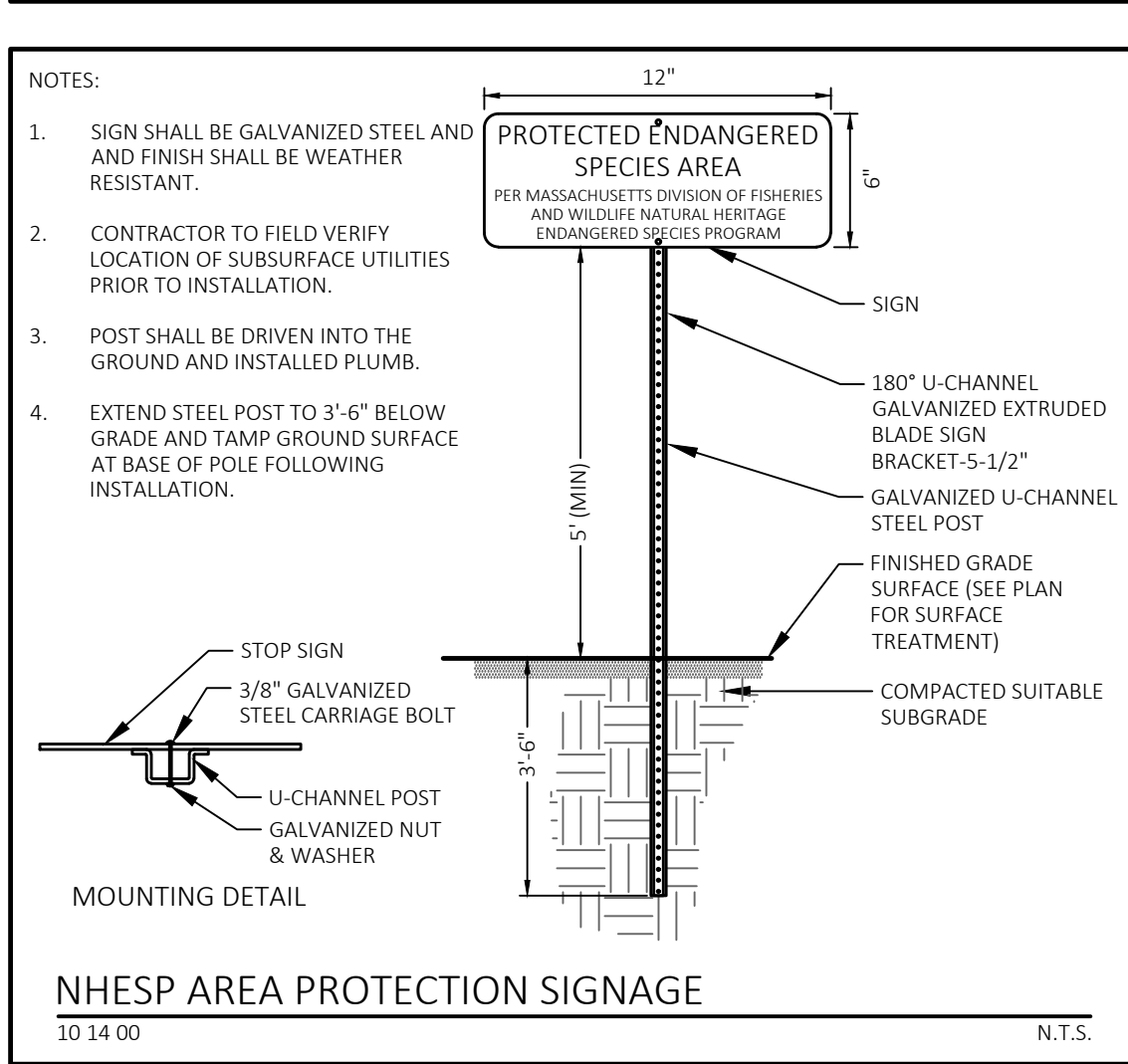
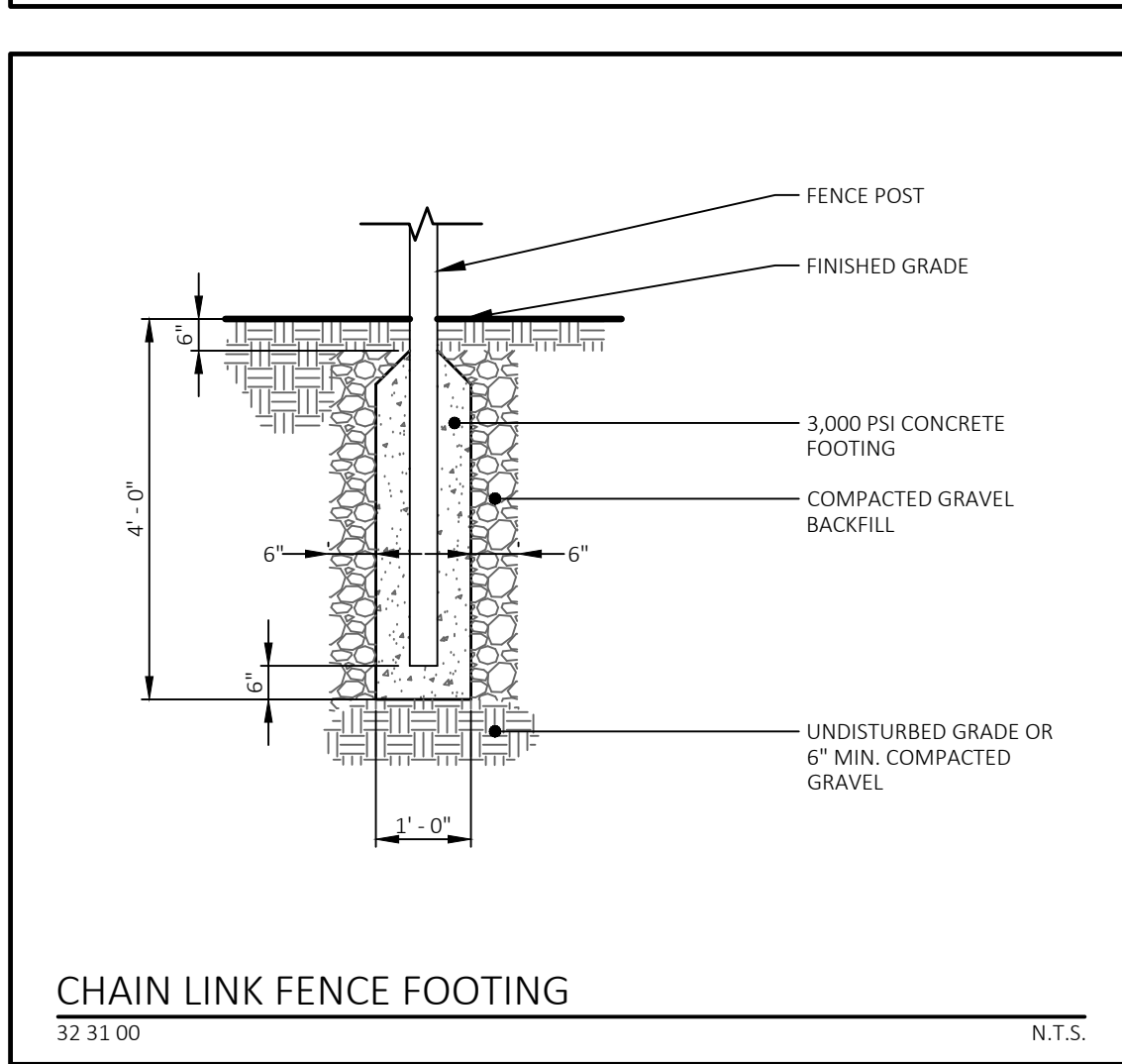
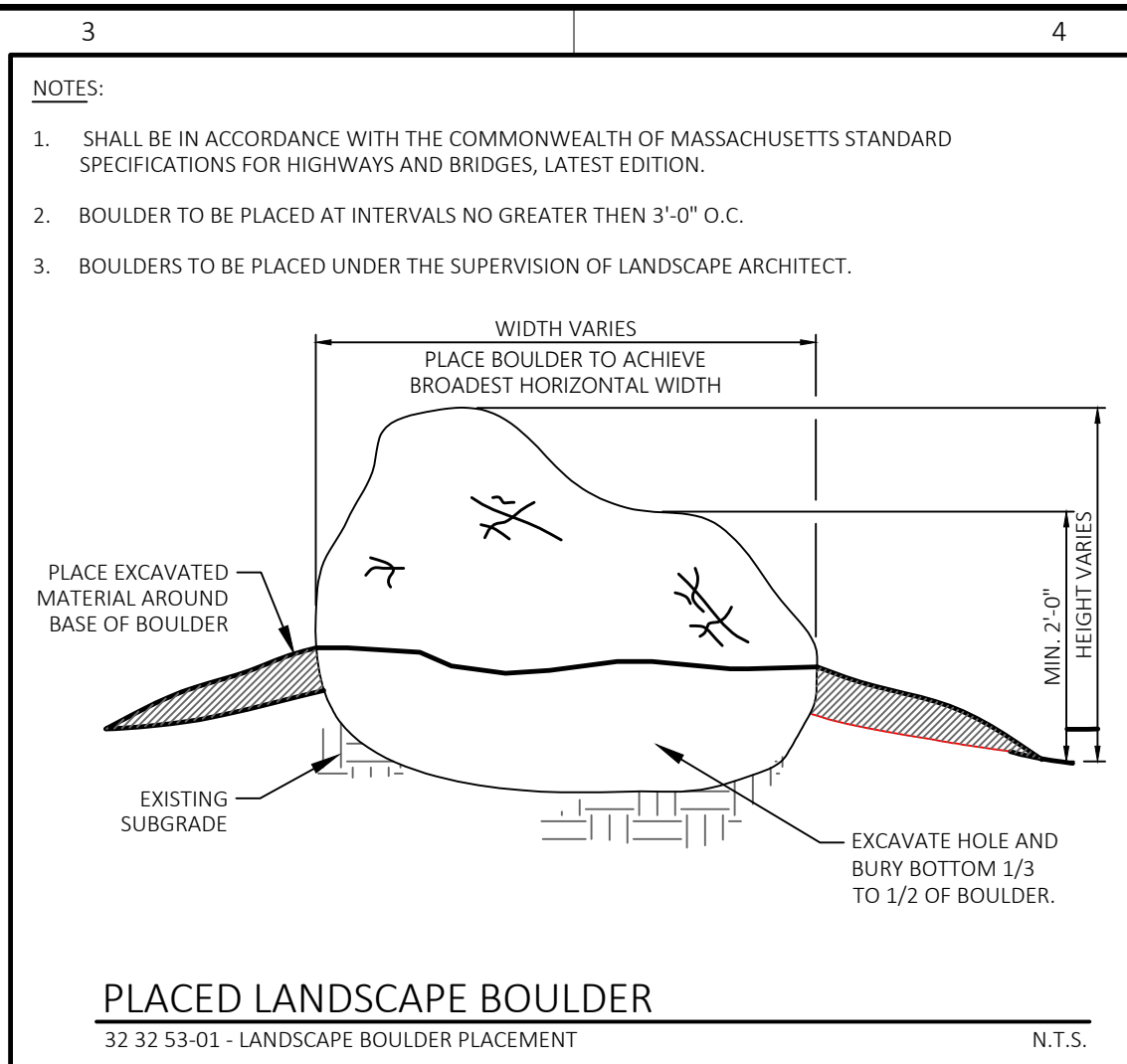
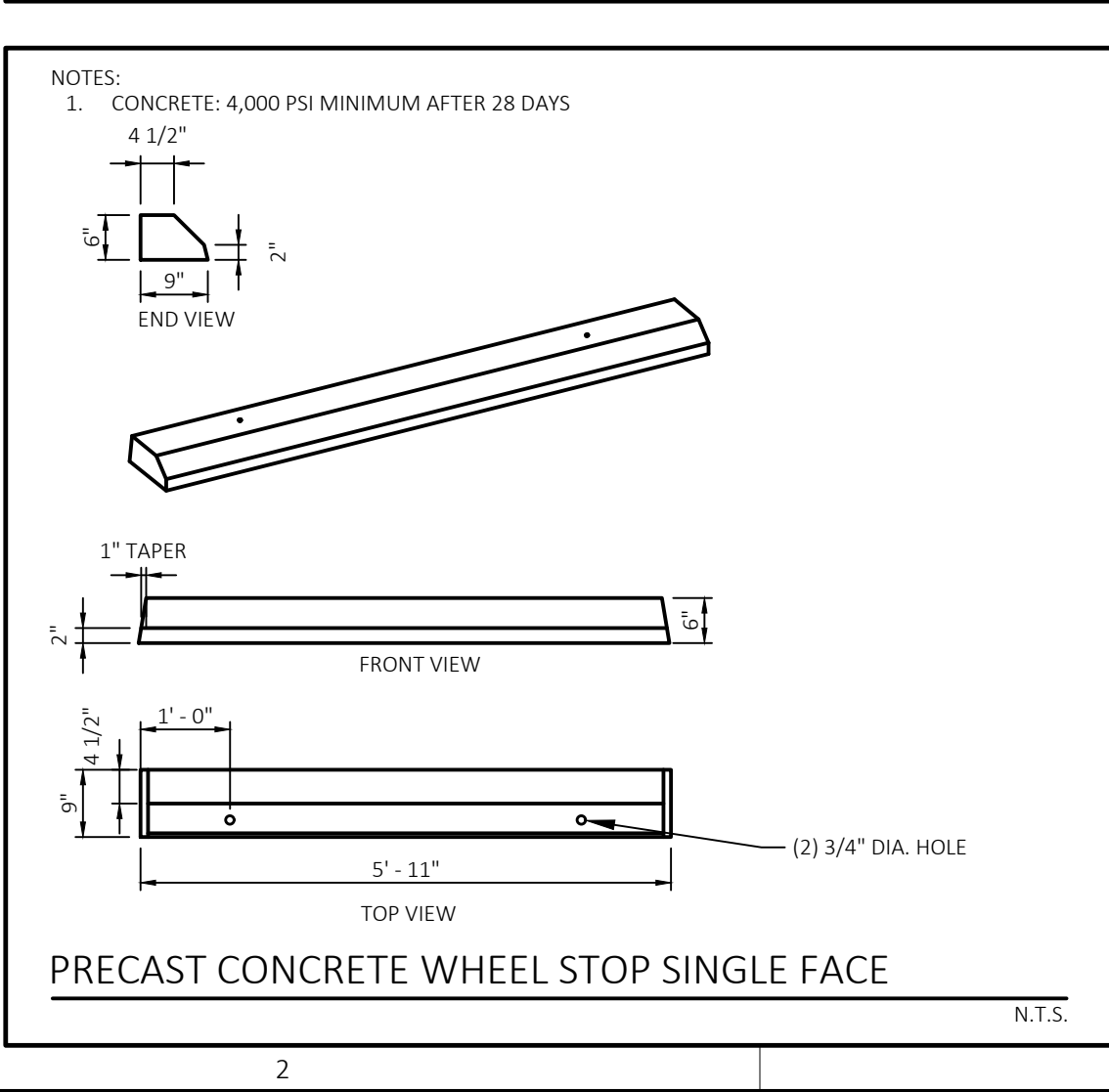
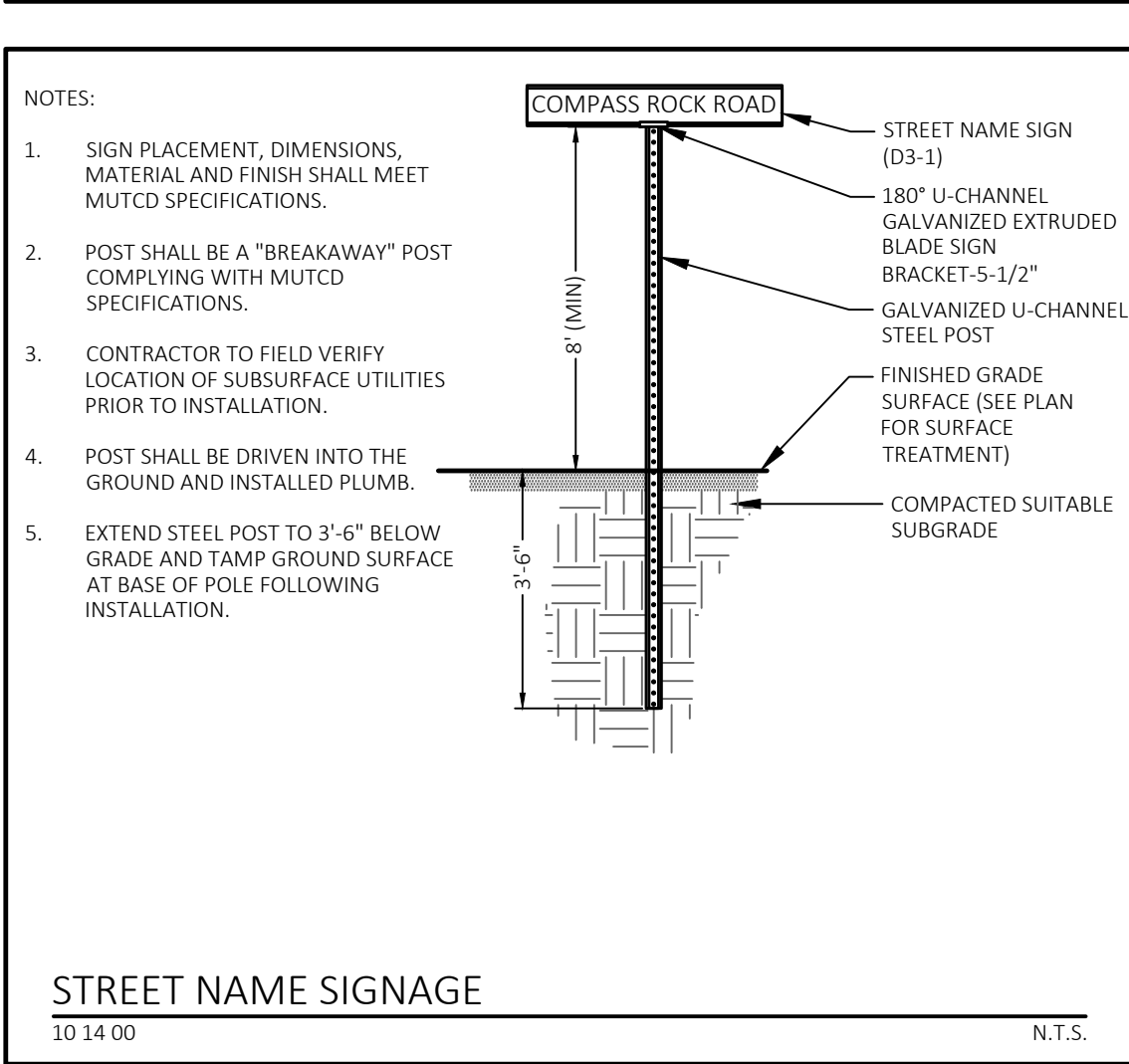
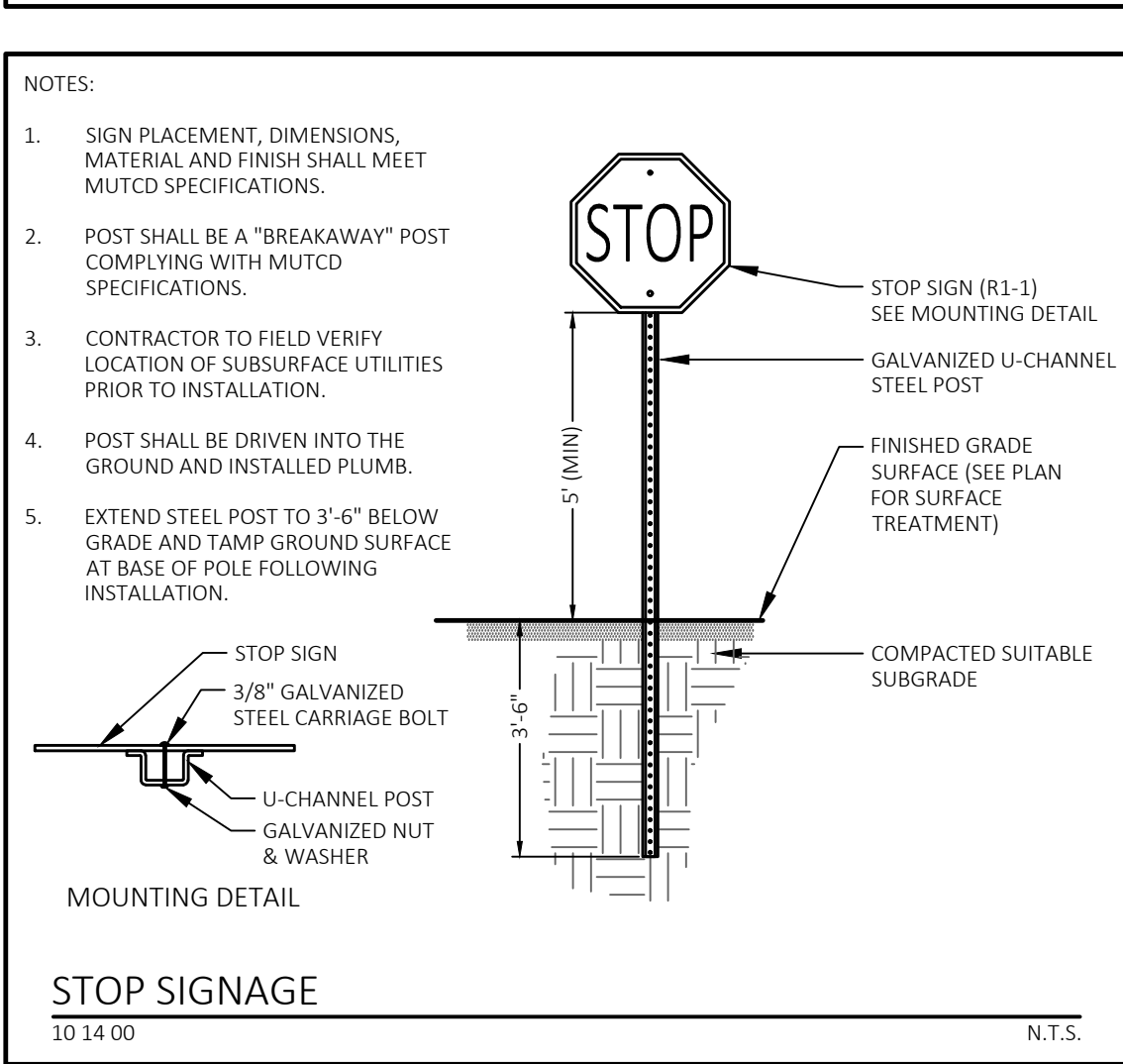
