

PREPARED BY:



31 EAST MAIN STREET WESTBOROUGH, MA 01581 508.366.6552
WDA-DG.COM

With: Smook Architecture & Urban Design - Architectural Design
Ron Muller & Associates - Traffic Engineering,
On-Site Engineering - Sewage System and Pumps

OWNER:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116

PREPARED FOR:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116

SPECIAL PERMIT & SITE PLANS FOR WEDGEWOOD FARM

Pursuant to the Town of Sutton Zoning Bylaws: Section IV, C (Site Plan Review). Section III, A, 4 Table of Use Regulations (Special Permit), Section V, D Route 146 Overlay District Bylaw (Special Permit). Section VI Special Regulations, J Continued Care Retirement Community (Special Permit).

FOR

INDEPENDENT LIVING CONTINUED CARE RETIREMENT COMMUNITY

IN

Sutton, Massachusetts (Worcester County)

DATE: March 11, 2019 REVISED: July 31, 2019 REVISED: AUGUST 21, 2020
REVISED: May 15, 2019 REVISED: August 21, 2019
REVISED: June 26, 2019 REVISED: August 27, 2019

SHEET LIST:

C0.00	OVERALL EXISTING CONDITIONS PLAN	C4.01 - C4.08	LANDSCAPE PLANS
C0.01 - C0.04	EXISTING CONDITIONS PLANS	C4.09	FOUNDATION PLANTING PLAN (SUN AREAS)
C1.00	GENERAL NOTES	C4.10	FOUNDATION PLANTING PLAN (SHADE AREAS)
C2.00	OVERALL LAYOUT AND MATERIALS PLAN	ESL1.00	OVERALL PHOTOMETRIC PLAN (BY OTHERS) NOT INCLUDED
C2.01 - C2.04	LAYOUT AND MATERIALS PLANS	ESL1.01 - ESL1.04	PHOTOMETRICS PLAN (BY OTHERS) NOT INCLUDED
C2.10	SLOPE ANALYSIS	EX1.00 - EX1.01	INTERSECTION LINE OF SIGHT CLEARING EXHIBIT
C3.00	OVERALL GRADING, DRAINAGE, & UTILITIES PLAN	EX1.02 - EX1.03	BULK OPEN SPACE EXHIBIT
C3.01 - C3.04	GRADING, DRAINAGE, & UTILITIES PLANS	EX1.04	70' BUFFER ZONE VEGETATION REMOVAL EXHIBIT
C3.05 - C3.10	ROAD PROFILES	EX1.05	ROUTE 146 VISUAL IMPACT EXHIBIT
C3.11	EROSION CONTROL PLAN		
C4.00	OVERALL LANDSCAPE PLAN	C5.01 - C5.07	CONSTRUCTION DETAILS

CONDITIONALLY APPROVED
SUTTON PLANNING BOARD

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

LEGEND:

DESCRIPTION	EXISTING
100' WETLAND BUFFER ZONE	100' WETLAND BZ
BOUNDARY OF BORDERING VEGETATED WETLANDS	BBVW
ACRES	AC.
BUFFER ZONE	BZ
CATCH BASIN	□ CB
DRILL HOLE	● DH
EDGE OF PAVEMENT	EOP
FOUND	(FND.)
IRON ROD	○ IR
MASS HIGHWAY BOUND	MHB
MONITORING WELL	○ MW
NOT TO SCALE	N.T.S.
NOW OR FORMERLY	N/F
OVERHEAD WIRE	— OHW —
PLUS OR MINUS	±
RIPRAP	▨
RIVERFRONT AREA	RFA
STONE BOUND	▣ SB
SQUARE FEET	S.F.
STONE WALL	∞ ∞ ∞ STW
TEST PIT	⊙ TP

OWNER OF RECORD:

UNIBANK FOR SAVINGS

49 CHURCH STREET
WHITINSVILLE, MA

ASSESSORS MAP REFERENCE(S):

MAP 18 LOT 129 (141 ARMSBY ROAD)
MAP 18 LOT 17 (128 ARMSBY ROAD)
MAP 18 LOT 18 (144 ARMSBY ROAD)

DEED REFERENCE(S):

DEED BOOK 49968 PAGE 78
DEED BOOK 49968 PAGE 89

PLAN REFERENCE(S):

PLAN BOOK 189 PLAN 182
PLAN BOOK 265 PLAN 104
PLAN BOOK 454 PLAN 107
PLAN BOOK 495 PLAN 98
PLAN BOOK 506 PLAN 45
PLAN BOOK 621 PLAN 124
PLAN BOOK 664 PLAN 16
PLAN BOOK 781 PLAN 71
PLAN BOOK 874 PLAN 47
PLAN BOOK 936 PLAN 33
PLAN ENTITLED "PLAN OF PROPOSED RELOCATION OF ARMSBY ROAD,
SUTTON, MA" DATED FEBRUARY 11, 1965 BY CULLINAN ENGINEERING
CO., INC. (NOT RECORDED)

FIRM CLASSIFICATION:

FLOOD INSURANCE RATE MAP
NUMBERS 25027C0836E, 25027C0840E
EFFECTIVE JULY 4, 2011

ZONING CLASSIFICATION(S):

"BUSINESS-HIGHWAY B-2"

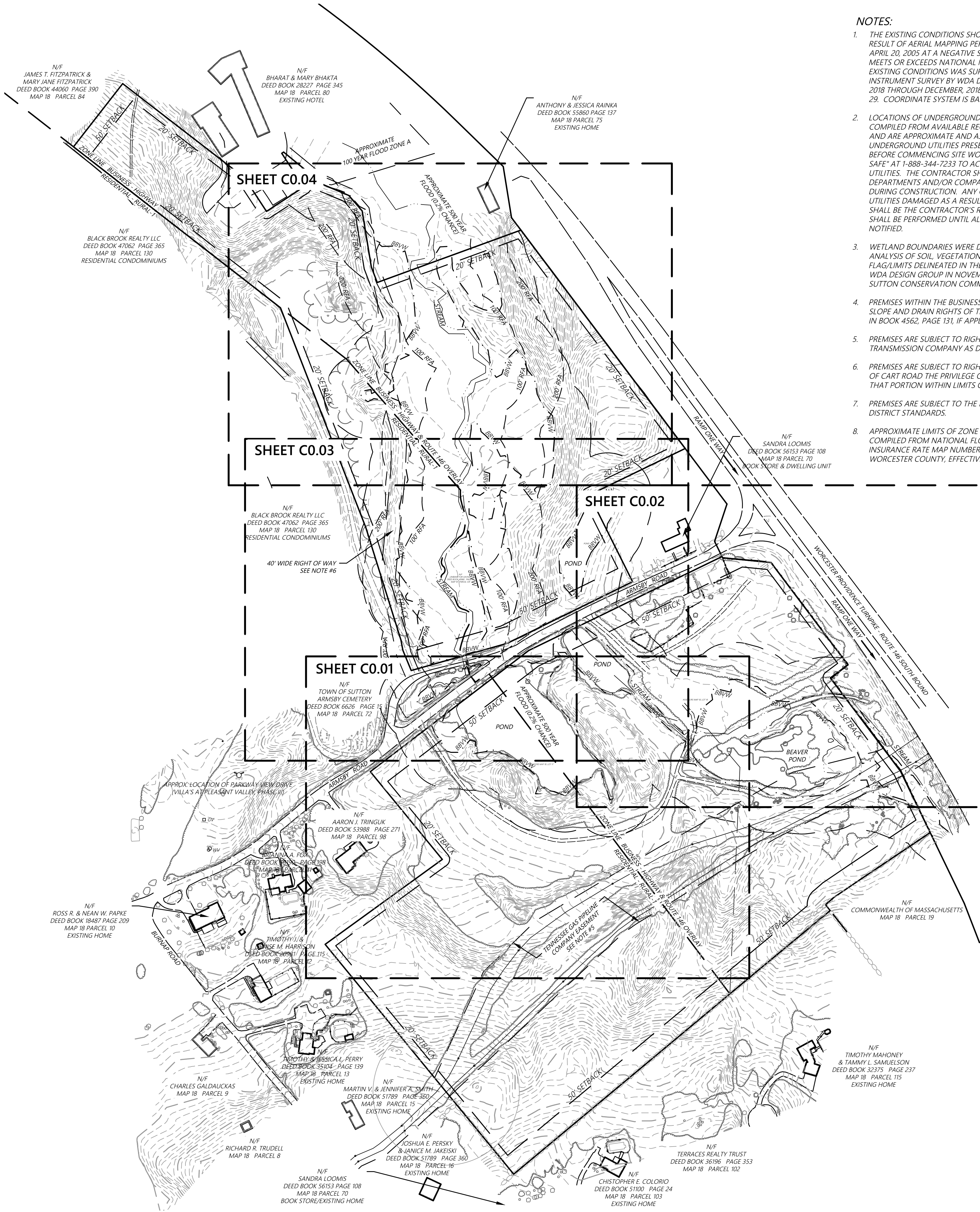
MINIMUM LOT AREA:
MINIMUM LOT FRONTAGE:
MINIMUM FRONT YARD:
MINIMUM SIDE YARD:
MINIMUM REAR YARD:
MAXIMUM BUILDING HEIGHT:
MAXIMUM LOT COVERAGE:
MINIMUM OPEN SPACE:

40,000 S.F. + 2,000 S.F.
200 FEET
50 FEET
20 FEET
50 FEET
35 FEET
50%
25%

"RESIDENTIAL-RURAL R-1"

MINIMUM LOT AREA:
MINIMUM LOT FRONTAGE:
MINIMUM FRONT YARD:
MINIMUM SIDE YARD:
MINIMUM REAR YARD:
MAXIMUM BUILDING HEIGHT:
MAXIMUM LOT COVERAGE:
MINIMUM OPEN SPACE:

80,000 S.F.
250 FEET
50 FEET
20 FEET
50 FEET
35 FEET
10%
N/A



NOTES:

1. THE EXISTING CONDITIONS SHOWN ON THIS BASE MAP ARE THE RESULT OF AERIAL MAPPING PERFORMED BY COL-EAST FLOWN ON APRIL 20, 2005 AT A NEGATIVE SCALE OF 1"=500'. AERIAL MAPPING MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS. THE EXISTING CONDITIONS WAS SUPPLEMENTED BY AN ON-THE-GROUND INSTRUMENT SURVEY BY WDA DESIGN GROUP, INC. IN OCTOBER, 2018 THROUGH DECEMBER, 2018. ELEVATIONS ARE BASED ON NGVD 29. COORDINATE SYSTEM IS BASED ON NAD 83.
2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT THAT ARE NOT DEPICTED. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY DEPARTMENTS AND/OR COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
3. WETLAND BOUNDARIES WERE DETERMINED IN THE FIELD BASED ON ANALYSIS OF SOIL, VEGETATION AND HYDROLOGY. WETLAND FLAG/LIMITS DELINEATED IN THE FIELD AND SURVEY LOCATED BY WDA DESIGN GROUP IN NOVEMBER, 2018, AND CONFIRMED BY THE SUTTON CONSERVATION COMMISSION ON 02/06/2019.
4. PREMISES WITHIN THE BUSINESS - HIGHWAY ZONE ARE SUBJECT TO SLOPE AND DRAIN RIGHTS OF THE TOWN OF SUTTON AS DESCRIBED IN BOOK 4562, PAGE 131, IF APPLICABLE.
5. PREMISES ARE SUBJECT TO RIGHTS OF TENNESSEE GAS TRANSMISSION COMPANY AS DESCRIBED IN BOOK 3329, PAGE 556.
6. PREMISES ARE SUBJECT TO RIGHTS OF PUBLIC AND OTHERS TO USE OF CART ROAD THE PRIVILEGE OF PASSING AND REPASSING OVER THAT PORTION WITHIN LIMITS OF CART ROAD.
7. PREMISES ARE SUBJECT TO THE ROUTE 146 CORRIDOR OVERLAY DISTRICT STANDARDS.
8. APPROXIMATE LIMITS OF ZONE A (AREAS OF 100-YEAR FLOOD) WERE COMPILED FROM NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBERS 25027C0836E AND 25027C0840E, WORCESTER COUNTY, EFFECTIVE JULY 4, 2011.

WAIVERS GRANTED:

SITE PLAN REVIEW:

- IV.C. - TO ALLOW AN INITIAL FILING FEE DEPOSIT OF \$7,000.00 WITH FURTHER DEPOSITS IF FUNDS ARE EXPENDED.

SUBDIVISION RULES & REGULATIONS:

- 4.A.2.F. - TO ALLOW A CENTERLINE RADII OF BETWEEN 40' AND 200' FOR CURVED STREETS.
- 4.A.2.K. - TO ALLOW A ROADWAY CROSS SECTION DIFFERENT FROM THAT SHOWN IN THE APPENDIX PER THE APPROVED PLANS AND PER RELATED WAIVERS.
- 4.A.3 - TO ALLOW WIDTH OF STREETS AT 18', 22' OR 24'.
- 4.B.2.B. - TO ALLOW THE USE OF CPE (PLASTIC) PIPE WITH MINIMUM 2' COVER INSTEAD OF RCP (CONCRETE) PIPE WITH MINIMUM 4' COVER FOR STORM DRAINS.
- 4.B.2.F. - TO ALLOW THE USE OF FLARED END SECTIONS ON SOME DRAIN OUTLETS AS OPPOSED TO HEADWALLS PER THE APPROVED PLANS.
- 4.F.1-3 - TO ALLOW 20' WIDE UTILITY EASEMENTS AND THE ELIMINATION OF CONSTRUCTION EASEMENTS EXCEPT FOR THOSE EASEMENTS REQUIRED FOR THE SEWER PUMP STATION AND ACCESS THERETO.
- 5.E.2. & 5.F.2. - TO ALLOW EXCAVATION OF ROAD SUB-BASE AND INSTALLATION OF SUB-BASE GRAVEL IN AMOUNTS LESS THAN REQUIRED BY THE SUBDIVISION RULES AND REGULATIONS WITH THE APPROVAL OF THE TOWN'S CONSULTING ENGINEER THROUGH A MUTUALLY AGREED TO PROCESS.
- 5.G.1 - TO ALLOW CAPE COD BITUMINOUS CURBS.
- 5.I.1. - TO ALLOW ELIMINATION OF SIDEWALKS IN LIEU OF WALKING PATHS THROUGHOUT THE ENTIRE PROJECT PER THE APPROVED PLANS.
- 5.M. - TO REQUIRE CONCRETE MONUMENTS MARKING THE EASEMENT FOR THE SEWER PUMP STATION AND ALLOW 36" IRON ROD MONUMENTS FOR THE ACCESS THERETO IF REQUIRED BY THE SEWER SUPERINTENDENT.