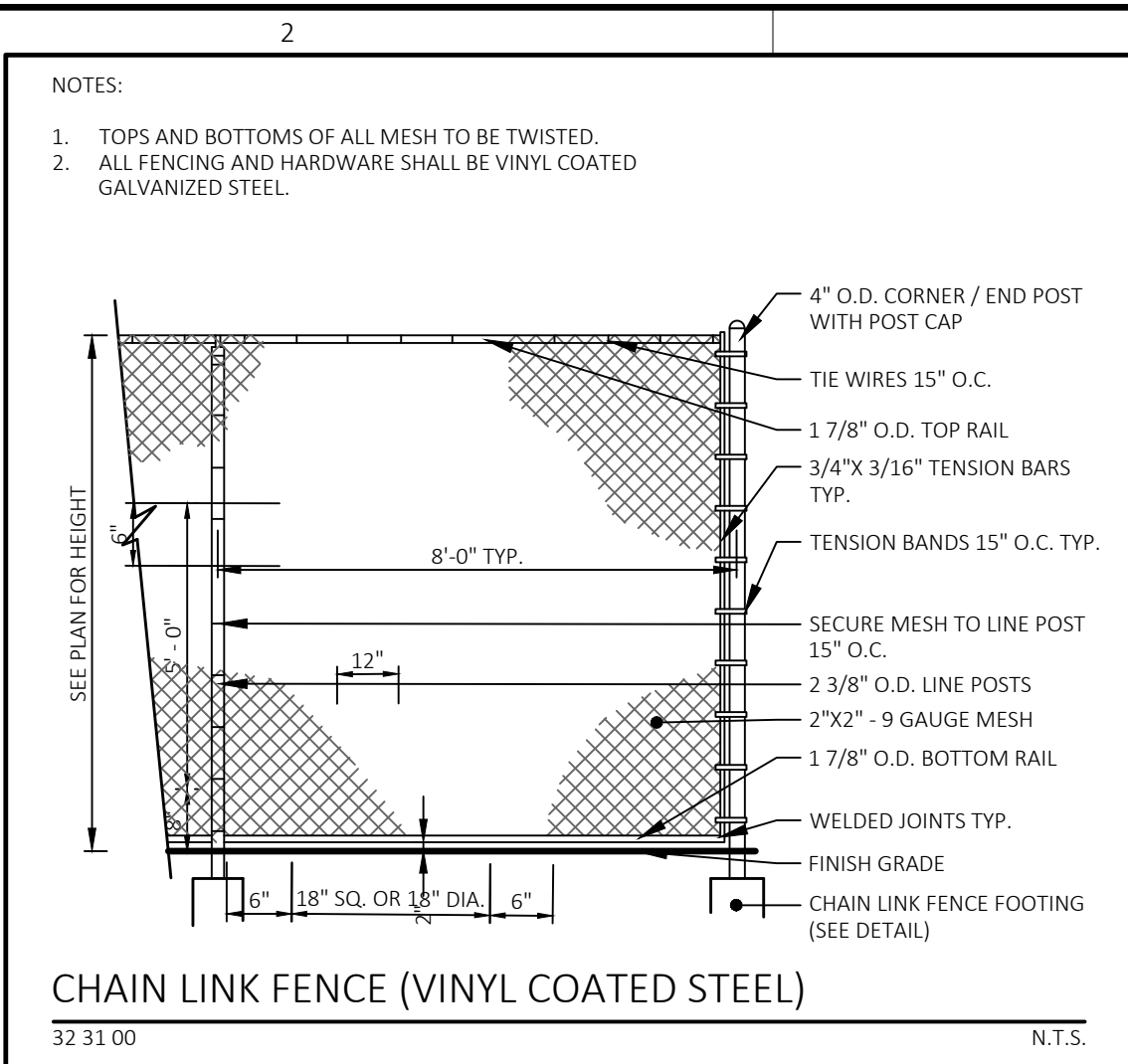
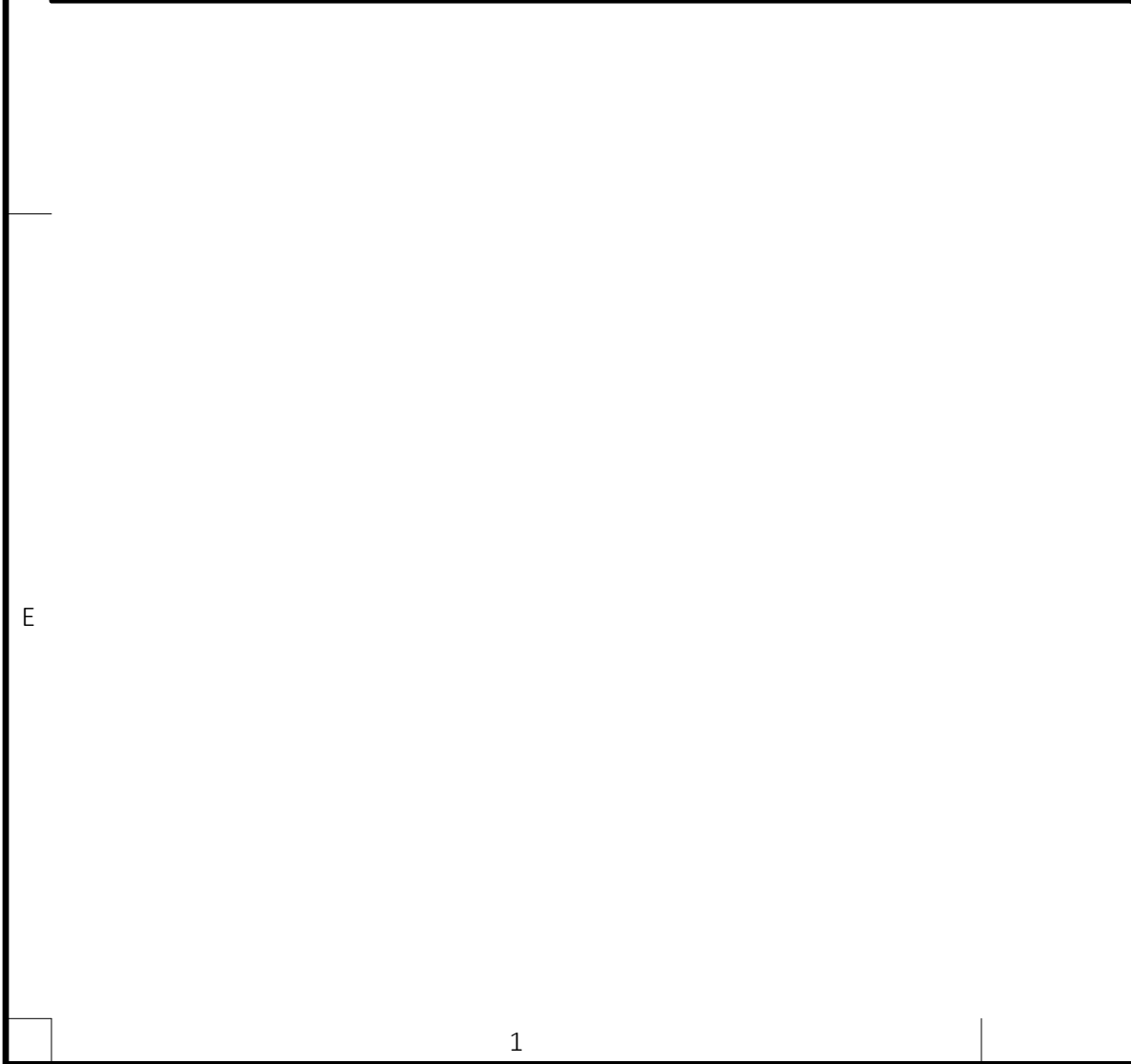
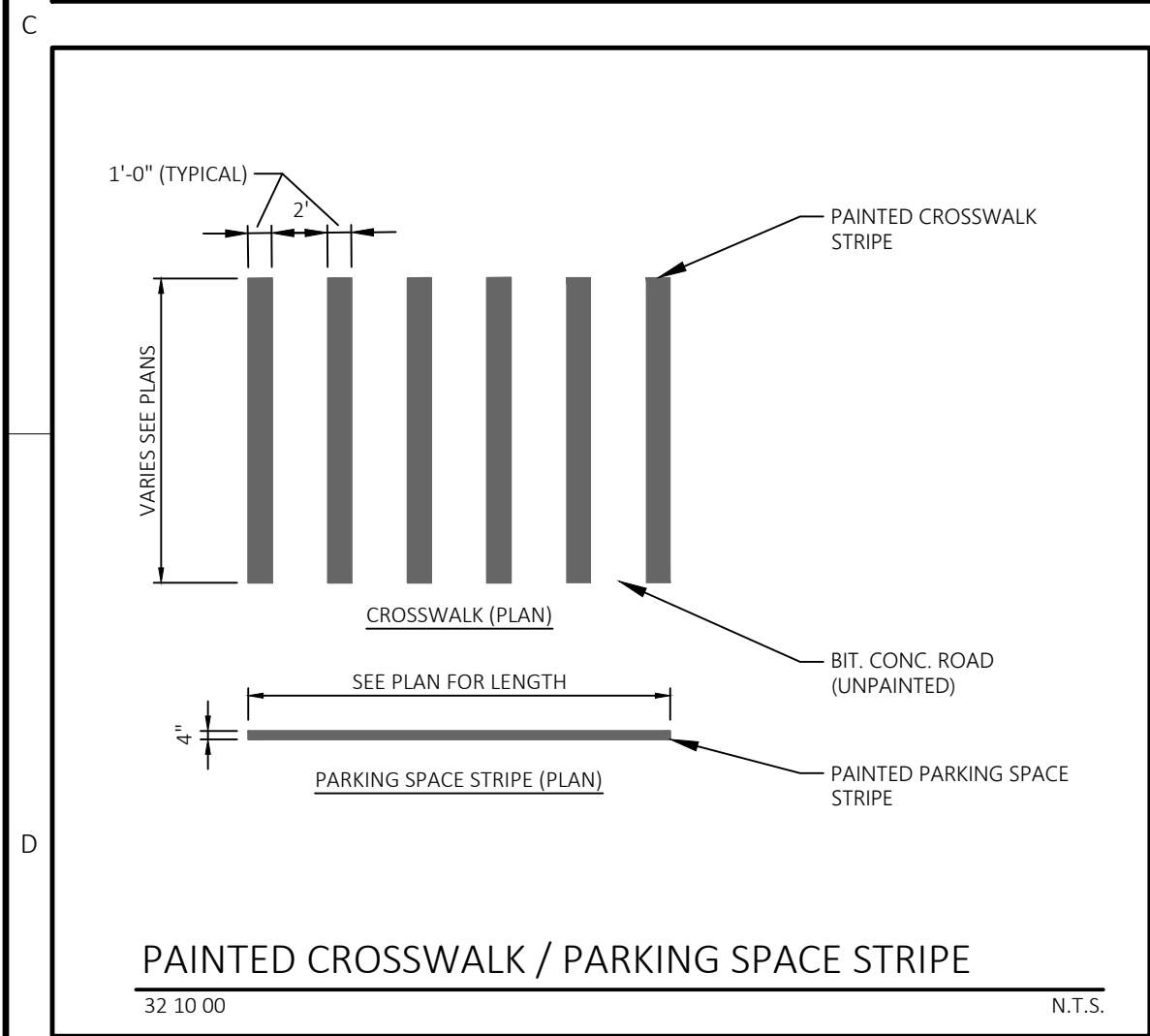
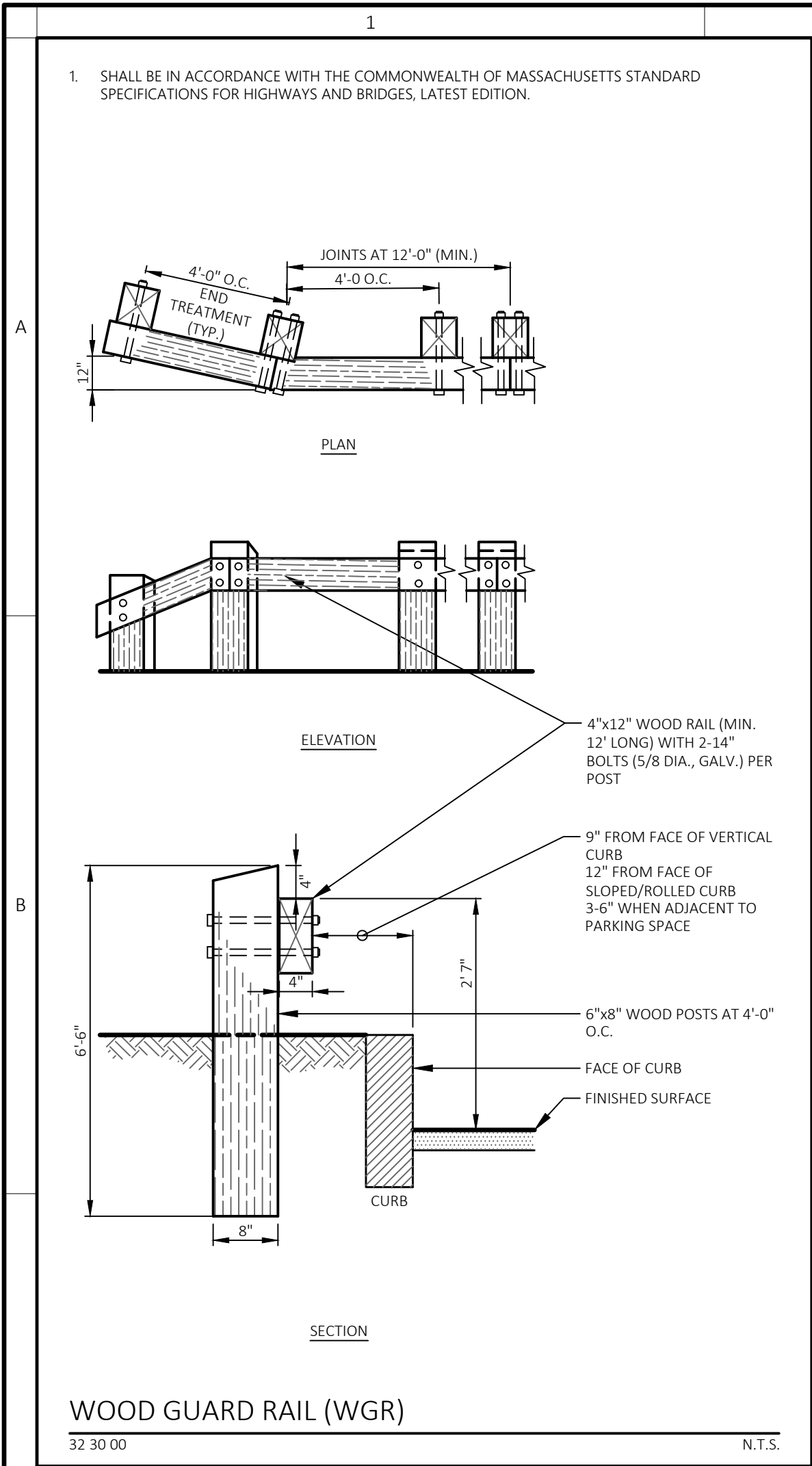
No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

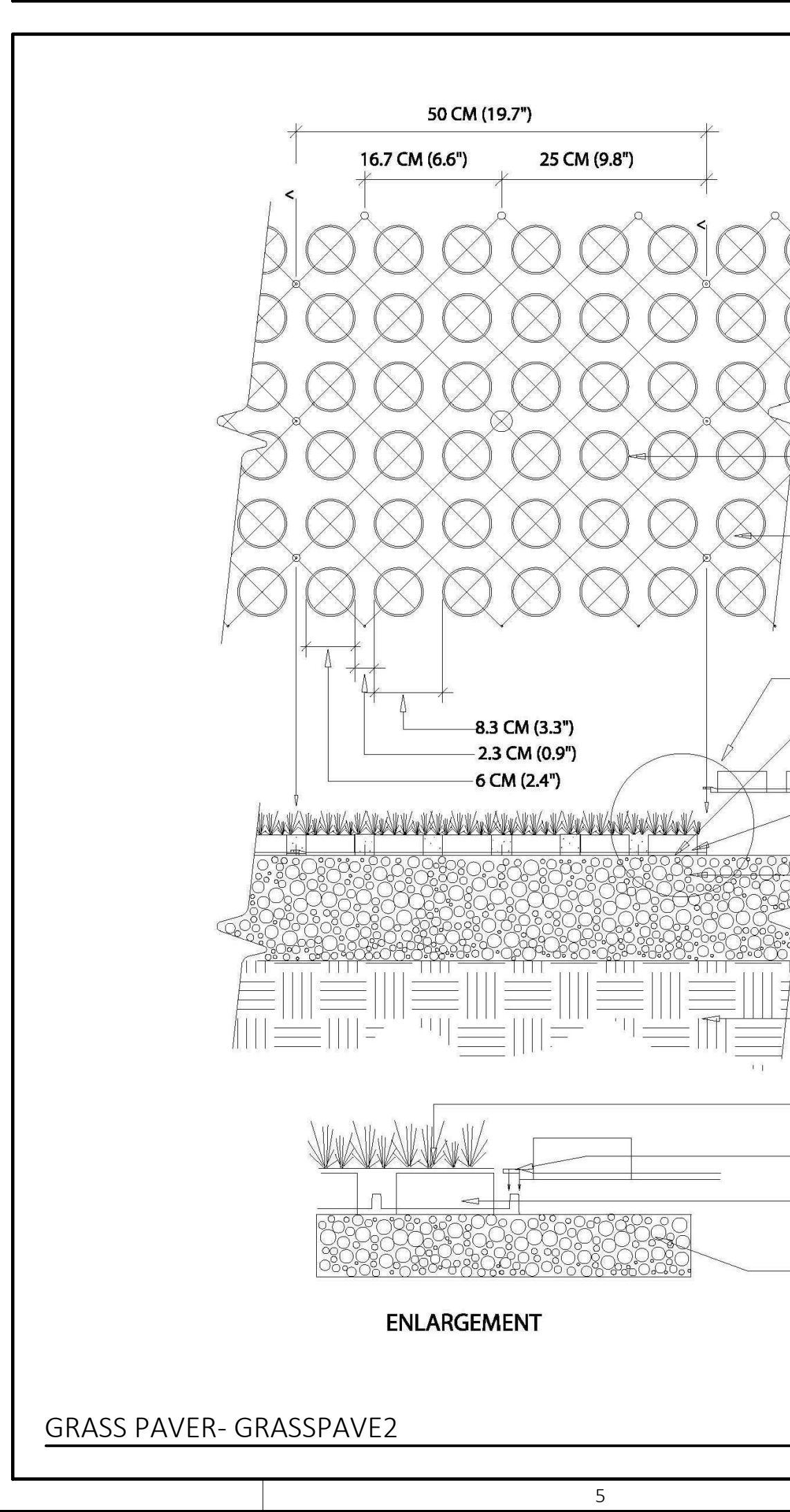
Sheet No.:

C-405





SIGN SUMMARY TABLE			
M.U.T.C.D. NUMBER	SIZE		DESCRIPTION
	WIDTH	HEIGHT	
D3-1	VAR.	8"	COMPASS ROCK ROAD
R1-1	30"	30"	STOP
R8-3a	18"	24"	NO PARKING
RS-034	18"	18"	P
RS-068	18"	18"	i



**SUTTON PLANNING BOARD**

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

**DETAILS SITE IMPROVEMENTS & SIGNAGE**

Local Permitting

Prepared By:

LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS	
2	07/13/2023	PEER REVIEW & TOWN COMMENTS	
1	06/12/2023	PEER REVIEW & TOWN COMMENTS	
No:	Date:	Revision:	Issue:
Drawn By:	CMP	Checked By:	WMB
Date:	03/13/2023	Project No.:	21-0120

Sheet No.: **C-406**

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan**  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**DETAILS**  
**SITE IMPROVEMENTS & SIGNAGE**

Local Permitting

Prepared By:

LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

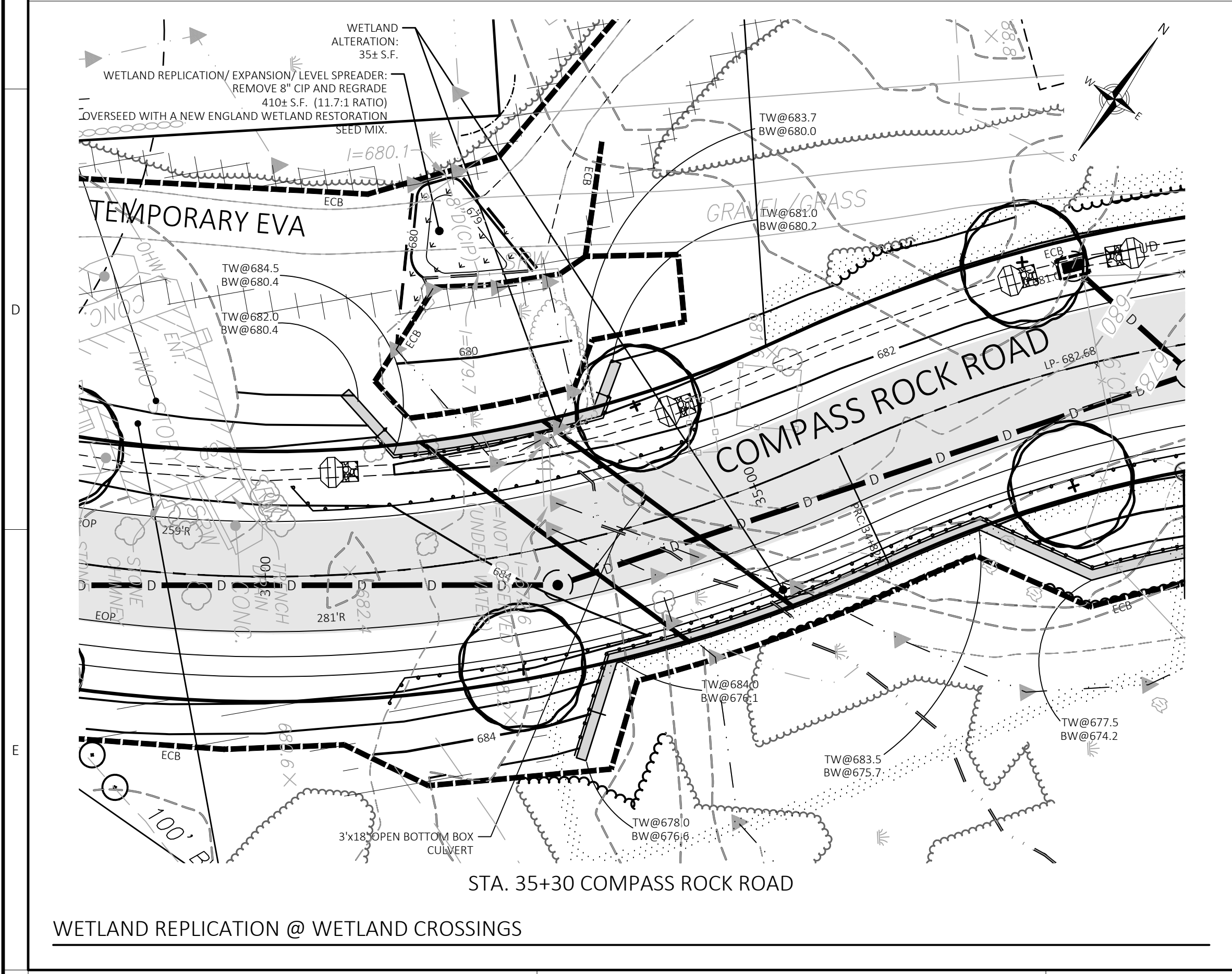
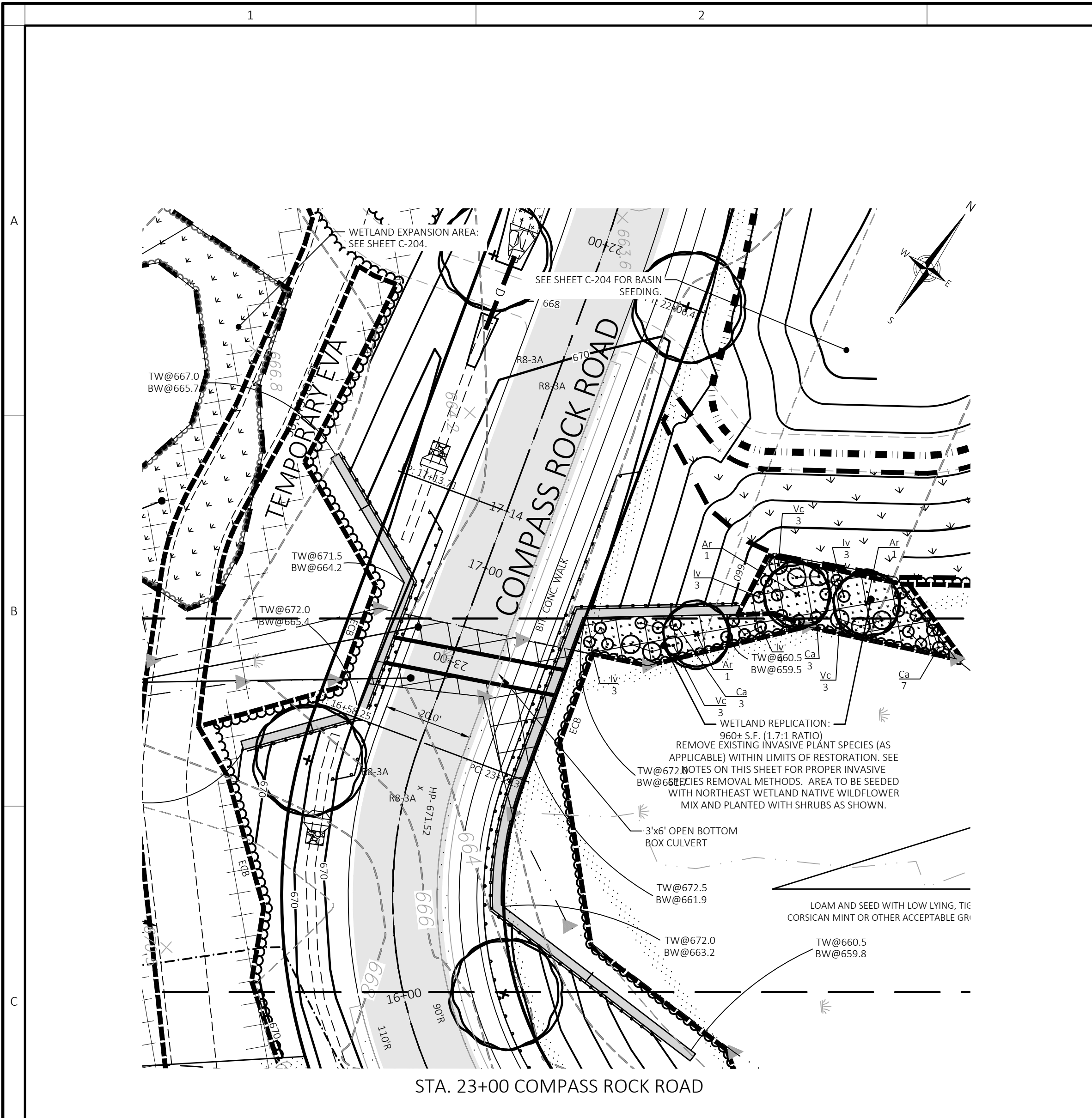
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS	
2	07/13/2023	PEER REVIEW & TOWN COMMENTS	
1	06/12/2023	PEER REVIEW & TOWN COMMENTS	
No:	Date:	Revision:	Issue:
Drawn By:	CMP	Checked By:	WMB
Date:	03/13/2023	Project No.:	21-0120

Sheet No.: **C-406**





WETLAND SEED SCHEDULE		
NORTHEAST WETLAND NATIVE WILDFLOWER MIX		
PERCENT BY NO. OF SEEDS (NOT WEIGHT)	BOTANICAL NAME	COMMON NAME
26.66%	Eupatorium perfoliatum	Boneset
20.80%	Verbena hastata	Blue Vervain
19.75%	Panicum dichotomiflorum	Smooth Panic-Grass
8.89%	Solidago rugosa	Wrinkled Goldenrod
8.74%	Eupatorium maculatum	Joe Pye Weed
6.65%	Euthamia graminifolia	Grass Leaf Goldenrod
4.59%	Polygonum pensylvanicum	Pennsylvania Smartweed
2.80%	Aster novae-angliae	New England Aster
0.79%	Bidens cernua	Nodding Beggar's Tick
0.21%	Asclepias incarnata	Swamp Milkweed
0.12%	Iris versicolor	Blue Flag

**INSPECTION AND MAINTENANCE PLAN:**

1. 1 LB COVERS 11,000 SQ. FT. @ 50+ SEEDS PER SQ. FT.