CONTINUED CARE RETIREMENT COMMUNITY BYLAW:

- VI.I.4 - TO ALLOW RESIDENCES WITHIN THE 70' SETBACK PER THE APPROVED PLANS.
- VI.I.5.E. - TO ALLOW WORK ON SLOPES OVER 15%.

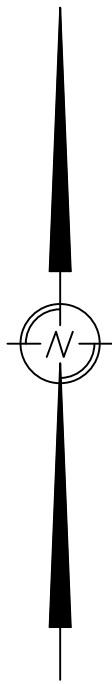
GROUNDWATER PROTECTION DISTRICT:

- V.B.6.C.5. - TO ALLOW 141 ARMSBY ROAD TO BE 15.8% IMPERVIOUS.

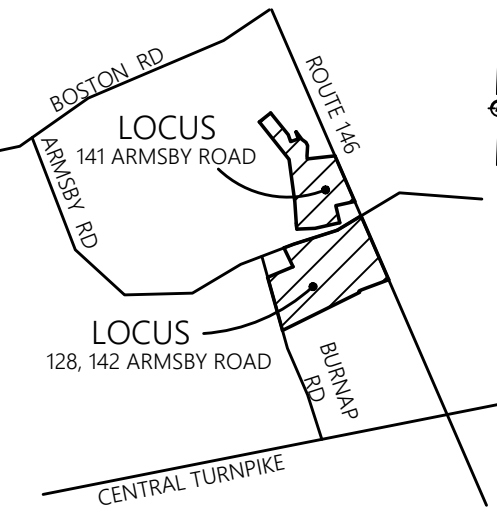
ROUTE 146 OVERLAY DISTRICT BYLAW:

- V.D.4.A.3 - TO ALLOW WORK ON SLOPES IN EXCESS OF 15%.

BASIS OF BEARINGS:



MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM, MAINLAND ZONE



LOCUS MAP

N.T.S.

CONDITIONALLY APPROVED
SUTTON PLANNING BOARD

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

THIS DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS THE SOLE PROPERTY OF WDA DESIGN GROUP, INC. ITS USE BY THE OWNER FOR OTHER PROJECTS OR FOR COMPLETION OF THIS PROJECT BY OTHERS IS STRICTLY FORBIDDEN. DISTRIBUTION IN CONNECTION WITH THIS PROJECT SHALL NOT BE CONSTRUED AS PUBLICATION OR DEROGATION OF WDA DESIGN GROUP'S RIGHTS. 6/20/20, WDA DESIGN GROUP, INC.

REV.	DATE	DESCRIPTION	INIT.
G	08/21/20	SIGNATURE SET - TOWN COMMENTS	
F	08/27/19	TOWN COMMENTS	
E	08/21/19	TOWN COMMENTS	
D	07/31/19	TOWN COMMENTS	
C	06/26/19	NOTICE OF INTENT	
B	05/15/19	TOWN COMMENTS	
A		INITIAL ISSUE	

PREPARED BY:



31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
7 CENTRAL STREET PROVIDENCE, RI | 401.274.1360
WDA-036.COM

OWNER:

COMPTON PROPERTY
DEVELOPMENT, LLC

699 Boylston Street, 12th Floor
Boston, MA

PREPARED FOR:

COMPTON PROPERTY
DEVELOPMENT, LLC

699 Boylston Street, 12th Floor
Boston, MA

TITLE:

OVERALL EXISTING
CONDITIONS PLAN

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: 1" = 150'			
JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	PJS	SHEET:	
CHK'D. BY:	PJS		C0.00



LOCUS
128, 141 ARMSBY ROAD
SUTTON, MA

LOCUS MAP
N.T.S.

CONDITIONALLY APPROVED
SUTTON PLANNING BOARD

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TITLE:

**EXISTING CONDITIONS
PLAN**

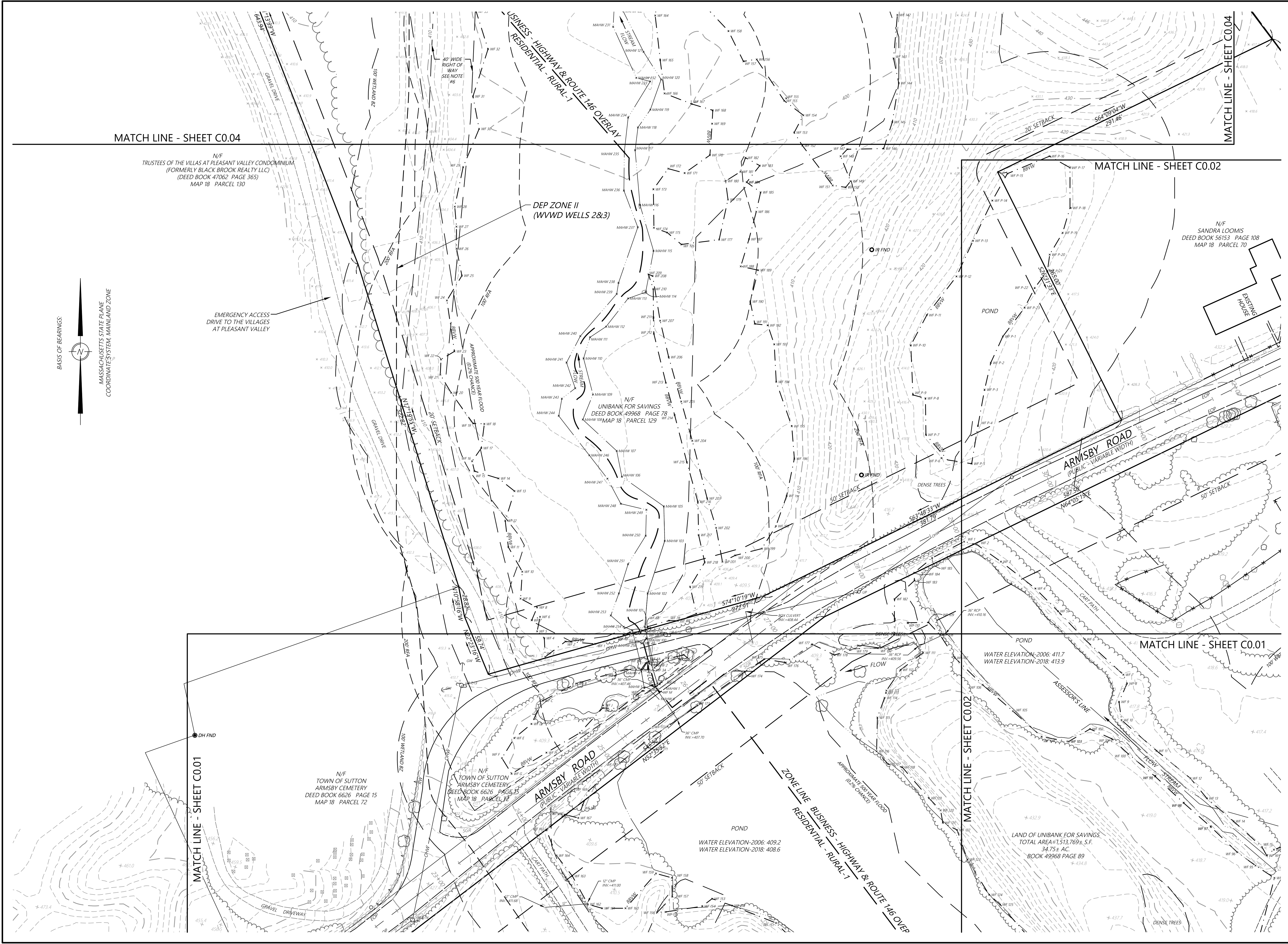
WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: 1" = 40'

0 40 80 120

JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	PJS	SHEET:	
CHK'D. BY:	PJS		C0.01



LOCUS
N.T.S.

CONDITIONALLY APPROVED
SUTTON PLANNING BOARD

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**WDA
DESIGN
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31 EAST MAIN STREET WESTBOROUGH, MA 1 508.366.6552
7 CENTRAL STREET PROVIDENCE, RI 1 401.274.1360
WDA-DIG.COM

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**EXISTING CONDITIONS
PLAN**

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
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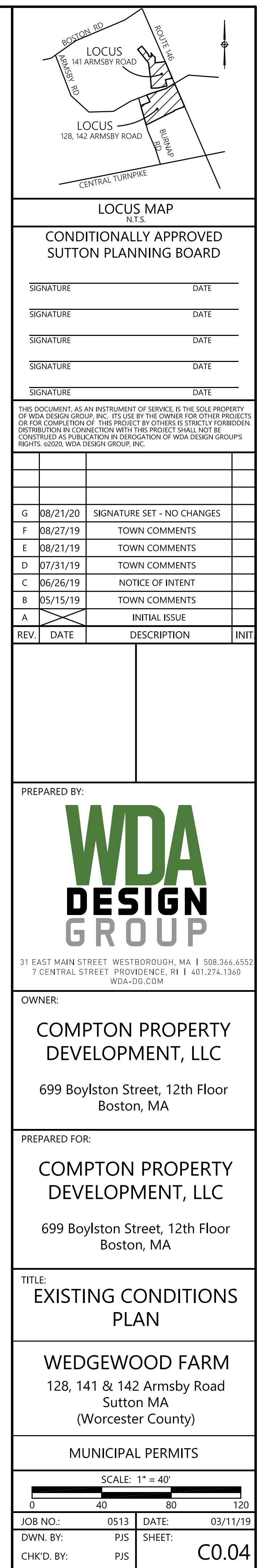
MUNICIPAL PERMITS

SCALE: 1" = 40'

0 40 80 120

JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	PJS	SHEET:	
CHK'D. BY:	PJS		

C0.03



DESCRIPTION	EXISTING	PROPOSED
ACRES	AC	AC
AIR CONDITIONING UNIT	AC	AC
BAY DOOR	BD	BD
BITUMINOUS CONCRETE	BIT. CONC.	BIT. CONC.
BITUMINOUS CONCRETE CURB	BCC	BCC
BITUMINOUS CONCRETE WALKWAY	BCW	BCW
BOLLARD POST	BP	BP
BUILDING	BLDG	BLDG
CALCULATED	(C)	
CAPE COD BERM	CCB	CCB
CAST IRON	CI	CI
CATCH BASIN	CB	CB
CEMENTED LINE DUCTILE IRON	CLDI	CLDI
CHAIN LINK FENCE	CLF	CLF
CONCRETE	CONC.	CONC.
CONCRETE BOUND	CB	CBND
CONCRETE BOUND W/DRILL HOLE	CB/DH	CBND/DH
CONCRETE CURB	CC	CC
CONCRETE PAD	CP	CP
CONCRETE RETAINING WALL	CRW	CRW
CONCRETE WALKWAY	CW	CW
CONTOUR LINE	ISO	ISO
CORRUGATED METAL PIPE	CMP	CMP
CROSSWALK	X-WALK	X-WALK
CURB CUT & RAMP	CCR	CCR
CURB TOP AND BOTTOM ELEVATIONS	BC	BC
DEED	(D)	
DOOR	D	D
DOUBLE CATCH BASIN	DCB	DCB
DRAIN MANHOLE/DRAIN LINE	DMH	DMH
DRILL HOLE	DH	DH
DROP INLET	DI	DI
EDGE OF PAVEMENT	EOP	EOP
ELECTRIC BOX	EB	EB
ELECTRIC HAND HOLE	EHH	EHH
ELECTRIC MANHOLE/ELECTRIC LINE	EMH	EMH
EROSION CONTROL BARRIER	ECB	ECB
FIRE ALARM/FIRE ALARM LINE	FA	FA
FLARED END	FE	FE
FOUND	(FND)	
FOUNDATION DRAIN	FD	FD
GARAGE DOOR	GD	GD
GAS GATE/GAS LINE	G	G
GAS METER	GM	GM
GUY POLE	GP	GP
GUY WIRE	GW	GW
HANDICAP ACCESSIBLE PARKING SPACE		HPX 150.25
HIGHPOINT		HYD 150.25
HYDRANT	HYD	HYD
INVERT	INV.	INV.
IRON PIN	IP	IP
IRON ROD	IR	IR
LIGHT POLE	LP	LP
NOT TO SCALE	N.T.S.	N.T.S.
NOW OR FORMERLY	N/F	N/F
OVERHANG	OH	OH
OVERHEAD WIRE	OHW	OHW
PLUS OR MINUS	±	±
POLYVINYL CHLORIDE PIPE	PVC	PVC
POST INDICATOR VALVE	PIV	PIV
REINFORCED CONCRETE PIPE	RCP	RCP
ROOF DRAIN	RD	RD
SEWER MANHOLE/SEWER LINE	SMH	SMH
SIGN	S	S
SLOPED GRANITE CURB	SGC	SGC
SLOT ELEVATION	X 150.25	X 150.25
SQUARE FEET	S.F.	S.F.
STEEL GUARDRAIL	SGR	SGR
STEEL HAND RAIL	SHR	SHR
STOCKADE FENCE	STF	STF
STONE BOUND	SB	SBND
STONE BOUND W/DRILL HOLE	SB/DH	SBND/DH
STONE RETAINING WALL	SRW	STW
TELEPHONE MANHOLE/TELEPHONE LINE	TMH	TMH
TEST PIT	TP	TP
TRANSFORMER	T	T
TREE LINE		
UTILITY POLE	UP	UP
VERTICAL GRANITE CURB	VGC	VGC
WALL LIGHT	WL	WL
WATER COURSE (STREAM, BROOK)	W	W
WATER GATE/WATER LINE	WG	WG
WATER SHUT OFF	WSO	WSO

USE SHEET C0.00 FOR GENERAL NOTES AND REFERENCES AND SHEET C1.00 FOR LEGEND.