2. THIS MIX IS TO SEED THE EARLY GROWING SEASON DRAW DOWN AND SATURATED SOIL ZONES. THIS SPECIES HAS BEEN CHOSEN TO PROVIDE COLORFUL FLOWERS AT VARIOUS TIMES OF THE GROWING SEASON ESPECIALLY IN LATE SUMMER. A SEEDING RATE OF 4 POUNDS PER ACRE IS RECOMMENDED AS A SUPPLEMENT TO PLANTINGS OF BARE ROOT HERBACEOUS AND WOODY SPECIES PLANTINGS.

**INSPECTION SCHEDULE:**

- INSPECTIONS AND MAINTENANCE OF THE RESTORATION AREAS SHALL CONTINUE FOR TWO FULL GROWING SEASONS FROM THE DATE OF PLANTING.
- THE SITE IS TO BE INSPECTED BY THE PROJECT CIVIL ENGINEER WITHIN 24 HOURS OF A RAIN EVENT TOTALING MORE THAN 1/4 INCHES WITHIN A 24 HOUR PERIOD.
- THE SITE IS TO BE INSPECTED BY THE PROJECT WETLAND BIOLOGIST ONCE PER MONTH DURING THE GROWING SEASON FOR A PERIOD OF TWO YEARS.

**IRRIGATION:**

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL AND GROUND COVER AREAS UNTIL DATE OF FINAL ACCEPTANCE BY THE PROJECT WETLAND BIOLOGIST. WATERING SHALL BE PROVIDED DURING THE FIRST GROWING SEASON WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.

**REMOVAL OF INVASIVE SPECIES:**

THE PROJECT WETLAND BIOLOGIST SHALL BE RESPONSIBLE FOR MONITORING INVASIVE SPECIES. IF INVASIVE SPECIES APPEAR, THE PROJECT WETLAND BIOLOGIST SHALL RECOMMEND ONE OF THE FOLLOWING METHODS OF REMOVAL.

- DIGGING OR HAND-PULLING: ENSURE THAT THE ENTIRE ROOT IS REMOVED TO PREVENT RE-SPROUTING. THIS IS BEST FOR SMALL OR YOUNG PLANTS IN LOOSE SOIL OR WHEN HEAVIER SOILS ARE DAMP.
- SMOTHERING: CUT THE INVASIVE VEGETATION IN THE TREATMENT AREA AS SHORT AS POSSIBLE THEN COVER THE AREA WITH A TARP, BLACK PLASTIC OR OTHER IMPENETRABLE BARRIER FOR AT LEAST ONE GROWING SEASON.
- CUTTING OR MOWING: MOWING REGULARLY DURING THE GROWING SEASON WILL PREVENT INVASIVE PLANTS FROM FLOWERING WHICH NOT ONLY PREVENTS SEEDS FROM DEVELOPING BUT OVER TIME CAN WEAKEN THE PLANTS. MOWING JUST BEFORE PLANTS FLOWER IS MOST EFFECTIVE. CONTINUE TO MONITOR PLANTS FOR RE-FLOWERING AND DO NOT MOW IF SEEDS DEVELOP. NOTE THAT THE CUT AND TREAT METHOD DESCRIBED BELOW IS A BETTER APPROACH FOR PLANTS THAT RE-SPROUT VIGOROUSLY WHEN CUT. NOTE: THIS METHOD IS NOT EFFECTIVE FOR HIGHLY INVASIVE SPECIES SUCH AS COMMON REED, (PHRAGMITES AUSTRALIS) AND JAPANESE KNOTWEED (FALLOPIA JAPONICA).
- HERBICIDES: SOME INVASIVE SPECIES SUCH AS COMMON REED, (PHRAGMITES AUSTRALIS) CANNOT BE CONTROLLED WITHOUT USING HERBICIDES, HOWEVER NOT ALL HERBICIDES ARE APPROPRIATE FOR ALL SITUATIONS OR PLANT SPECIES. ANY HERBICIDES APPLIED SHALL ONLY BE AUTHORIZED BY THE WETLAND BIOLOGIST AND APPLIED BY A MASSACHUSETTS CERTIFIED APPLICATOR. HERBICIDES ARE MOST EFFECTIVE WHEN USED AS PART OF A MULTI METHOD TREATMENT PLAN SUCH AS CUT AND TREAT, AND MAY NEED TO BE USED FOR MORE THAN ONE SEASON. BUNDLE STEMS OF HERBACEOUS PLANTS, CUT THE STEMS AND IMMEDIATELY APPLY HERBICIDE TO THE FRESH CUT ENDS WITH A SPONGE PAINT BRUSH OR SPRAY. THIS METHOD IS ALSO EFFECTIVE FOR SHRUBS AND TREES AND IS AN EXCELLENT WAY TO TARGET TREATMENT AND LIMIT DAMAGE TO SURROUNDING DESIRABLE PLANTS, AS EVEN A SUBTLE BREEZE CAN CAUSE THE HERBICIDE TO DRIFT. USING PIECES OF CARDBOARD BOXES CAN BE AN EFFECTIVE WAY OF SHIELDING ADJACENT DESIRABLE PLANTS FROM HERBICIDE DRIFT. TREATED PLANTS WILL NEED TO BE MONITORED AND ANY NEW SHOOTS OR GROWTH WILL NEED TO BE TREATED. NOTE THAT MANY PESTICIDE FORMULAS ARE HARMFUL TO AQUATIC LIFE AND SHOULD NOT BE USED NEAR WATER. ALWAYS READ AND FOLLOW PRODUCT LABEL INSTRUCTIONS.
- INVASIVE SPECIES DISPOSAL: PROPER DISPOSAL IS CRITICAL TO PREVENTING THE SPREAD OF INVASIVE SPECIES. CAREFULLY COLLECT ALL PLANT PARTS AND SECURELY BAG. IF INVASIVE SPECIES CURRENTLY EXIST WITHIN THE DISTURBED AREA TO BE RESTORED, EXTRA CARE MUST BE TAKEN TO PREVENT THE SPREAD OF INVASIVE PLANT MATERIAL TO NEW AREAS. ALL EQUIPMENT INCLUDING TRACKS AND TIRES COMING INTO CONTACT WITH INVASIVE SPECIES PLANT PARTS MUST BE THOROUGHLY CLEANED BEFORE MOVING INTO UNAFFECTED AREAS TO PREVENT THE SPREAD OF INVASIVE SPECIES. CAREFULLY DISPOSED OF SOIL CONTAINING INVASIVE SPECIES PLANT PARTS SUCH AS ROOTS, ROOT FRAGMENTS, LEAVES, AND STEMS. BAGGING ALL INVASIVE PLANT PARTS SHALL BE BAGGED AND DISPOSED OF BY A GARBAGE DISPOSAL SERVICE.

**FERTILIZATION**

FERTILIZATION SHOULD NOT BE REQUIRED ONCE THE PLANT MATERIAL HAS BEEN ESTABLISHED.

**MULCHING**

- AT THE TIME OF PLANTING PROVIDE A 3" DEPTH OF MULCH AS SHOWN ON THE PLANTING DETAILS UNDER AND AROUND ALL PLANT MATERIAL AND IN ALL PLANT BEDS. MULCH SHALL BE CLEAN, SHREDDED PINE BARK MULCH UNLESS OTHERWISE SPECIFIED.
- ADDITIONAL MULCHING SHALL BE APPLIED UNTIL THE PLANT MATERIAL AND GROUND COVER HAS BEEN ESTABLISHED. ADDITIONAL MULCHING SHALL CONSIST OF FINE AND COARSE WOODY DEBRIS AND LEAF LITTER.

**INSECT AND DISEASE CONTROL**

- PESTICIDES SHALL BE AVOIDED UNLESS ABSOLUTELY NECESSARY. PESTICIDES SHALL ONLY BE USED IF AUTHORIZED BY THE PROJECT WETLAND BIOLOGIST AND APPLIED BY A MASSACHUSETTS CERTIFIED PESTICIDE APPLICATOR.