2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT AT THE SITE. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

3. CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).

4. CONTRACTOR SHALL OBTAIN PERMIT(S) FOR DEMOLITION (PER 310 CMR 7 & 18, 19 AND 453 CMR 6) AS APPLICABLE. ALL MATERIALS NOTED FOR REMOVAL OR DEMOLITION, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.

5. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING BETWEEN THE PLANNING BOARD AND/OR ITS AGENT, THE APPLICANT, AND THE CONTRACTOR SHALL BE HELD. THE MEETING SHALL BE SCHEDULED PER TOWN OF SUTTON REQUIREMENTS.

6. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE AND CONVENIENT ACCESS FOR REPRESENTATIVES OF THE TOWN OF SUTTON BOARDS AND AGENCIES TO ALL PARTS OF THE PROJECT FOR THE PURPOSES OF INSPECTION.

7. THERE SHALL BE NO PARKING OF CONSTRUCTION VEHICLES OR EQUIPMENT; HAULING VEHICLES OR WORKER VEHICLES; OR ENGINE IDLING OF VEHICLES OR MACHINERY ON ROUTE 146, THE ROUTE 146 RAMPS, OR ARMSBY ROAD AT ANY TIME.

8. NO DEMOLITION OR CONSTRUCTION MATERIAL MAY BE DISPOSED ON SITE.

9. ALL EXISTING SITE FEATURES THAT ARE NOT SPECIFICALLY NOTED TO BE REMOVED SHALL BE PRESERVED AND PROTECTED AT ALL TIMES DURING CONSTRUCTION.

10. CONTRACTOR TO CONFIRM SIZE AND DISPOSITION OF ALL UTILITIES TO SITE AND COORDINATE REMOVAL/RELOCATION OF PRIVATE UTILITIES TO/WITHIN SITE WITH RESPECTIVE UTILITY COMPANIES.

11. MAINTAIN AND PROTECT ALL EXISTING ON-SITE UTILITY AND DRAINAGE LINES AND STRUCTURES AND UTILITY POLES UNLESS OTHERWISE NOTED.

12. EXISTING PAVEMENT SHALL BE SAW CUT AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.

13. PRIOR TO CONSTRUCTION, APPROPRIATE TREE PROTECTION SHALL BE PLACED AROUND ALL EXISTING TREES TO BE PRESERVED AND PROTECTED. REFER TO DETAILS.

14. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN THE ORDER OF CONDITIONS (DEP FILE NO. _____) ISSUED BY THE SUTTON CONSERVATION COMMISSION. ADDITIONALLY, THE CONTRACTOR SHALL PROVIDE A FINAL STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL READ AND SIGN THE SWPPP AND SHALL BE RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF THE SWPPP.

15. PROVIDE INLET SEDIMENT CONTROL DEVICES AT ALL EXISTING CATCH BASINS AND DRAINAGE STRUCTURES TO REMAIN WITHIN 50 FEET OF THE LIMIT OF WORK OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL INLET SEDIMENT CONTROL DEVICES THROUGHOUT ALL PHASES OF CONSTRUCTION UNTIL DISTURBED LAND SURFACES ARE PERMANENTLY STABILIZED. REFER TO DETAIL.

16. CONSTRUCTION ENTRANCES (ANTI-TRACKING PAD) SHALL BE USED TO MINIMIZE OFF-SITE MOVEMENT OF SOIL BY VEHICLES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPLICABLE TOWN AUTHORITIES TO DETERMINE THE LOCATIONS OF THE CONSTRUCTION ENTRANCES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCES FOR THE DURATION OF CONSTRUCTION TO PREVENT TRACKING OR FLOW OF SEDIMENT ONTO ADJACENT PROPERTIES AND/OR PUBLIC RIGHTS-OF-WAY.

17. SEDIMENT SHALL BE RETAINED ON-SITE WITHIN THE LIMITS OF THE EROSION CONTROL BARRIERS AND REMOVED REGULARLY. UPON DISCOVERY, THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY SOIL OR DEBRIS WHICH ERODES FROM THE SITE ONTO ADJOINING PRIVATE PROPERTY OR TOWN STREETS.

18. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS DURING CONSTRUCTION TO MINIMIZE THE RUNOFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS, CALCIUM CHLORIDE OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SURROUNDING RESOURCE AREAS, WATER SUPPLIES AND SURFACE WATERS. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.

19. CONTRACTOR SHALL NOT PERMIT SEDIMENT LADEN WATERS TO ENTER DRAINAGE FACILITIES. SPECIAL ATTENTION SHALL BE GIVEN TO AREAS FOR PROPOSED STORMWATER INFILTRATION SYSTEMS. CONTRACTOR SHALL UTILIZE TEMPORARY SEDIMENT PITS/BASINS AS NECESSARY.

20. MEASURES FOR CONTROL OF EROSION MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED BEYOND LEVELS ESTABLISHED BY THE STATE OR OTHER CONTROLLING BODY, IN WATERS USED FOR PUBLIC SUPPLY OR FISHING UNLESS OTHER LIMITS HAVE BEEN ESTABLISHED FOR THE PARTICULAR WATER.

21. EROSION CONTROLS SHALL BE INSPECTED AFTER EACH RAINFALL EVENT GREATER THAN 1/2 INCH AND ONCE PER MONTH DURING CONSTRUCTION AND CONTINUE UNTIL FINAL SITE STABILIZATION.

22. AN ADEQUATE SUPPLY OF HAYBALES, CRUSHED STONE, AND INLET SEDIMENT CONTROL DEVICES SHALL BE KEPT ON SITE DURING CONSTRUCTION FOR ROUTINE OR EMERGENCY REPAIRS TO EROSION / SEDIMENTATION CONTROL BARRIERS. THIS SUPPLY SHALL BE STORED IN AN AREA PROTECTED FROM THE ELEMENTS.

23. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED AND TO PROVIDE ADDITIONAL FACILITIES OVER THE ABOVE MINIMUM REQUIREMENTS.

24. AT A MINIMUM, THE FOLLOWING SHALL APPLY:

- TREES, STUMPS AND BRUSH SHALL BE REMOVED IN ACCORDANCE WITH TOWN OF SUTTON LAND CLEARING REGULATIONS AND PER THE APPROVED PLANS.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SUCH AS SILTATION FENCE BACKED BY STAKED BALES OF HAY SHALL BE PROVIDED AS SHOWN OR AS OTHERWISE REQUIRED TO REDUCE THE SEDIMENT CONTENT OF THE WATER. SUFFICIENT BALES OF HAY SHALL BE PROVIDED SUCH THAT ALL FLOW WILL FILTER THROUGH THE HAY. OTHER METHODS WHICH REDUCE THE SEDIMENT CONTENT TO AN EQUAL OR GREATER DEGREE MAY BE USED AS APPROVED BY THE ENGINEER.
- DRAINAGE LEAVING THE SITE SHALL FLOW TO WATER COURSES IN SUCH A MANNER TO PREVENT EROSION.
- LOAMING AND SEEDING OR MULCHING OF EXPOSED AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING AND MAINTAINING AND/OR REPLACING EROSION CONTROL MEASURES AS APPROPRIATE.

25. SILTATION/SEDIMENTATION PONDS

- SILTATION/SEDIMENTATION BASINS SHALL BE INSTALLED ON SITE TO DE-SILT ALL STORMWATER OR WATER PUMPED FROM EXCAVATIONS.
- PROPOSED DETENTION AND INFILTRATION BASINS MAY BE UTILIZED AS SILTATION PONDS PROVIDED THAT TOPSOIL AND SUBSOIL IS NOT STRIPPED FROM THE BOTTOM OF THE BASINS.
- IF ADDITIONAL SILTATION CONTROL IS REQUIRED, CHECK DAMS OR SILT FENCES MAY BE PLACED IN DITCHES RECEIVING STORMWATER FROM AREAS DISTURBED BY CONSTRUCTION, UPON APPROVAL OF THE ENGINEER.
- SEDIMENTATION BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER FACILITIES TO RECEIVE DISCHARGE FROM SILTATION/SEDIMENTATION PONDS.
- FOLLOWING STABILIZATION OF UPSTREAM TRIBUTARY AREAS, TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM BASINS AND FREE-DRAINING SOIL FILL MATERIAL PLACED FROM PARENT MATERIAL UP TO SUBGRADE. BASIN BOTTOMS SHALL RECEIVE FINAL LOAM AND SEED.

26. PLACING EROSION CONTROL BLANKETS (SLOPE STABILIZATION) IF REQUIRED:

- SEED AND FERTILIZER SHALL BE PLACED PRIOR TO THE PLACING OF MATTING.

27. DRAINAGE DIVERSION

- CONTRACTOR SHALL DIVERT THE SURFACE RUNOFF WATER AROUND THE SITE AS MAY BE REQUIRED.
- DRAINAGE SHALL BE RESTORED TO CONDITION EXISTING PRIOR TO CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

28. TEMPORARY SOIL STOCKPILES

- SHOWN AS APPROXIMATE ONLY; CAN BE RELOCATED AS NECESSARY.
- STOCKPILES SHALL BE LOCATED OUTSIDE THE LIMITS OF THE 200' RIVERFRONT AREA AND 100' WETLAND BUFFER ZONES.
- IF STOCKPILES ARE TO REMAIN FOR LONGER THAN 7 DAYS, PILE SHALL BE COVERED BY A TARP (PREFERRED) OR HYDROSEEDED WITH WINTER RYE AND SURROUNDED BY SILT FENCE.

29. USE OF POLYMERS, FLOCULANTS OR OTHER TREATMENT CHEMICALS:

- USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL (E.G. SEDIMENT BASIN, PERIMETER CONTROL) PRIOR TO DISCHARGE.
- CONTRACTOR SHALL SELECT TREATMENT CHEMICALS THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION AND DISCARDED TO LOCATIONS WHERE CHEMICALS WILL BE APPLIED, AND TO THE EXPECTED TURBIDITY, PH, AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.
- MINIMIZE DISCHARGE RISK FROM STORED CHEMICALS BY STORING ALL TREATMENT CHEMICALS IN LEAK-PROOF CONTAINERS THAT AREA KEPT UNDER STORM-RESISTENT COVER AND SURROUNDED BY SECONDARY CONTAINMENT STRUCTURES (E.G. SPILL BERMS, DECKS, SPILL CONTAINMENT PALETS), OR PROVIDE EQUIVALENT MEASURES DESIGNED AND MAINTAINED TO MINIMIZE THE POTENTIAL DISCHARGE OF TREATMENT CHEMICALS IN STORMWATER OR BY ANY OTHER MEANS (E.G. STORING CHEMICALS IN COVERED AREA OR HAVING A SILT KIT AVAILABLE ON SITE).
- CONTRACTOR SHALL COMPLY WITH RELEVANT STATE AND LOCAL REQUIREMENTS AFFECTING THE USE OF TREATMENT CHEMICALS.
- CONTRACTOR SHALL USE TREATMENT CHEMICALS AND CHEMICAL TREATMENT SYSTEMS IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS, OR DOCUMENT SPECIFIC DEPARTURES FROM THESE PRACTICES OR SPECIFICATIONS AND HOW THEY REFLECT GOOD ENGINEERING PRACTICE.
- CONTRACTOR SHALL ENSURE THAT ALL PERSONS WHO HANDLE AND USE TREATMENT CHEMICALS AT THE CONSTRUCTION SITE ARE PROVIDED WITH APPROPRIATE, PRODUCT-SPECIFIC TRAINING. AMONG OTHER THINGS, THE TRAINING MUST COVER PROPER DOSING REQUIREMENTS.

30. STREET SWEEPING SHALL BE CONDUCTED PER THE CONDITIONS OF THE SPECIAL PERMIT AND SITE PLAN APPROVAL UNTIL SURFACES ARE PERMANENTLY STABILIZED.

31. DUST SHALL BE MANAGED BY WATERING AND/OR DUST PALLIATIVE, PER THE CONDITIONS OF THE SPECIAL PERMIT AND SITE PLAN APPROVAL.

32. DISTURBED AREAS SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE UNLESS CONSTRUCTION ACTIVITIES WILL RESUME ON THAT PORTION OF THE SITE WITHIN 10 DAYS.

33. UPON COMPLETION OF CONSTRUCTION, THE ENTIRE AREA WITHIN THE LIMITS OF WORK SHALL BE CLEANED SO AS TO LEAVE A NEAT AND ORDERLY APPEARANCE FREE FROM DEBRIS AND OTHER OBJECTIONABLE MATERIALS. ALL EXISTING CATCH BASINS WITHIN 50 FEET OF THE LIMIT OF WORK SHALL BE PROPERLY LEANED.