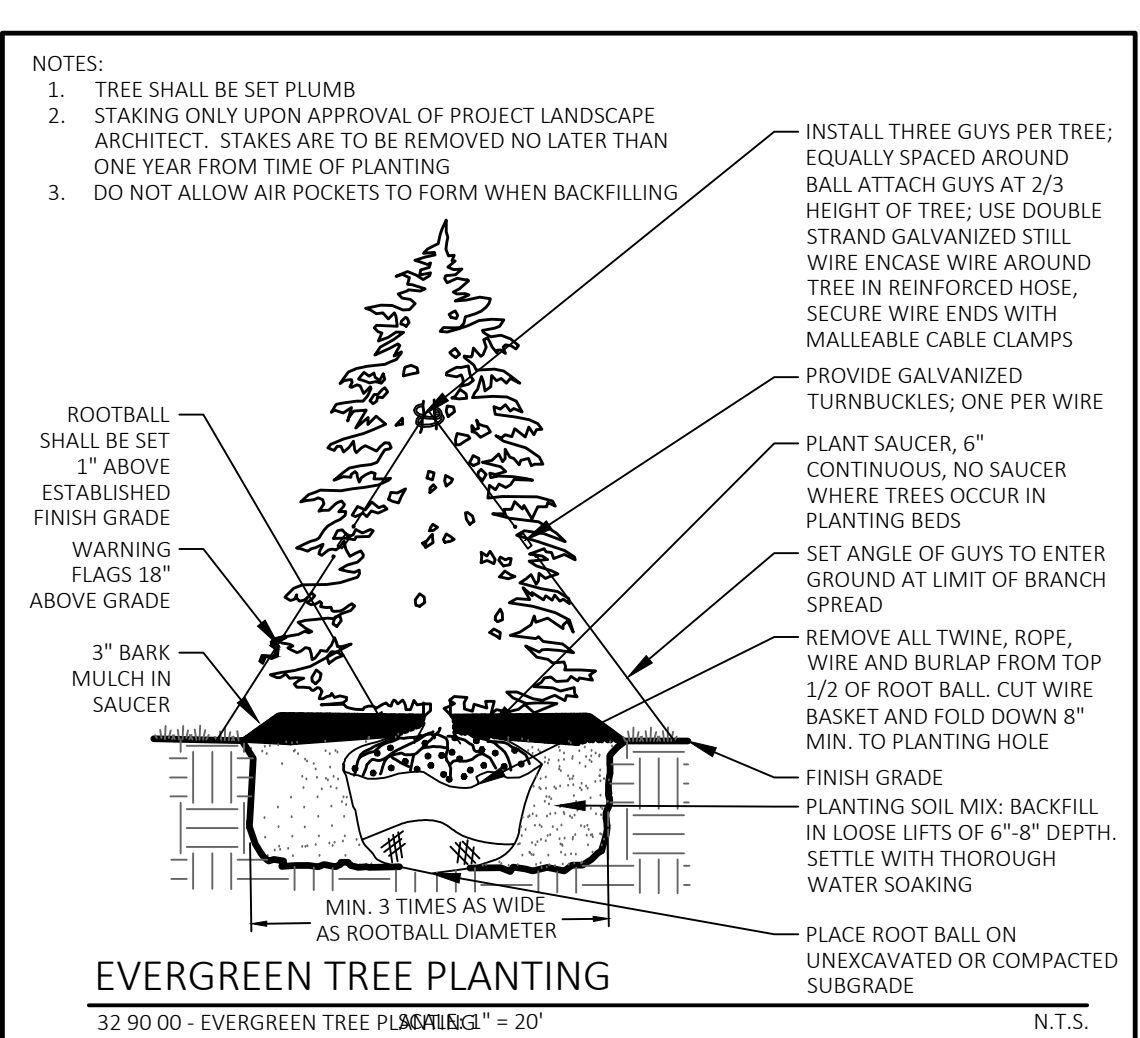
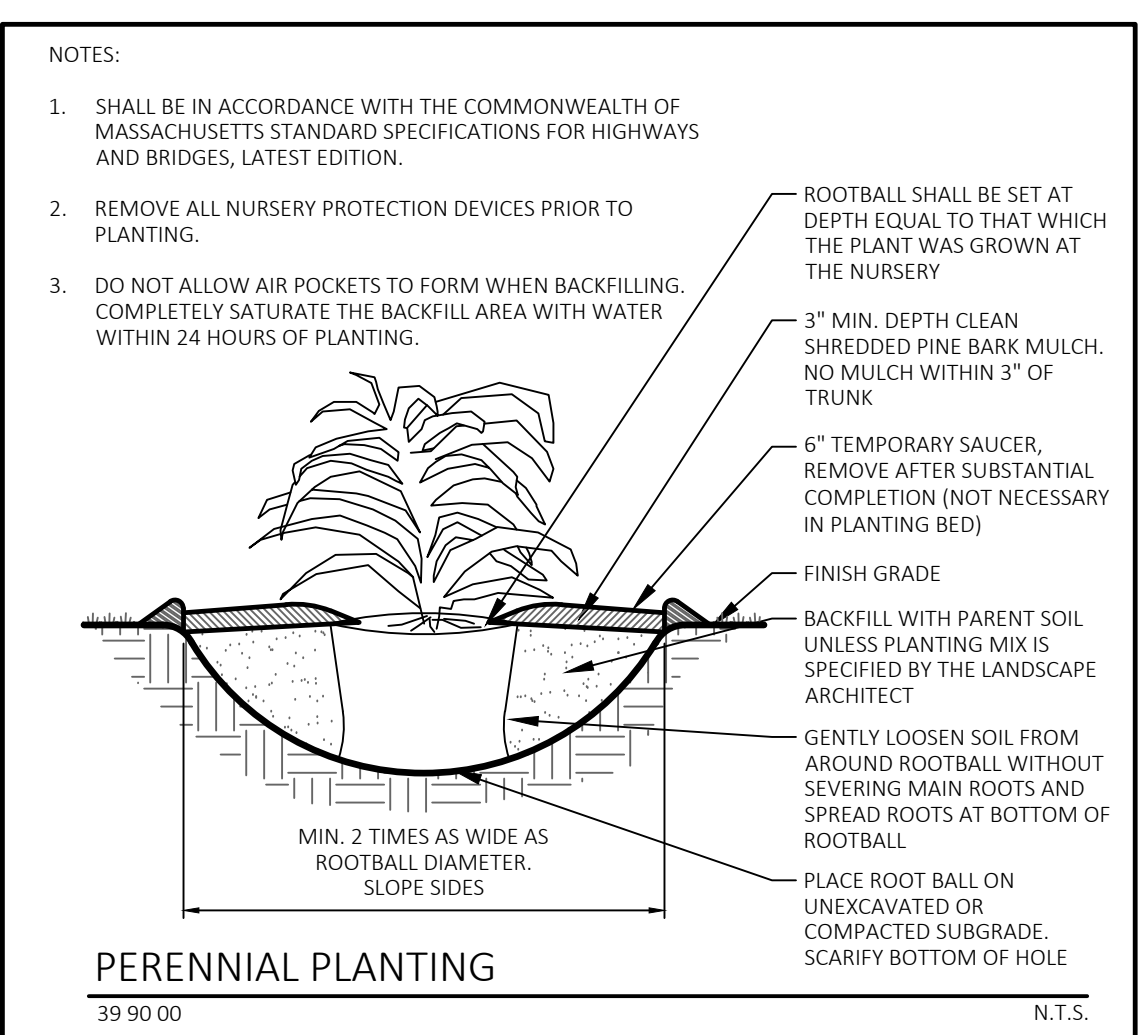
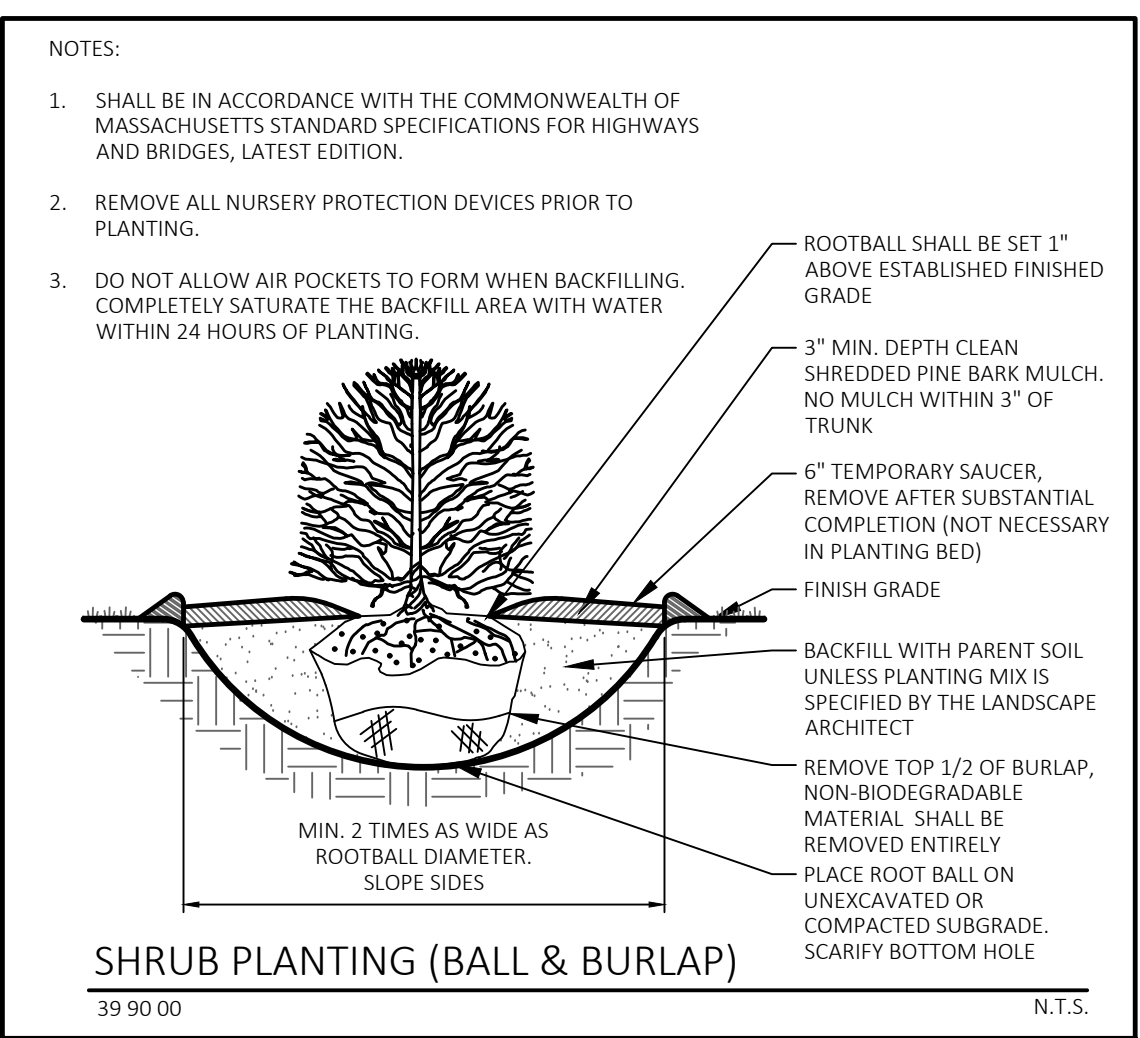
**PLANT MATERIAL**

ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR THE PROJECT WETLAND BIOLOGIST. ALL REPLACEMENTS WITHIN THE GUARANTEED PERIOD SHALL BE AT NO ADDITIONAL COST TO OWNER. REPLACEMENTS IN YEAR TWO AND THREE SHALL BE SHALL BE THE OWNERS RESPONSIBILITY AS DIRECTED BY THE PROJECT WETLAND BIOLOGIST.

- INSPECTIONS AND MAINTENANCE SHALL ADDRESS ALL PLANTINGS, INCLUDING SEED MIXES, IRRIGATION, WEED CONTROL, REMOVAL OF INVASIVE SPECIES, FERTILIZATION AS RECOMMENDED, MULCHING AND CONTROL OF INSECTS AND DISEASES. DEAD OR DAMAGED TREES AND SHRUBS SHOULD BE REPLACED AS SOON AS THEY ARE IDENTIFIED. BARE SPOTS IN THE GROUND COVER OBSERVED DURING THE MAINTENANCE PERIOD SHALL BE RESEED WITH THE SEED MIXES SPECIFIED.

STREET TREE NOTES & LIST OF SPECIES		
1. ALL STREET TREES SHALL BE ASIAN LONGHORNED BEETLE RESISTANT.	BOTANICAL NAME	COMMON NAME
2. STREET TREE LOCATIONS AND QUANTITY SHOWN ON THE PLANS ARE BASED ON THE ANTICIPATED LIMITS OF CLEARING ALONG THE ROAD LAYOUT AT FULL BUILD OUT. FINAL LOCATIONS AND QUANTITY SUBJECT TO ACTUAL CONDITIONS IN THE FIELD.	QUERCUS PALUSTRIS QUERCUS ROBUR, (OR ANY OTHER OAK VARIETY) CELTIS OCCIDENTALIS GINKGO BILOBA 'AUTUMN GOLD GLEDETISIA TRIACANTHOS TILIA CORDATA ZELKOVA SERRATA LIQUIDAMBAR STYRACIFLUA LIRIODENDRON TULIPIFERA KENTUCKY COFFEETREE	PIN OAK ENGLISH OAK HACKBERRY AUTUMN GOLD GINKGO SHADEMASTER OR SUNBURST HONEY LOCUST LITTLELEAF LINDEN JAPANESE ZELKOVA SWEETGUM TULIPTREE GYMNOCLADUS DIOICUS
3. NO LESS THAN 5 SPECIES OF TREES SHALL BE USED FOR THE PROJECT. THE SELECTED SPECIES SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT.		

WETLAND PLANT SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
TREES						
3	Ar	Acer rubrum	Red Maple	2" - 2.5" cal	B&B	AS SHOWN
SHRUBS						
13	Ca	Clethra alnifolia	Sweet Pepper Bush	2 - 3 FT. HT.	CONTAINER	AS SHOWN
13	Iv	Ilex verticillata	Winterberry	2 - 3 FT. HT.	CONTAINER	AS SHOWN
9	Vc	Vaccinium corybosum	Highbush Blueberry	4 - 5 FT. HT.	CONTAINER	AS SHOWN



SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

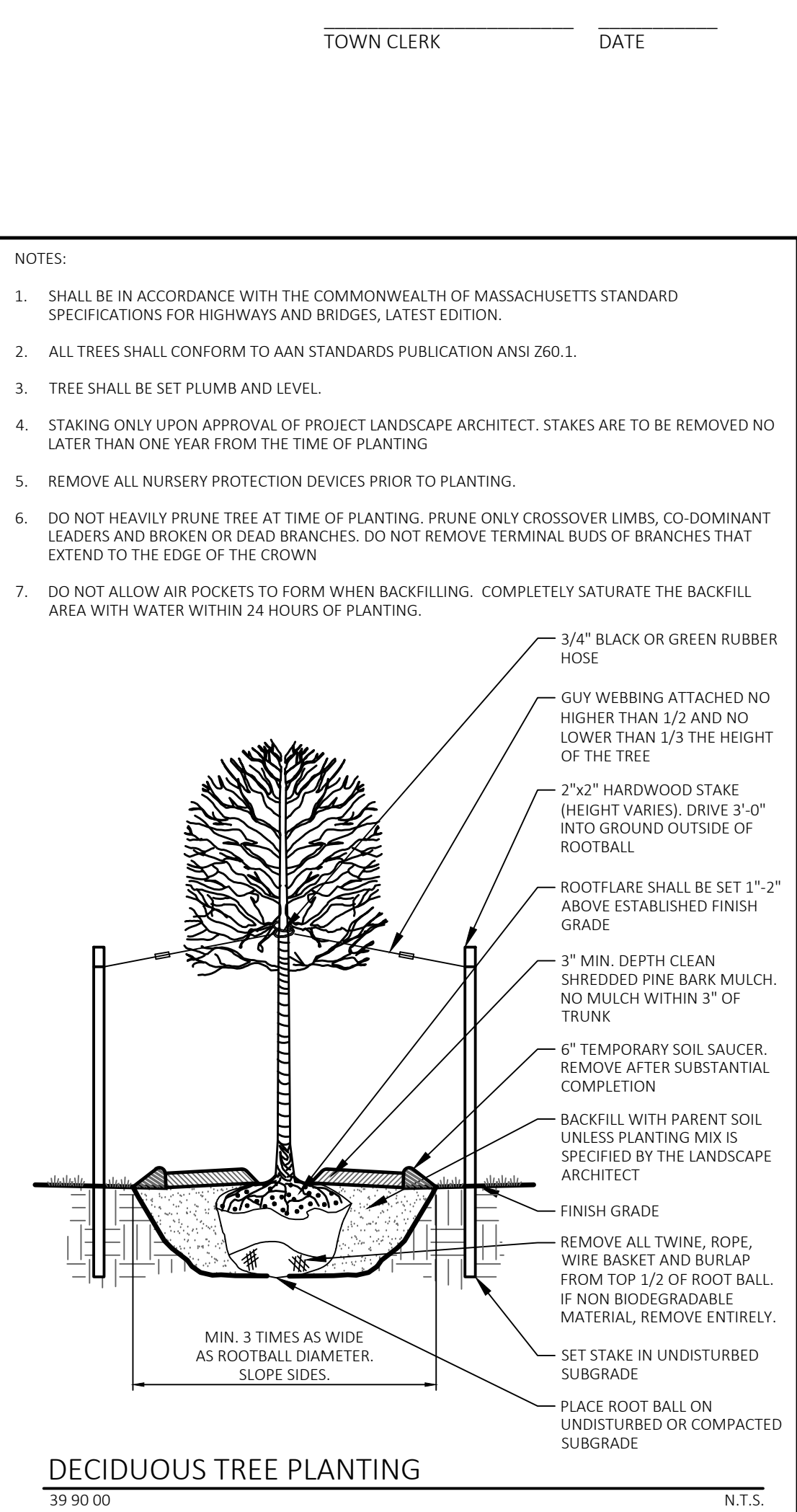
DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HERewith AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