SEE SHEET C02.00 FOR GENERAL NOTES AND REFERENCES AND SHEET C10.00 FOR LEGEND.

2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT AT THE SITE. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

3. CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).

4. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN THE ORDER OF CONDITIONS (DEP FILE No. _____) ISSUED BY THE SUTTON CONSTRUCTION COMMISSION.

5. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 16 AND 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.

6. ALL DISTURBED AREAS SHALL BE LOADED (SIX INCHES DEPTH) AND SEEDED (SUITABLE GRASS SEED MIX) UNLESS OTHERWISE SPECIFIED ON THE PLANS.

7. EXISTING PAVEMENT SHALL BE SAW CUT, AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.

8. ALL UTILITY COVERS, GRATES, HATCHES, ETC., SHALL BE FLUSH WITH THE PAVEMENT FINISHED GRADE.

9. FINAL GRADES SHALL BE PITCHED EVENLY BETWEEN SPOT ELEVATIONS.

10. ALL SLOPES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION (PER 521 CMR 23.4.3).

11. ALL SLOPES IN ACCESSIBLE WALKWAYS SHALL NOT EXCEED 5% (PER 521 CMR 23.2.3) AND SHALL NOT HAVE A CROSS SLOPE OF MORE THAN 2% (PER 521 CMR 22.0.1).

12. RIPRAP APRONS SHALL BE PROVIDED AT ALL FLARED ENDS AND HEADWALLS.

13. RETAINING WALL(S) TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALL(S) WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO THE STATE BUILDING CODE (780 CMR, SECTIONS 105.2 AND 1807.2).

14. CONTRACTOR SHALL CONFIRM DEPTH(S) OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.

15. PIPE LENGTHS/SLOPES ARE MEASURED CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.

16. ALL DRAIN PIPE SHALL BE CLASS III RCP (ASTM C76) OR CPE TYPE 5 (AASHTO M252 AND M294), UNLESS OTHERWISE NOTED.

17. ALL GRAVITY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D3034) WITH WATERTIGHT INTEGRAL BELT GASKETED JOINT (ASTM D3212) AND ELASTOMERIC GASKET (ASTM F477), UNLESS OTHERWISE NOTED.

18. ALL FORCE MAIN SEWER PIPE SHALL BE SDR 21 PVC (200 PSI RATED, ASTM D2244) WITH WATERTIGHT JOINTS (ASTM D2672 OR D3212 AS ALLOWED), UNLESS OTHERWISE NOTED.

19. ALL WATER MAIN PIPE AND FITTINGS SHALL BE CLDI CLASS 52 (ANWWA C151, C110 & C104) WITH RUBBER GASKETED JOINTS (ANWWA 111), UNLESS OTHERWISE NOTED. ALL WATER SERVICES TO BE PRESSURE RATED PE OR COPPER AS REQUIRED/ APPROVED BY DPW. PROVIDE 5' MIN. COVER. ALL VALVES SHALL OPEN PER TOWN OF SUTTON STANDARDS.

20. EACH UNIT SHALL BE PROVIDED WITH A WATER SERVICE (TO BE SIZED BY PLUMBING ENGINEER). WATER SERVICE SHALL INCLUDE A CORPORATION STOP AT THE MAIN AND A WATER SHUT OFF NEAR THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLANS WITH UNIT PLUMBING DRAWINGS FOR WATER SERVICE SIZE.

21. WHERE 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS CANNOT BE MAINTAINED, CROWN OF SEWER MAIN SHALL BE 18" BELOW BOTTOM OF WATER MAIN, IN ACCORDANCE WITH SECTION 97.2 OF MASS. DEP "GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" (AS DEFINED IN 310 CMR 22.02).

22. PROPOSED GAS, ELECTRIC, TELEPHONE AND CABLE DEPENDENT IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR FINAL PLANS AND SPECIFICATIONS.

23. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARYED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.

2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT AT THE SITE. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES AS OUTLINED BY THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
5. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS GROWING. IT SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
6. THE QUALITY OF ALL TREES AND SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTING.
7. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FORTY EIGHT (48) HOURS PRIOR TO THE PLANT MATERIAL BEING DELIVERED TO THE PROJECT SITE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DIRECT THE PLACEMENT OF PLANT MATERIAL.
8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT THE SITE. MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE PROPERTY BY THE LANDSCAPE CONTRACTOR AND REPLACED WITH IN-KIND MATERIAL APPROVED BY LANDSCAPE ARCHITECT AT AN ADDITIONAL COST TO THE OWNER.
9. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASING.
10. INCLUDE IN BID A TWELVE (12) MONTH WARRANTY TO REPLACE DEAD OR DYING PLANTS. THE WARRANTY PERIOD SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION FOR THE PLANTING INSTALLATION. DURING THE WARRANTY PERIOD, ANY REPLACEMENTS SHALL BE AT NO ADDITIONAL COST TO OWNER.
11. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED TWELVE (12) INCHES ABOVE THE TOP OF THE ROOTBALL.
12. ALL CONIFERS MATERIAL SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
13. ALL NEW TREES PROPOSED ADJACENT TO SIDEWALKS SHALL ACHIEVE A 6'-8" MIN. BRANCHING STANDARD AT TIME OF PLANTING.
14. ALL TREE PLANTINGS TO MAINTAIN A TEN (10) FOOT HORIZONTAL SEPARATION FROM EXISTING AND PROPOSED DRAINAGE / UTILITY LINES AND STRUCTURES UNLESS OTHERWISE NOTED. PRIOR TO PLANTING, THE CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY AND DRAINAGE PLANS.
15. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE BEST FACE SHOWING.
16. ALL PLANTING BEDS ARE TO BE CROWNED WITH TOPSOIL ABOVE ADJACENT AREAS. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT PLANT BEDS ARE GRADED IN SUCH A MANNER AS TO MAINTAIN PROPER DRAINAGE PATTERNS AWAY FROM BUILDING FOUNDATIONS AND TOWARD THE SITE DRAINAGE SYSTEM.
17. MULCH ALL LANDSCAPE ISLANDS WITHIN PARKING AREAS AND PLANT BEDS WITH CLEAN, SHREDDED PINE BARK MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES IN PLACE UNLESS OTHERWISE NOTED. PROVIDE A CONTINUOUS MULCH BED AROUND ALL SHRUB, PERENNIAL AND ANNUAL PLANTINGS AS INDICATED ON THE PLANS. PROVIDE A MULCHED BED WITH A DIAMETER OF SIX (6) FEET AROUND ALL TREE PLANTINGS LOCATED WITHIN LAWN AREAS. PRIOR TO SPREADING MULCH, APPLY A WEED PREVENTER SUCH AS "TRELLAN" OR APPROVED EQUAL. FOLLOW MANUFACTURER'S DIRECTIONS. HOWEVER, PER 927 CMR 10.13 3.4.4, MULCH SHALL NOT BE NEWLY APPLIED WITHIN EIGHTEEN (18) INCHES OF ANY COMBUSTIBLE PORTION OF ANY BUILDING (EXCEPTION: ANY BUILDING REGARDLESS OF THE EXISTENCE OF FIRE SAFETY STRUCTURES, CONTAINING SIX DWELLING UNITS OR LESS). FOR PORTIONS OF PLANT BEDS WHERE MULCH IS NOT PERMITTED, THE LANDSCAPE CONTRACTOR SHALL PROVIDE DECORATIVE LANDSCAPE STONE TO A MINIMUM DEPTH OF SIX INCHES OVER WEED BARRIER FABRIC AND EDGED WITH BLACK STEEL LANDSCAPE EDGING UNLESS OTHERWISE NOTED. THE TYPE, SIZE, AND COLOR OF STONE TO BE SELECTED BY THE LANDSCAPE ARCHITECT.
18. LAWN AND DISTURBED AREAS ARE TO BE LOAMED (MINIMUM DEPTH OF SIX (6) INCHES) AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS UNLESS OTHERWISE NOTED.
19. LAWN AND DISTURBED AREAS ARE TO BE SEEDED UNLESS OTHERWISE NOTED. APPLICATION RATES AND PLANTING PREFERENCES PER MANUFACTURER. SEED MIXES SHALL BE AS FOLLOWS:
 - Meadow Seed Mix: "NEW ENGLAND CONSERVATION/WILDLIFE MIX" AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA. SEED MIX TO BE APPLIED AT 25 LBS/ACRE [1750 SQ FT/LBS]
 - Drainage Basin Seed Mix: "NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA. SEED MIX TO BE APPLIED AT 35 LBS/ACRE [1250 SQ FT/LBS]
 - Lawn Areas Seed Mix: LAWN SEED MIXTURE SHALL BE STANDARD GRADE SEED OF THE MOST RECENT SEASON'S CROP. SEED SHALL BE DRY AND FREE OF MOLD. SEED SHALL BE INOCULATED WITH ENDOPHYTES. SEED MIXTURE SHALL BE:



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G	08/21/20	SIGNATURE SET - NO CHANGES	
F	08/27/19	TOWN COMMENTS	
E	08/21/19	TOWN COMMENTS	
D	07/31/19	TOWN COMMENTS	
C	06/26/19	NOTICE OF INTENT	
B	05/15/19	TOWN COMMENTS	
A	05/15/19	INITIAL ISSUE	
REV.	DATE	DESCRIPTION	INIT.

PREPARED BY:

The logo for WDA Design Group, featuring the letters "WDA" in a large, bold, green font, with "DESIGN" in a smaller, bold, black font, and "GROUP" in a smaller, bold, grey font below it.

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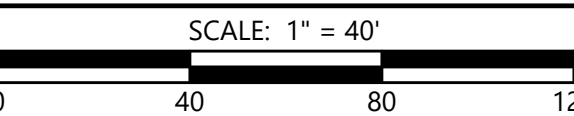
TITLE:

GENERAL NOTES

WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS



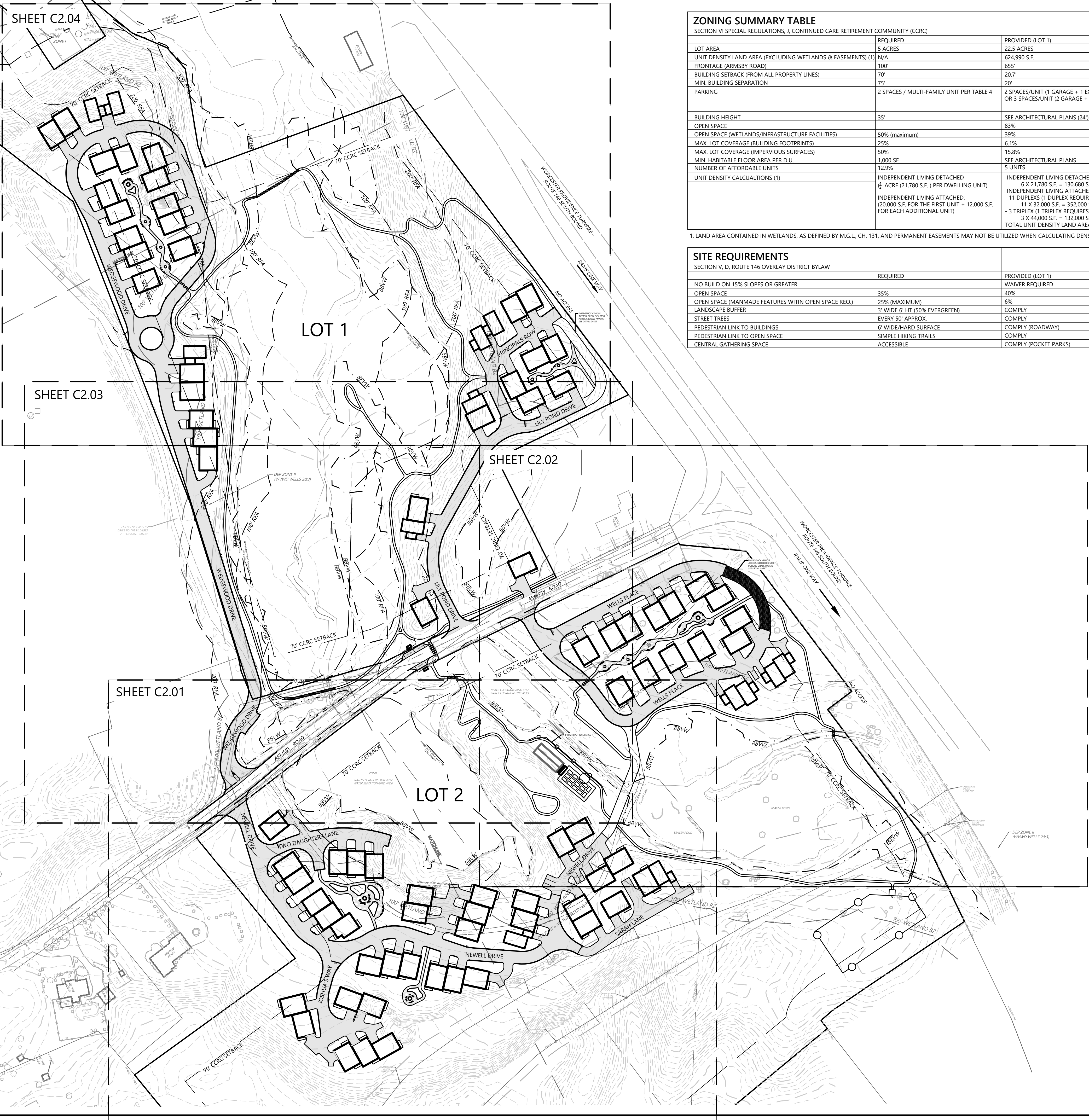
JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	CMP	SHEET:	C1.00
CHK'D. BY:	PJB		

SIGNAGE NOTES:

1. MUTCD REFERS TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 1988 EDITION (AS AMENDED AND/OR STANDARD HIGHWAY SIGNS, 1979 (AS AMENDED), BOTH ISSUED BY THE USDOT/FHWA.
2. STREET SIGNS TO BE DESIGNED BY OWNER.
3. DESIGN AND PERMITTING OF SITE IDENTIFICATION SIGNAGE BY OTHERS IN COORDINATE WITH TOWN RULES AND REGULATIONS.

SIGNAGE SUMMARY TABLE:

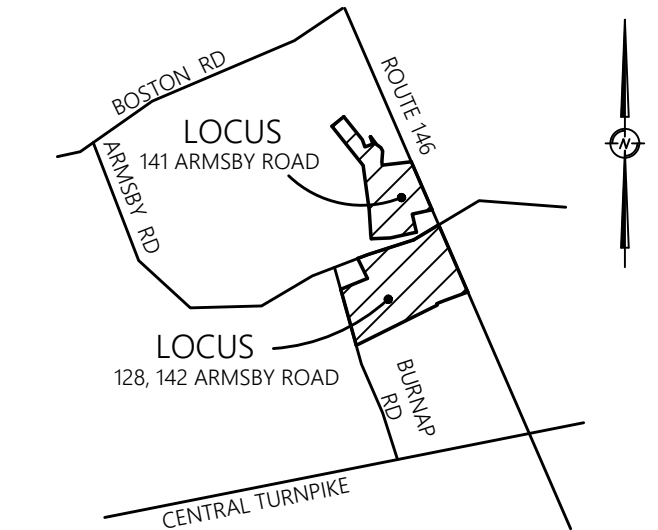
QTY	MUTCD NUMBER / SIGN I.D.	SIZE OF SIGN		PANEL STYLE
		WIDTH	HEIGHT	
7	R1-1	30"	30"	
1	R6-1R	30"	30"	
8	R5-1	12"	18"	
7	R1-6	12"	18"	
4	W14-1aR & W14-1aL	30"	30"	
2	R5-11	30"	30"	
18	RL-100	12"	18"	
18	RL-090	12"	18"	
1	R7-ACC	12"	18"	



ZONING SUMMARY TABLE			
SECTION VI SPECIAL REGULATIONS, J, CONTINUED CARE RETIREMENT COMMUNITY (CCRC)			
LOT AREA	REQUIRED	PROVIDED (LOT 1)	PROVIDED (LOT 2)
UNIT DENSITY LAND AREA (EXCLUDING WETLANDS & EASEMENTS) (1)	5 ACRES	22.5 ACRES	34.7 ACRES
FRONTAGE (ARMSBY ROAD)	N/A	624,990 S.F.	1,069,597 S.F.
BUILDING SETBACK (FROM ALL PROPERTY LINES)	100'	655'	1133'
MIN. BUILDING SEPARATION	75'	20.7'	49.6'
PARKING	2 SPACES / MULTI-FAMILY UNIT PER TABLE 4	20'	20'
		2 SPACES/UNIT (1 GARAGE + 1 EXT.) MINIMUM. OR 3 SPACES/UNIT (2 GARAGE + 1 EXT.) MINIMUM.	2 SPACES/UNIT (1 GARAGE + 1 EXT.) MINIMUM. OR 3 SPACES/UNIT (2 GARAGE + 1 EXT.) MINIMUM.
BUILDING HEIGHT	35'	SEE ARCHITECTURAL PLANS (24')	SEE ARCHITECTURAL PLANS (24')
OPEN SPACE	83%	83%	87%
OPEN SPACE (WETLANDS/INFRASTRUCTURE FACILITIES)	50% (maximum)	39%	17.5%
MAX. LOT COVERAGE (BUILDING FOOTPRINTS)	25%	6.1%	6.3%
MAX. LOT COVERAGE (IMPERVIOUS SURFACES)	50%	15.8%	14%
MIN. HABITABLE FLOOR AREA PER D.U.	1,000 SF	SEE ARCHITECTURAL PLANS	SEE ARCHITECTURAL PLANS
NUMBER OF AFFORDABLE UNITS	12.9%	5 UNITS	7 UNITS
UNIT DENSITY CALCULATIONS (1)	INDEPENDENT LIVING DETACHED (4 ACRE (21,780 S.F.) PER DWELLING UNIT)	INDEPENDENT LIVING DETACHED UNITS TOTAL (6)	INDEPENDENT LIVING DETACHED UNITS TOTAL (6)
		6 X 21,780 S.F. = 130,680 S.F.	6 X 21,780 S.F. = 130,680 S.F.
		INDEPENDENT LIVING ATTACHED UNITS TOTAL (31)	INDEPENDENT LIVING ATTACHED UNITS TOTAL (50)
		- 11 DUPLEXES (1 DUPLEX REQUIRES 32,000 S.F.)	- 14 DUPLEXES (1 DUPLEX REQUIRES 32,000 S.F.)
		11 X 32,000 S.F. = 352,000 S.F.	14 X 32,000 S.F. = 448,000 S.F.
		- 3 TRIPLEXES (1 TRIPLEX REQUIRES 44,000 S.F.)	- 7 TRIPLEXES (1 TRIPLEX REQUIRES 44,000 S.F.)
		3 X 44,000 S.F. = 132,000 S.F.	7 X 44,000 S.F. = 308,000 S.F.
		TOTAL UNIT DENSITY LAND AREA = 614,680 S.F.	TOTAL UNIT DENSITY LAND AREA = 886,680 S.F.

1. LAND AREA CONTAINED IN WETLANDS, AS DEFINED BY M.G.L. CH. 131, AND PERMANENT EASEMENTS MAY NOT BE UTILIZED WHEN CALCULATING DENSITY.

SITE REQUIREMENTS			
SECTION V, D, ROUTE 146 OVERLAY DISTRICT BYLAW			
NO BUILD ON 15% SLOPES OR GREATER	REQUIRED	PROVIDED (LOT 1)	PROVIDED (LOT 2)
OPEN SPACE	35%	WAIVER REQUIRED	WAIVER REQUIRED
OPEN SPACE (MANMADE FEATURES WITHIN OPEN SPACE REQ.)	25% (MAXIMUM)	40%	49%
LANDSCAPE BUFFER	3' WIDE 6' HT. (50% EVERGREEN)	6%	4%
STREET TREES	EVERY 50' APPROX.	COMPLY	COMPLY
PEDESTRIAN LINK TO BUILDINGS	6' WIDE/HARD SURFACE	COMPLY (ROADWAY)	COMPLY (ROADWAY)
PEDESTRIAN LINK TO OPEN SPACE	SIMPLE HIKING TRAILS	COMPLY	COMPLY
CENTRAL GATHERING SPACE	ACCESSIBLE	COMPLY (POCKET PARKS)	COMPLY (POCKET PARKS)

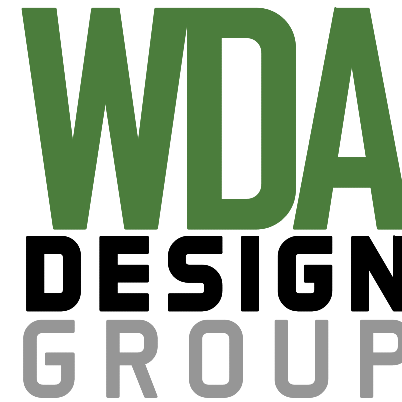


LOCUS MAP
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B	05/15/19	TOWN COMMENTS	
A		INITIAL ISSUE	
REV.	DATE	DESCRIPTION	INIT.

PREPARED BY:



31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
7 CENTRAL STREET PROVIDENCE, RI | 401.274.1360
WDA-DG.COM

OWNER:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
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(Suffolk County)

PREPARED FOR:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

OVERALL LAYOUT AND
MATERIALS PLAN

WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

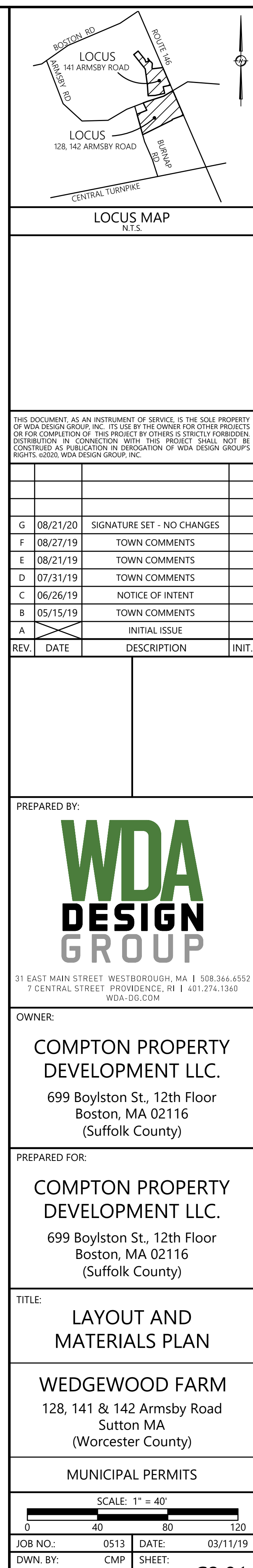
MUNICIPAL PERMITS

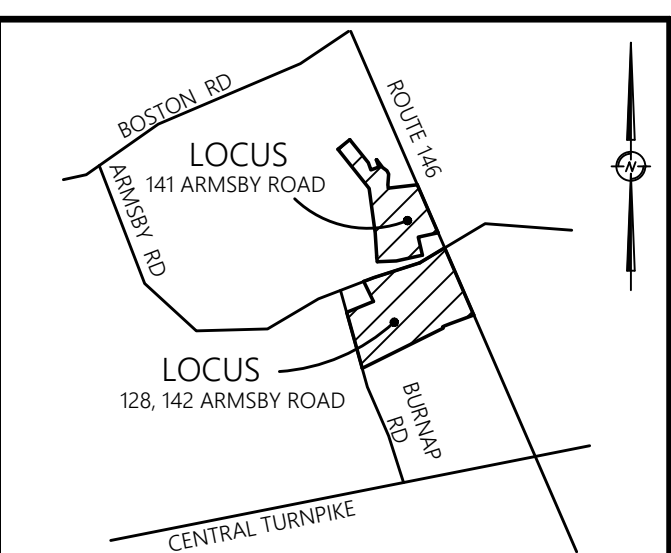
SCALE: 1" = 100'

JOB NO.: 0513 DATE: 03/11/19

DWN. BY: CMP SHEET:

CHK'D BY: PJB C2.00





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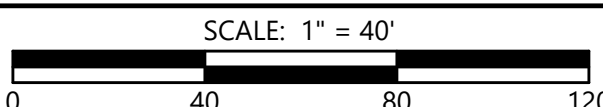
TITLE:

LAYOUT AND MATERIALS PLAN

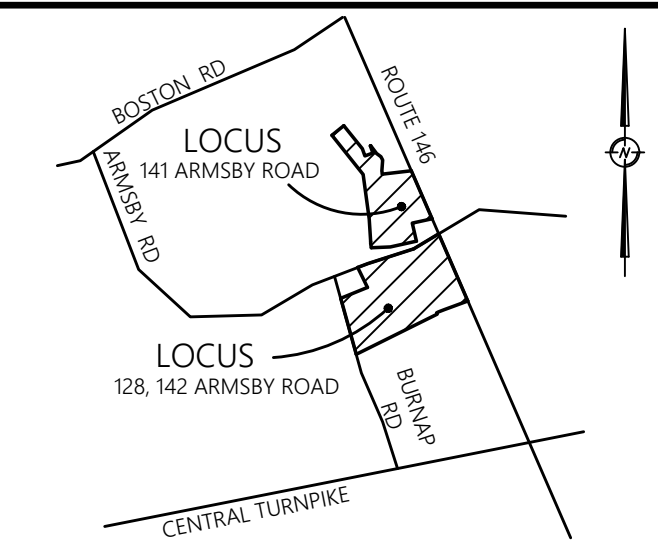
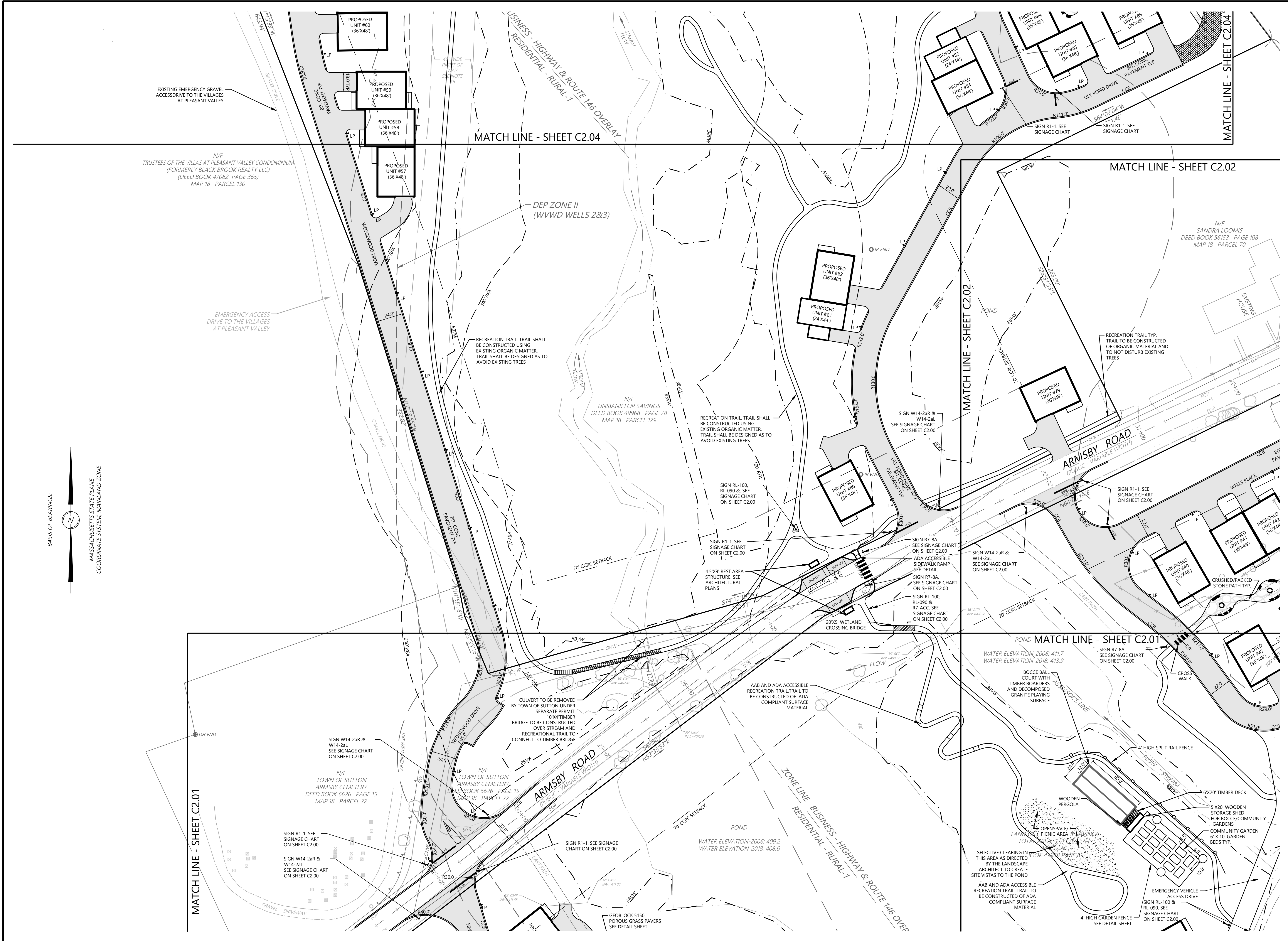
WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
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JOB NO.:	0513	DATE:	03/11/19
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MATERIALS PLAN**

WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

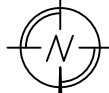
MUNICIPAL PERMITS

SCALE: 1" = 40'

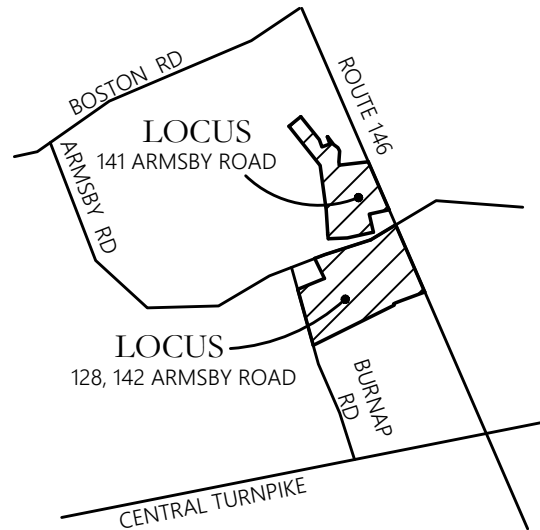
JOB NO.: 0513 DATE: 03/11/19
DWN. BY: CMP SHEET: C2.03
CHK'D BY: PJB



BASIS OF BEARINGS:



MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM, MAINLAND ZONE



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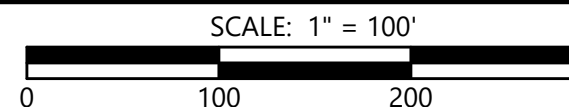
COMPTON PROPERTY
DEVELOPMENT LLC.
699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

OVERALL GRADING,
DRAINAGE, & UTILITIES PLAN

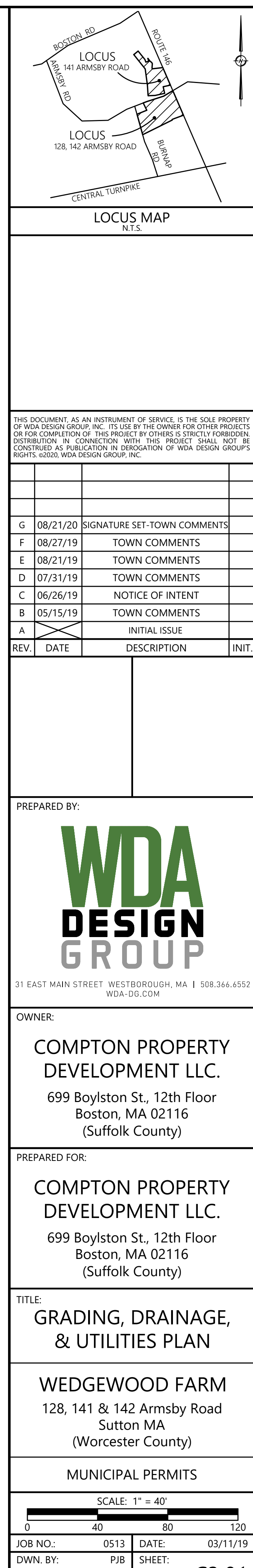
128, 141 & 142 ARMSBY
ROAD
Sutton MA
(Worcester County)

MUNICIPAL PERMITS



JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	PJB	SHEET:	
CHK'D. BY:	PJB		

C3.00





Drainage Pipe Table			
Pipe Name	Size	Length	Slope
D-8	24"	56'	0.96%
D-35	8"	29'	1.20%
D-36	12"	88'	1.14%
D-37	12"	29'	2.02%
D-64	12"	17'	0.71%
D-65	12"	14'	0.94%
D-66	12"	13'	2.00%
D-67	12"	13'	1.96%
D-68	12"	21'	0.74%
D-69	12"	20'	0.77%
D-70	12"	15'	1.00%
D-71	12"	13'	1.00%
D-72	12"	89'	1.97%
D-73	18"	26'	2.00%
D-74	18"	66'	0.91%
D-75	18"	158'	1.00%
D-79	12"	6'	2.00%
D-80	12"	38'	2.00%
D-81	12"	86'	2.00%
D-82	12"	37'	2.01%
D-83	12"	62'	0.50%
D-84	6"	45'	2.25%
D-85	6"	48'	3.15%

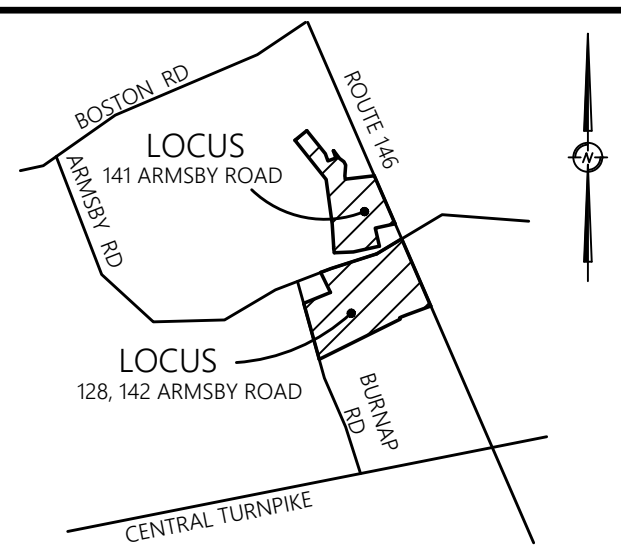
Drainage Structure Table	
Structure Name	Structure Details
CB-8	RIM = 423.21 SUMP = 414.59 D-71 INV IN = 418.46 D-71 INV OUT = 418.59
CB-9	RIM = 423.24 SUMP = 414.61 D-70 INV IN = 418.61
CB-10	RIM = 420.38 SUMP = 412.43 D-69 INV IN = 416.43
CB-11	RIM = 420.38 SUMP = 412.43 D-68 INV IN = 416.43
CB-12	RIM = 425.05 SUMP = 415.50 D-67 INV IN = 419.60
CB-13	RIM = 425.05 SUMP = 415.61 D-66 INV IN = 419.61
CB-14	RIM = 422.52 SUMP = 413.72 D-65 INV IN = 417.72
CB-15	RIM = 422.68 SUMP = 413.71 D-64 INV IN = 417.71
CB-42	RIM = 424.00 SUMP = 411.98 D-79 INV IN = 415.98
CB-43	RIM = 423.00 SUMP = 9.29 D-80 INV IN = 417.58 D-81 INV OUT = 417.58
CB-44	RIM = 423.00 SUMP = 414.34 D-80 INV IN = 418.34
CB-45	RIM = 422.53 SUMP = 411.36 D-82 INV IN = 419.60
CB-46	RIM = 422.00 SUMP = 415.17 D-83 INV IN = 419.17
CB-52	RIM = 417.50 SUMP = 411.36 D-86 INV IN = 415.36

Drainage Structure Table	
Structure Name	Structure Details
DMH-1	RIM = 423.27 D-71 INV IN = 418.46 D-70 INV IN = 418.46 D-75 INV OUT = 418.46
DMH-2	RIM = 421.20 D-75 INV IN = 416.88 D-74 INV OUT = 416.88
DMH-3	RIM = 420.34 D-74 INV IN = 416.28 D-69 INV IN = 416.28 D-68 INV IN = 416.28 D-73 INV OUT = 415.41
DMH-5	RIM = 425.00 D-67 INV IN = 419.34 D-66 INV IN = 419.34 D-72 INV OUT = 419.34
DMH-6	RIM = 422.46 D-72 INV IN = 417.59 D-65 INV IN = 417.59 D-64 INV IN = 417.59 D-37 INV OUT = 417.59
FES-6	RIM = 418.19 D-37 INV IN = 417.00
FES-8	RIM = 417.19 D-36 INV IN = 416.00
FES-9	RIM = 421.12 D-84 INV IN = 420.50
FES-10	RIM = 417.62 D-85 INV IN = 417.00
FES-12	RIM = 416.43 D-35 INV IN = 417.00
FES-17	RIM = 416.58 D-8 INV IN = 414.42
OCS-1	RIM = 421.47 D-36 INV OUT = 417.00

Sewer Pipe Table			
Pipe Name	Size	Length	Slope
S-1	8"	59'	1.00%
S-2	8"	124'	0.50%
S-3	8"	270'	1.84%
S-4	8"	242'	1.00%
S-10	8"	141'	1.00%
S-11	8"	87'	3.45%
L-1	6"	32'	8.00%
L-2	6"	27'	8.00%
L-3	6"	21'	8.00%
L-4	6"	24'	8.00%
L-5	6"	30'	8.00%
L-6	6"	38'	8.00%
L-7	6"	27'	8.00%
L-8	6"	44'	8.00%
L-9	6"	15'	8.00%
L-9.1	6"	4'	8.00%
L-10	6"	31'	8.00%
L-10.1	6"	4'	8.00%
L-11	6"	29'	8.00%
L-11.1	6"	4'	8.00%

Sewer Pipe Table			
Pipe Name	Size	Length	Slope
L-12	6"	6'	8.00%
L-12.1	6"	4'	8.00%
L-13	6"	37'	8.00%
L-13.1	6"	4'	8.00%
L-14	6"	8'	8.00%
L-14.1	6"	4'	8.00%
L-15	6"	37'	8.00%
L-15.1	6"	4'	8.00%
L-16	6"	10'	8.00%
L-16.1	6"	4'	8.00%
L-17	6"	40'	8.00%
L-17.1	6"	4'	8.00%
L-18	6"	25'	8.00%
L-19	6"	48'	8.00%
L-20	6"	35'	8.00%
L-20.1	6"	4'	8.00%
L-21	6"	24'	7.30%
L-21.1	6"	4'	8.00%
L-71	6"	65'	8.00%

Sewer Structure Table	
Structure Name	Structure Details
SMH-1	RIM = 426.00 L-1 INV IN = 420.11 L-2 INV IN = 420.11 L-5 INV IN = 420.11 S-1 INV OUT = 420.11
SMH-2	RIM = 424.79 S-1 INV IN = 419.52 L-3 INV IN = 419.52 L-4 INV IN = 419.52 S-2 INV OUT = 419.52
SMH-3	RIM = 426.10 S-2 INV IN = 418.90 L-6 INV IN = 418.90 L-7 INV IN = 418.90 L-8 INV IN = 418.90 S-3 INV OUT = 418.90
SMH-4	RIM = 419.89 S-3 INV IN = 413.93 S-4 INV OUT = 413.93
SMH-5	RIM = 418.50 S-4 INV IN = 411.51 L-71 INV IN = 412.50 S-10 INV OUT = 411.41
SMH-12	RIM = 428.50 L-18 INV IN = 422.00 L-19 INV IN = 422.00 S-11 INV OUT = 422.00
SMH-13	RIM = 425.00 S-11 INV IN = 419.00 S-12 INV OUT = 419.00



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(Worcester County)

NOTICE OF INTENT

SCALE: 1" = 40'