Project Owner:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

81 Purgatory LLC  
11 Colonial Road  
Sutton, MA

Project Title:

Definitive Subdivision Plan  
OSRD  
Compass Rock  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

DETAILS  
WETLANDS &  
LANDSCAPING

Local Permitting

Prepared By:

LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

FELDMAN  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: \_\_\_\_\_ Revision | Issue: \_\_\_\_\_

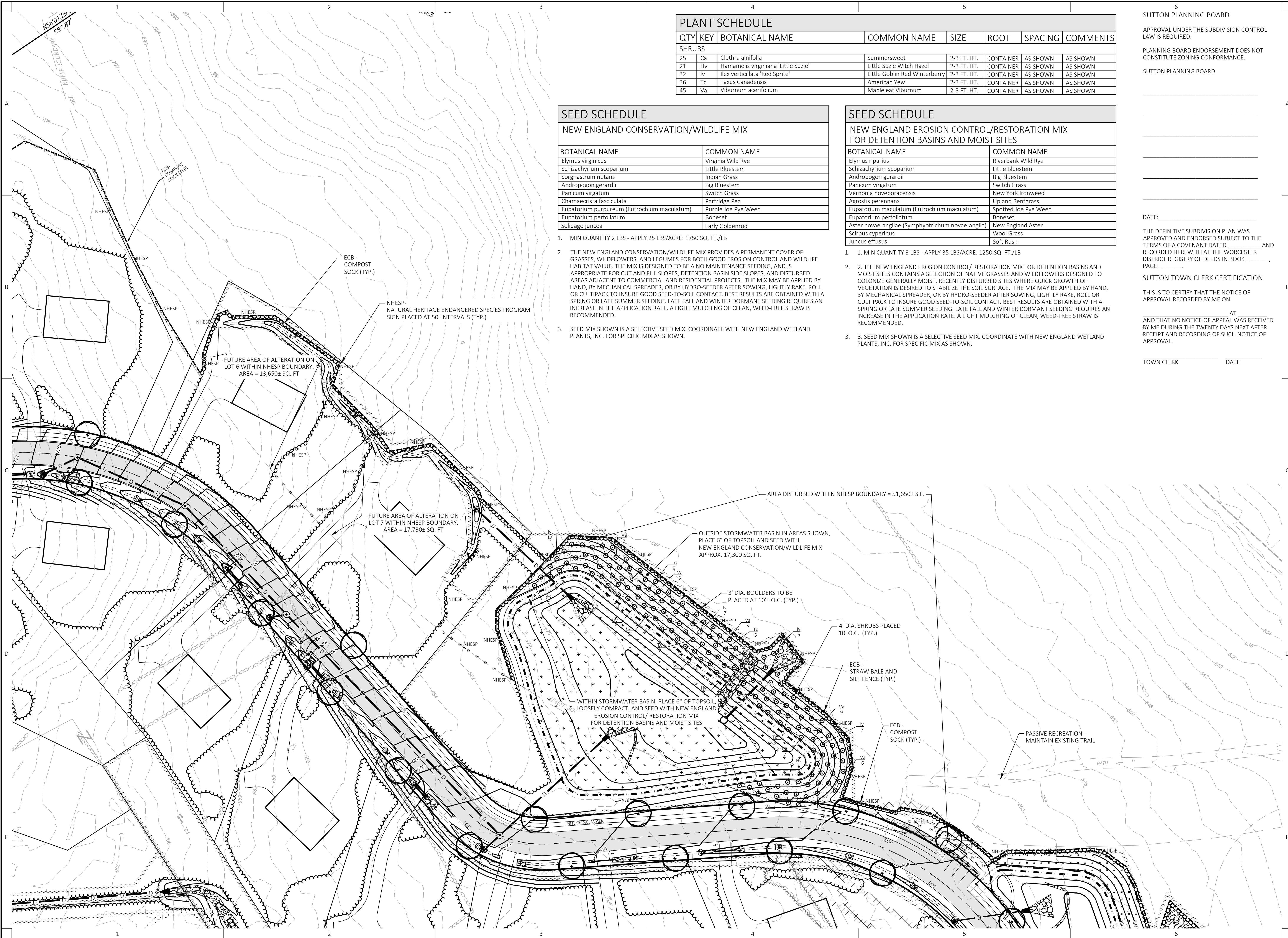
Drawn By: CMP Checked By: JTA

Date: 03/13/2023 Project No.: 21-0120

Sheet No.:

C-407





PLANT SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENTS
SHRUBS							
25	Ca	Clethra alnifolia	Summersweet	2-3 FT. HT.	CONTAINER	AS SHOWN	AS SHOWN
21	Hv	Hamamelis virginiana 'Little Suzie'	Little Suzie Witch Hazel	2-3 FT. HT.	CONTAINER	AS SHOWN	AS SHOWN
32	Iv	Ilex verticillata 'Red Sprite'	Little Goblin Red Winterberry	2-3 FT. HT.	CONTAINER	AS SHOWN	AS SHOWN
36	Tc	Taxus Canadensis	American Yew	2-3 FT. HT.	CONTAINER	AS SHOWN	AS SHOWN
45	Va	Viburnum acerifolium	Mapleleaf Viburnum	2-3 FT. HT.	CONTAINER	AS SHOWN	AS SHOWN

SEED SCHEDULE	
NEW ENGLAND CONSERVATION/WILDLIFE MIX	
BOTANICAL NAME	COMMON NAME
Elymus virginicus	Virginia Wild Rye
Schizachyrium scoparium	Little Bluestem
Sorghastrum nutans	Indian Grass
Andropogon gerardii	Big Bluestem
Panicum virgatum	Switch Grass
Chamaecrista fasciculata	Partridge Pea
Eupatorium purpureum (Eutrochium maculatum)	Purple Joe Pye Weed
Eupatorium perfoliatum	Boneset
Solidago juncea	Early Goldenrod

1. MIN QUANTITY 2 LBS - APPLY 25 LBS/ACRE: 1750 SQ. FT./LB
2. THE NEW ENGLAND CONSERVATION/WILDLIFE MIX PROVIDES A PERMANENT COVER OF GRASSES, WILDFLOWERS, AND LEGUMES FOR BOTH GOOD EROSION CONTROL AND WILDLIFE HABITAT VALUE. THE MIX IS DESIGNED TO BE A NO MAINTENANCE SEEDING, AND IS APPROPRIATE FOR CUT AND FILL SLOPES, DETENTION BASIN SIDE SLOPES, AND DISTURBED AREAS ADJACENT TO COMMERCIAL AND RESIDENTIAL PROJECTS. THE MIX MAY BE APPLIED BY HAND, BY MECHANICAL SPREADER, OR BY HYDRO-SEEDER AFTER SOWING, LIGHTLY RAKE, ROLL OR CULTIPACK TO INSURE GOOD SEED-TO-SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE FALL AND WINTER DORMANT SEEDING REQUIRES AN INCREASE IN THE APPLICATION RATE. A LIGHT MULCHING OF CLEAN, WEED-FREE STRAW IS RECOMMENDED.
3. SEED MIX SHOWN IS A SELECTIVE SEED MIX. COORDINATE WITH NEW ENGLAND WETLAND PLANTS, INC. FOR SPECIFIC MIX AS SHOWN.

SEED SCHEDULE	
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES	
BOTANICAL NAME	COMMON NAME
Elymus riparius	Riverbank Wild Rye
Schizachyrium scoparium	Little Bluestem
Andropogon gerardii	Big Bluestem
Panicum virgatum	Switch Grass
Vernonia noveboracensis	New York Ironweed
Agrostis perennans	Upland Bentgrass
Eupatorium maculatum (Eutrochium maculatum)	Spotted Joe Pye Weed
Eupatorium perfoliatum	Boneset
Aster novae-angliae (Symphyotrichum novae-angliae)	New England Aster
Scirpus cyperinus	Wool Grass
Juncus effusus	Soft Rush

1. MIN QUANTITY 3 LBS - APPLY 35 LBS/ACRE: 1250 SQ. FT./LB
2. THE NEW ENGLAND EROSION CONTROL/ RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THE MIX MAY BE APPLIED BY HAND, BY MECHANICAL SPREADER, OR BY HYDRO-SEEDER AFTER SOWING, LIGHTLY RAKE, ROLL OR CULTIPACK TO INSURE GOOD SEED-TO-SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE FALL AND WINTER DORMANT SEEDING REQUIRES AN INCREASE IN THE APPLICATION RATE. A LIGHT MULCHING OF CLEAN, WEED-FREE STRAW IS RECOMMENDED.
3. SEED MIX SHOWN IS A SELECTIVE SEED MIX. COORDINATE WITH NEW ENGLAND WETLAND PLANTS, INC. FOR SPECIFIC MIX AS SHOWN.

SUTTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE ZONING CONFORMANCE.

SUTTON PLANNING BOARD

DATE: \_\_\_\_\_

THE DEFINITIVE SUBDIVISION PLAN WAS APPROVED AND ENDORSED SUBJECT TO THE TERMS OF A COVENANT DATED \_\_\_\_\_ AND RECORDED HEREWITH AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

SUTTON TOWN CLERK CERTIFICATION

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

Project Owner:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

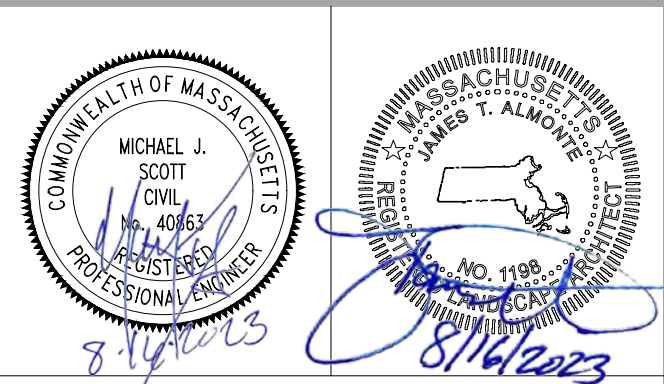
Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:  
**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:  
**Definitive Subdivision Plan**  
**OSRD**  
**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:  
**NHESP**  
**PLANTING PLAN**

Local Permitting



Prepared By:  
**LDC**  
**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Project Surveyor:  
**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