JOB NO.: 0513 DATE: 03/11/19

DWN. BY: PJB SHEET: C3.02

CHK'D. BY: PJB

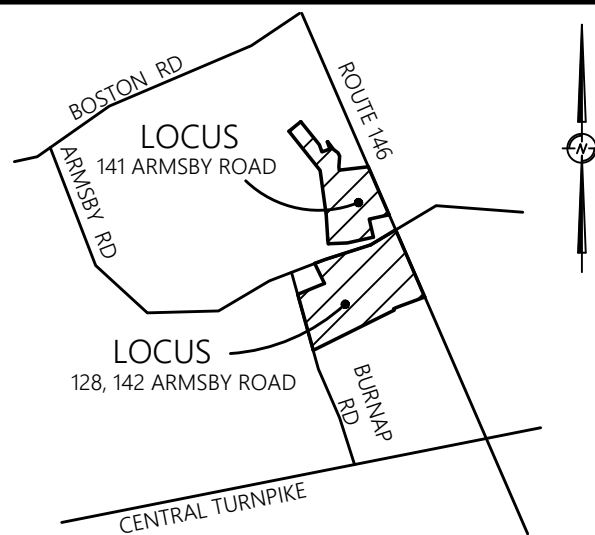
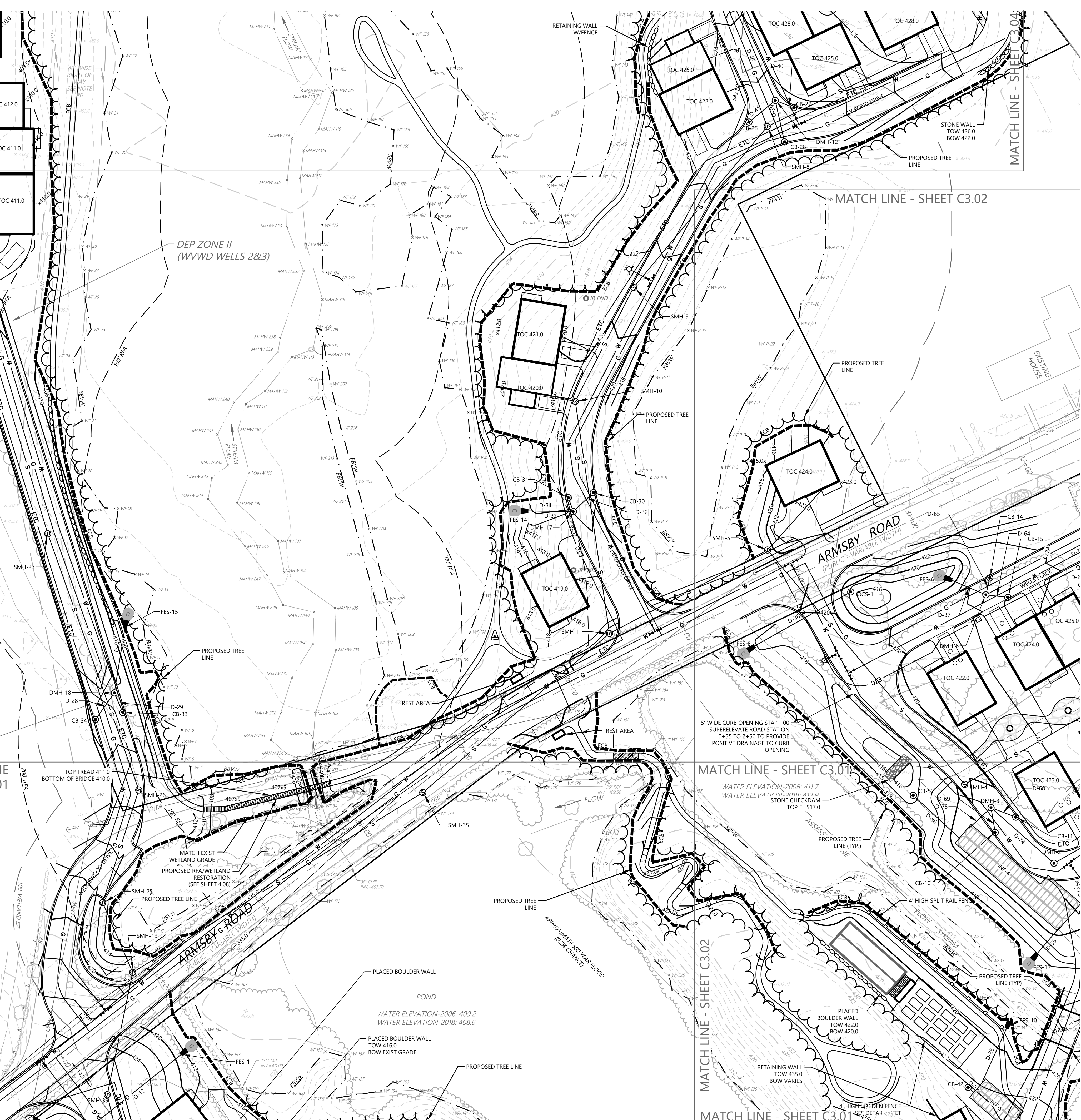
Sewer Structure Table	
Structure Name	Structure Details
SMH-5	RIM = 4185.0
	S-4 INV IN = 4115.1
	L-7 INV IN = 4115.1
	S-10 INV OUT = 4121.0
SMH-6	RIM = 430.74
	L-57 INV IN = 421.00
	L-58 INV IN = 421.00
	S-5 INV OUT = 419.00
SMH-7	RIM = 423.60
	S-5 INV IN = 417.50
	L-62 INV IN = 417.00
	S-6 INV OUT = 417.50
SMH-8	RIM = 420.59
	S-8 INV IN = 414.00
	L-42 INV IN = 414.00
	S-7 INV OUT = 414.00
SMH-9	RIM = 420.89
	S-7 INV IN = 412.90
	S-8 INV OUT = 412.90
SMH-10	RIM = 418.86
	S-8 INV IN = 411.50
	L-69 INV IN = 411.50
	S-9 INV OUT = 411.50
SMH-11	RIM = 417.00
	S-9 INV IN = 410.00
	S-10 INV IN = 410.00
	S-38 INV OUT = 410.00
SMH-27	RIM = 413.24
	S-25 INV IN = 403.20
	S-26 INV OUT = 403.20
SMH-28	RIM = 411.26
	S-26 INV IN = 401.76
	L-72 INV IN = 401.77
	S-27 INV OUT = 401.76
SMH-29	RIM = 409.00
	S-27 INV IN = 400.90
	S-37 INV IN = 400.90
	L-76 INV IN = 400.90
SMH-34	S-28 INV OUT = 400.90
	RIM = 410.00
	S-36 INV IN = 404.00
	S-37 INV OUT = 404.00

Pipe Name	Size	Length	Slope
D-5	12"	12'	2.00%
D-6	12"	100'	0.54%
D-14	12"	16'	2.00%
D-15	12"	12'	2.00%
D-16	18"	123'	1.00%
D-17	18"	9'	1.05%
D-18	12"	20'	2.96%
D-19	12"	25'	2.71%
D-22	18"	44'	0.72%
D-23	18"	56'	0.72%
D-24	18"	58'	1.07%
D-26	18"	115'	1.50%
D-27	18"	40'	2.45%
D-28	12"	26'	1.79%
D-29	12"	17'	1.97%
D-30	12"	53'	1.21%
D-31	12"	12'	1.02%
D-32	12"	22'	0.41%
D-33	12"	36'	2.51%
D-34	12"	23'	8.86%


Pipe Name	Size	Length	Slope
L-16.1	6"	4'	8.00%
L-17	6"	40'	8.00%
L-17.1	6"	4'	8.00%
L-57	6"	33'	7.04%
L-58	6"	34'	8.00%
L-59	6"	26'	8.00%
L-59.1	6"	4'	8.00%
L-60	6"	27'	7.39%
L-60.1	6"	4'	8.00%
L-61	6"	51'	8.00%
L-62	6"	39'	8.00%
S-42	8"	126'	2.38%
L-63	6"	11'	6.55%
L-63.1	6"	4'	8.00%
L-64	6"	9'	6.81%
L-64.1	6"	4'	8.31%
L-65	6"	18'	8.00%
L-65.1	6"	4'	8.00%
L-66	6"	19'	6.93%
L-66.1	6"	4'	8.00%

Pipe Name	Size	Length	Slope
L-16.1	6"	4'	8.00%
L-17	6"	40'	8.00%
L-17.1	6"	4'	8.00%
L-57	6"	33'	7.04%
L-58	6"	34'	8.00%
L-59	6"	26'	8.00%
L-59.1	6"	4'	8.00%
L-60	6"	27'	7.39%
L-60.1	6"	4'	8.00%
L-61	6"	51'	8.00%
L-62	6"	39'	8.00%
S-42	8"	126'	2.38%
L-63	6"	11'	6.55%
L-63.1	6"	4'	8.00%
L-64	6"	9'	6.81%
L-64.1	6"	4'	8.31%
L-65	6"	18'	8.00%
L-65.1	6"	4'	8.00%
L-66	6"	19'	6.93%
L-66.1	6"	4'	8.00%

Pipe Name	Size	Length	Slope
L-68	6"	31'	8.00%
L-68.1	6"	4'	8.00%
L-69	6"	19'	8.00%
L-70	6"	18'	8.00%
L-70.1	6"	4'	8.00%
L-71	6"	65'	8.00%
L-72	6"	39'	8.00%
L-73	6"	40'	7.12%
L-74	6"	48'	8.00%
L-75	6"	68'	7.10%
L-76	6"	60'	8.00%
L-77	6"	50'	8.00%
L-77.1	6"	4'	8.00%
L-78	6"	17'	8.00%
L-78.1	6"	4'	8.00%
L-79	6"	19'	8.00%
L-80	6"	15'	8.00%
L-79.1	6"	4'	8.00%
L-80.1	6"	4'	8.00%



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The logo for WDA Design Group, featuring the letters "WDA" in a large, bold, green font, with "DESIGN" in a smaller, bold, black font, and "GROUP" in a smaller, bold, grey font below it.

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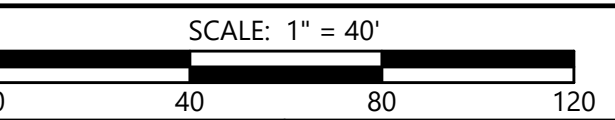
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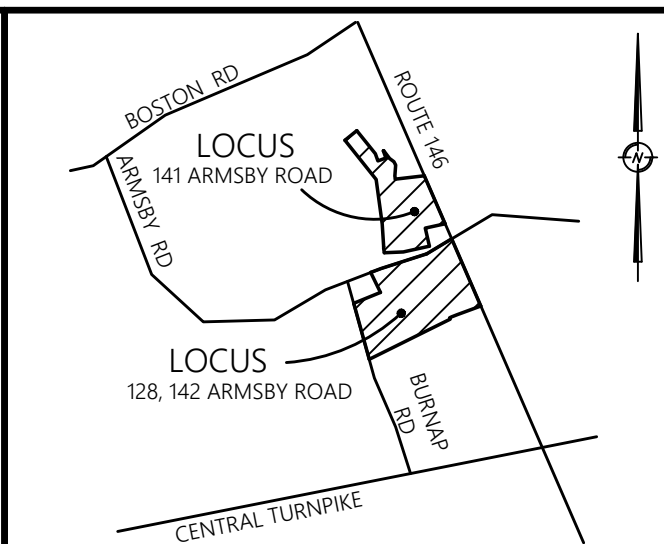
TITLE:
GRADING, DRAINAGE,
& UTILITIES PLAN

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS



JOB NO.:	0513	DATE:	03/11/19
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CHK'D. BY:	PJB		

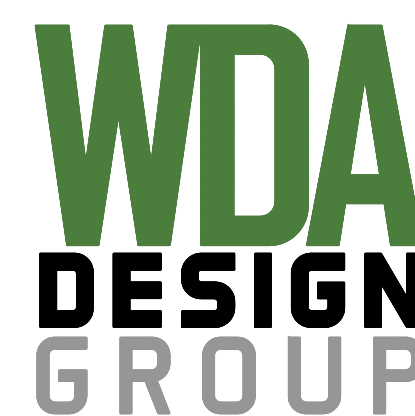


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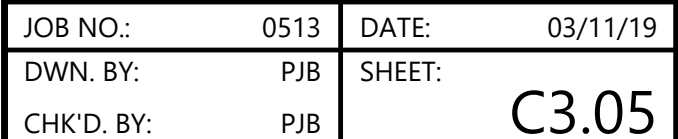
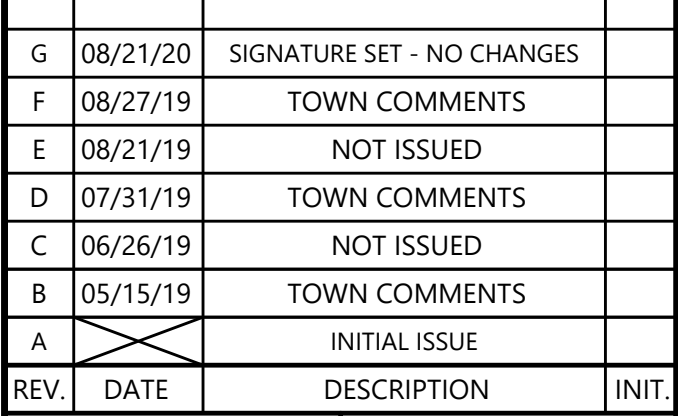
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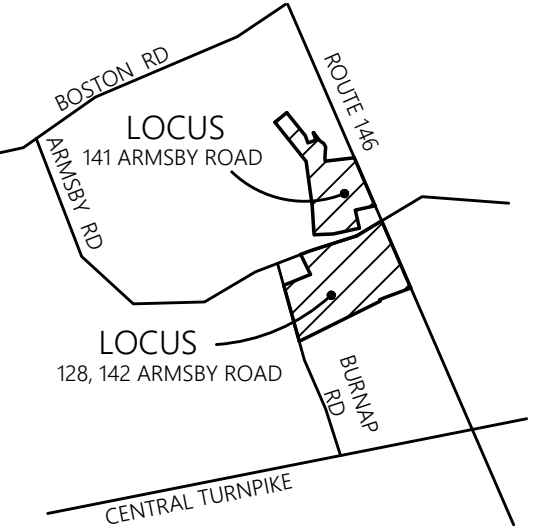
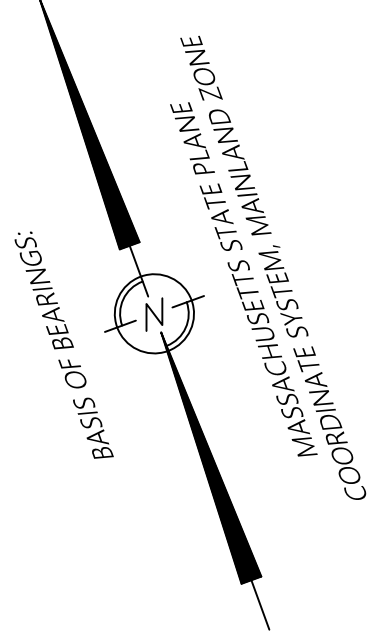
WEDGEWOOD FARM