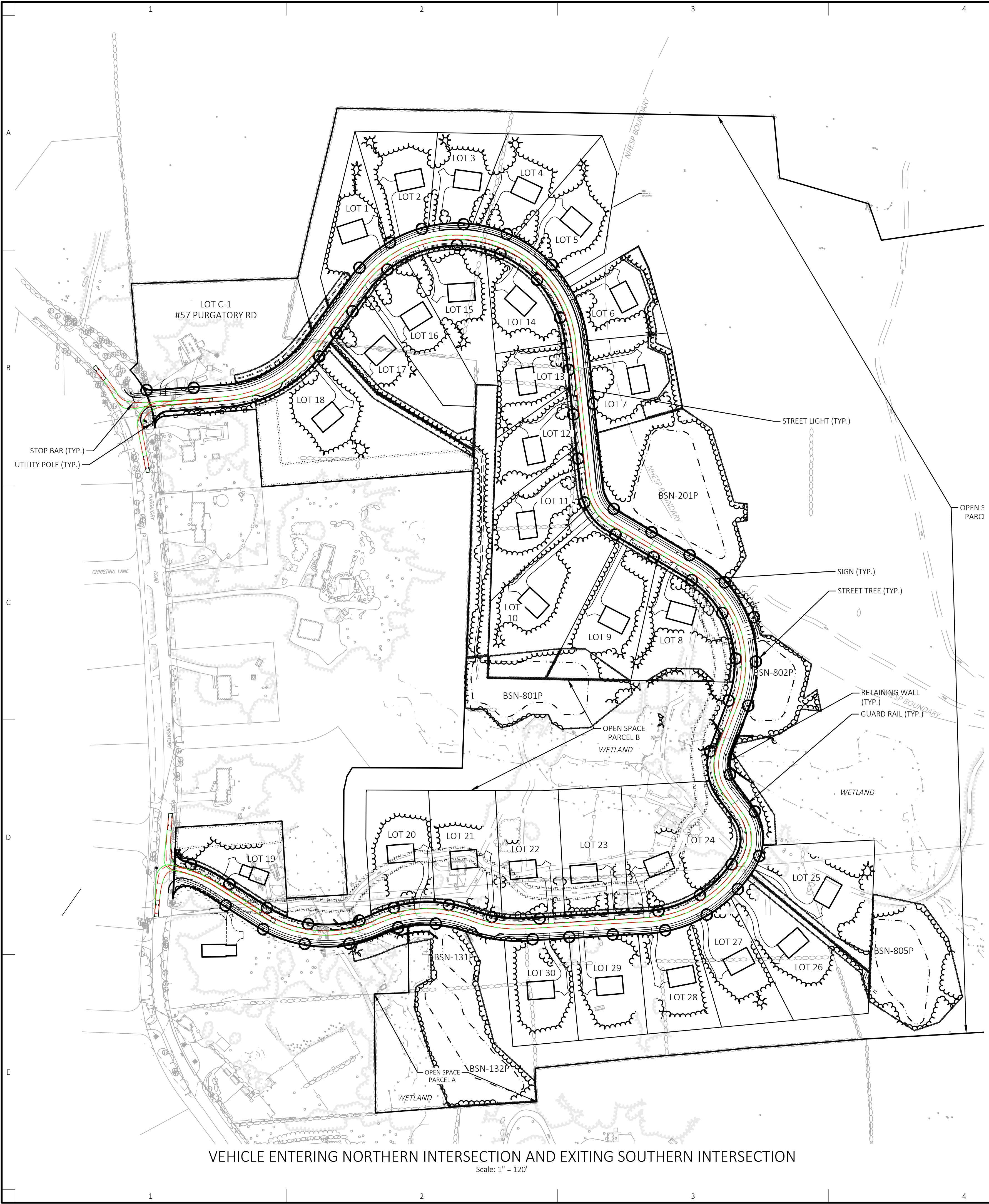
3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	NO CHANGES
1	06/12/2023	PEER REVIEW & TOWN COMMENTS
No: Date:		Revision   Issue:
Drawn By:		CMP Checked By: JTA
Date:		03/13/2023 Project No.: 21-0120
0 20 40 80 120 Scale: 1" = 40'		

Sheet No.:  
**C-408**



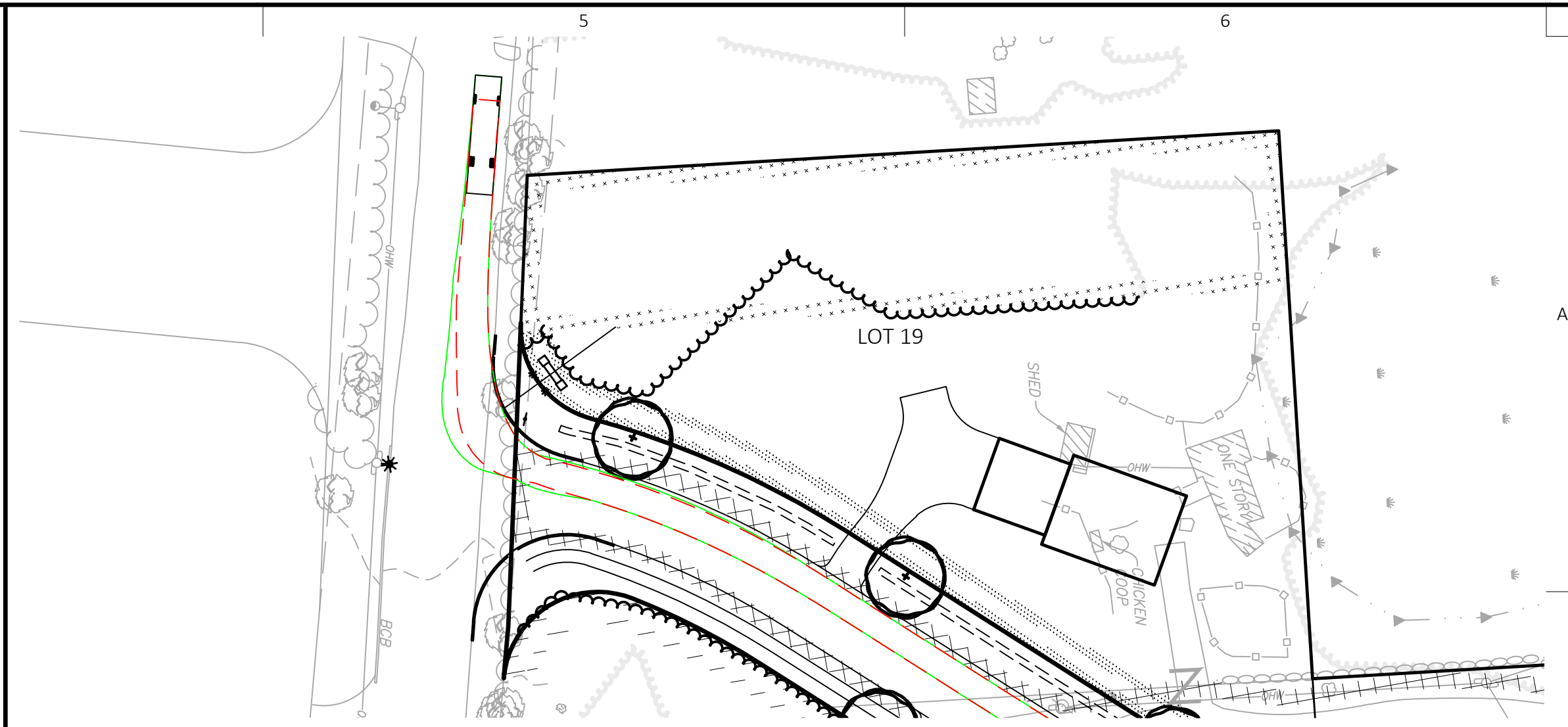






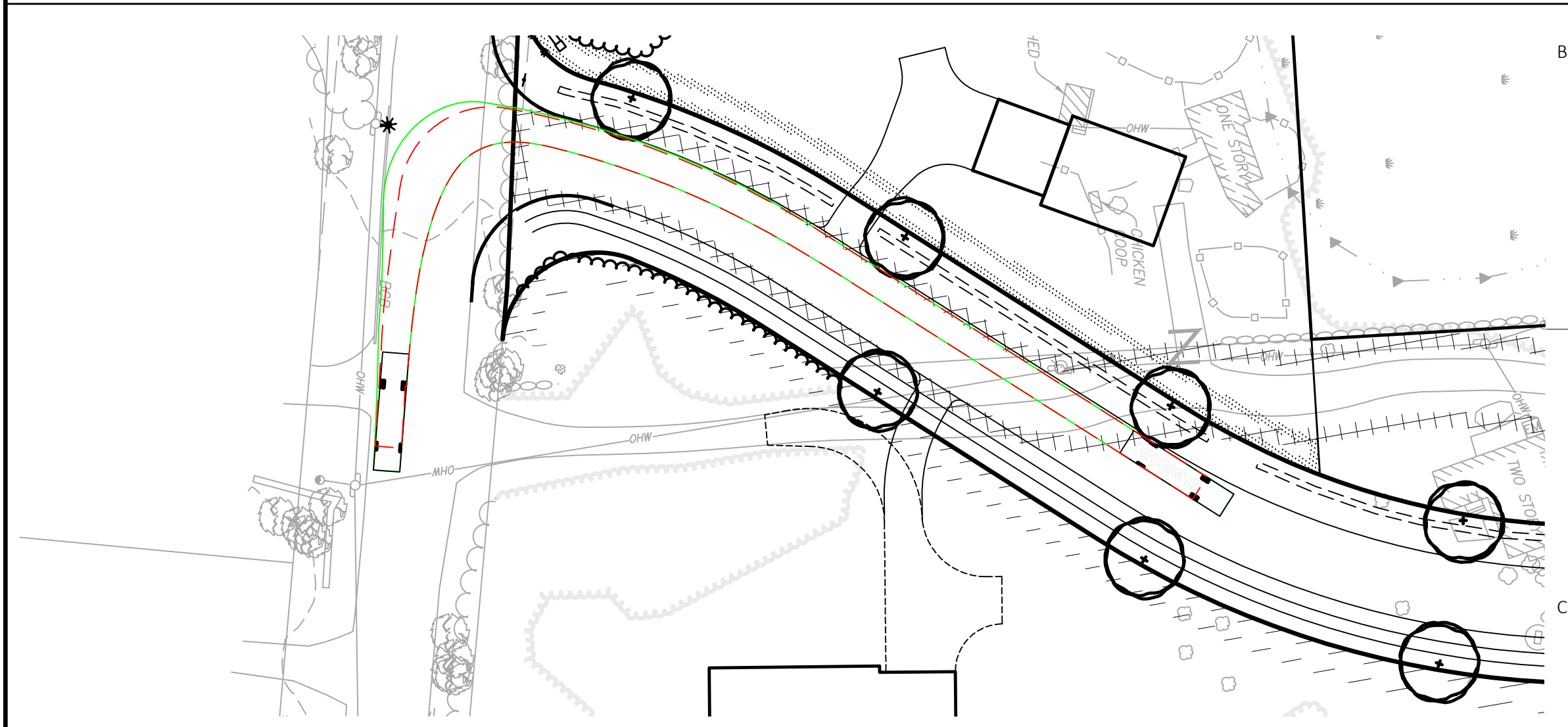
VEHICLE ENTERING NORTHERN INTERSECTION AND EXITING SOUTHERN INTERSECTION

Scale: 1" = 120'



VEHICLE EXITING SOUTHERN INTERSECTION TURNING NORTH

Scale: 1" = 40'



VEHICLE EXITING SOUTHERN INTERSECTION TURNING SOUTH

Scale: 1" = 40'

VEHICLE PROFILE	
75' PIERCE QUINT EMERGENCY LADDER	
Overall Length	37.500ft
Overall Width	8.333ft
Overall Body Height	10.685ft
Min Body Ground Clearance	0.920ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°
VEHICLE TRACKING KEY	
	= VEHICLE WHEEL PATH
	= VEHICLE BODY SWING PATH
VEHICLE TRACKING NOTES	
1. THIS PLAN IS INTENDED SOLELY FOR THE REVIEW BY THE TOWN OF SUTTON RELATIVE TO THE MANEUVERABILITY OF VEHICLE APPARATUS WITHIN THE PROJECT SITE.	
2. VEHICLE PATHS SHOWN ARE A RESULT OF VEHICLE TRACKING DESIGN SOFTWARE. THE VEHICLE SHOWN IS AS SHOWN.	

Project Owner:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Lavallee Family Irrevocable Tr.  
32 Sherman Grove  
Spencer, Ma

Project Applicant:

**81 Purgatory LLC**  
11 Colonial Road  
Sutton, MA

Project Title:

**Definitive Subdivision Plan  
OSRD**

**Compass Rock**  
57, 77, 77R, 81, 81R  
Purgatory Road  
Sutton, MA  
(Worcester County)

Sheet Title:

**VEHICLE TURNING  
EXHIBIT**

Local Permitting

Prepared By:

**LAND DESIGN COLLABORATIVE**  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDcollaborative.com

Project Surveyor:

**FELDMAN**  
152 Hampden Street  
Boston, MA 02119

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S TYPICAL SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

3	08/16/2023	ENDORSEMENT PLANS
2	07/13/2023	PEER REVIEW & TOWN COMMENTS
1	06/12/2023	PEER REVIEW & TOWN COMMENTS

No: Date: Revision | Issue:

Drawn By: CMP Checked By: WMB  
Date: 03/13/2023 Project No.: 21-0120

As Noted

**EX-102**