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NOTICE OF INTENT


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JOB NO.: 0513	DATE: 03/11/19
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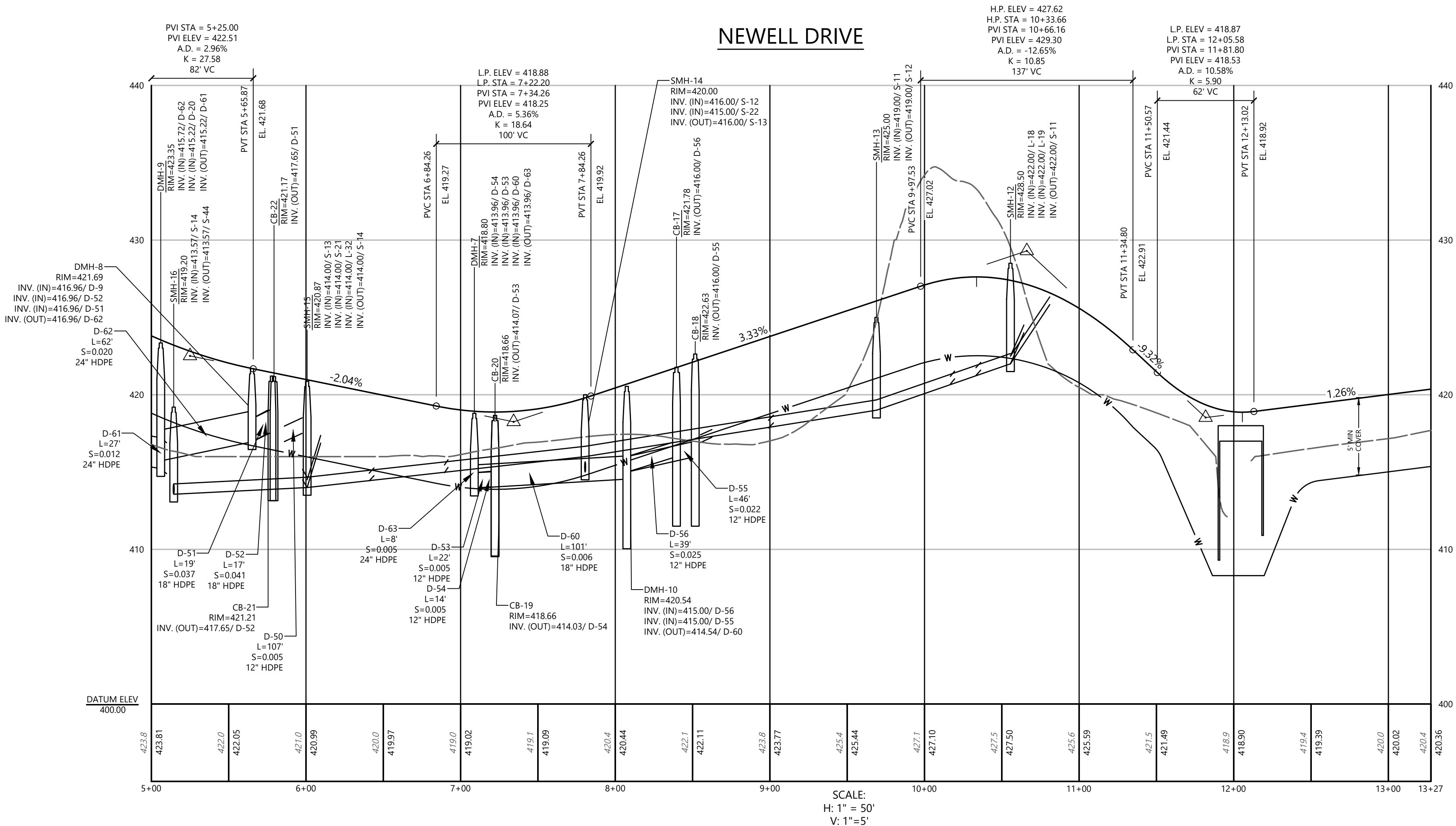




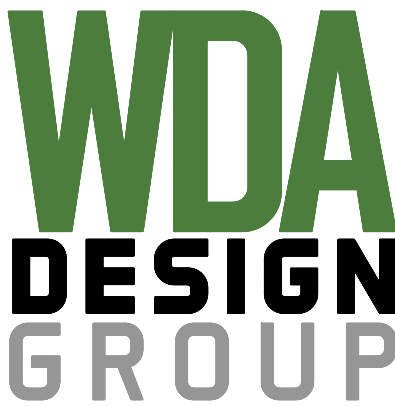
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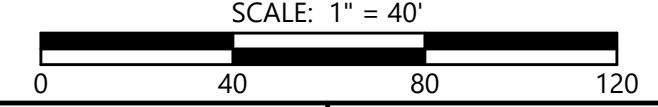
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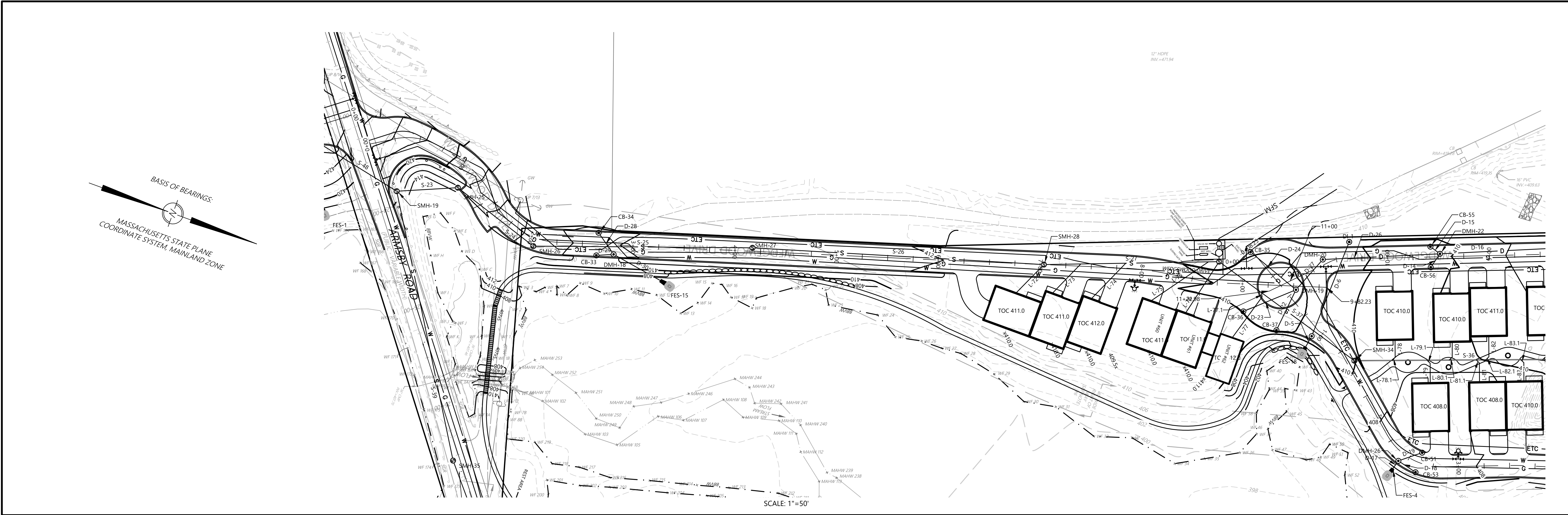
ROAD PROFILE

WEDGEWOOD FARM
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Sutton MA
(Worcester County)

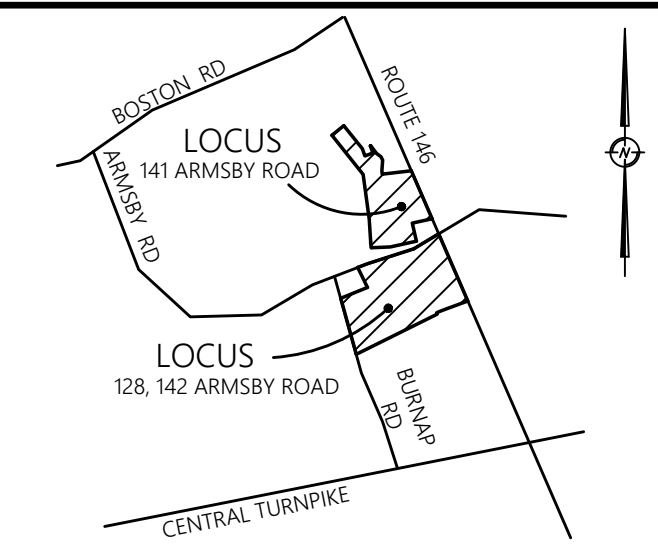
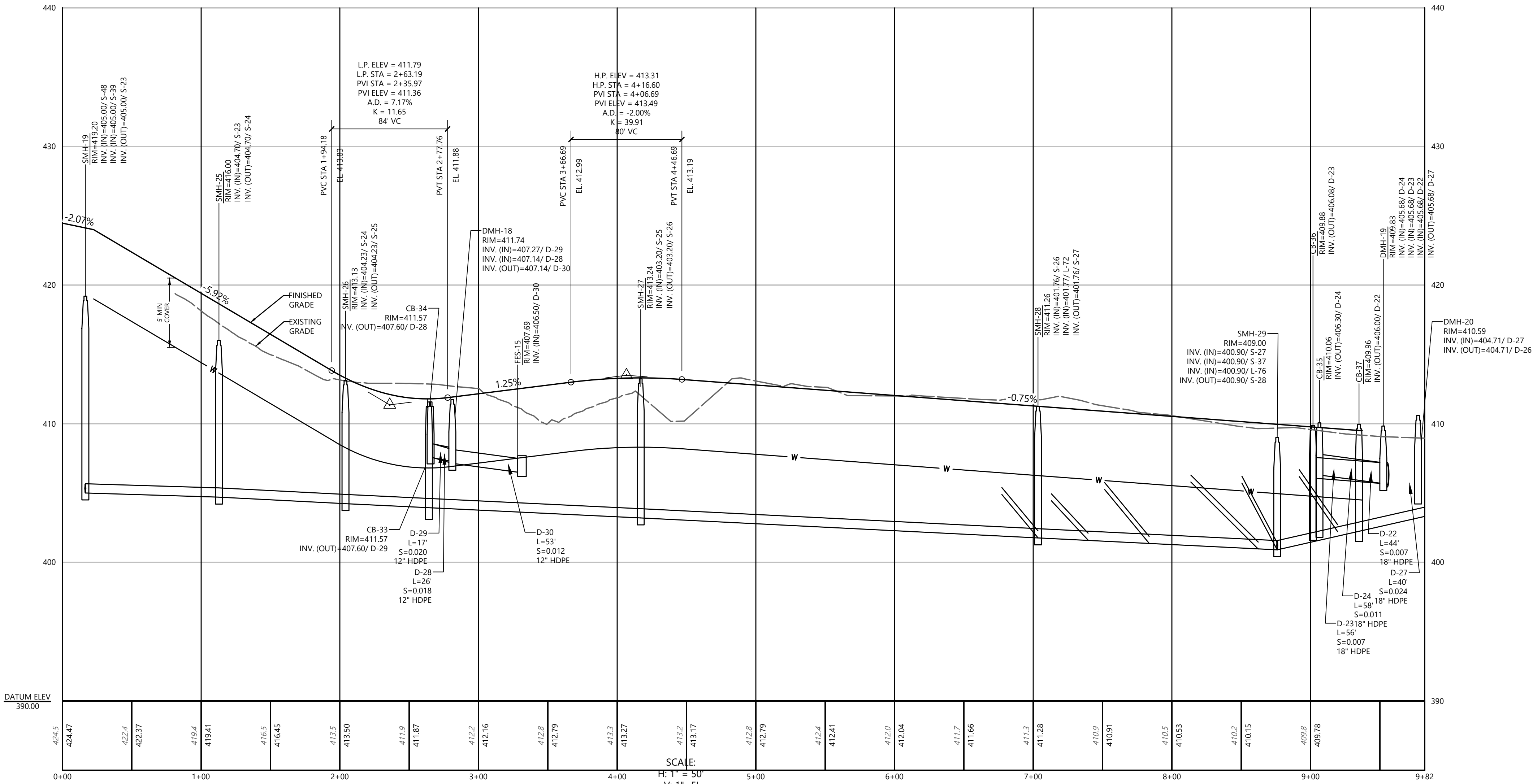
SPECIAL PERMIT & SITE PLAN
REVIEW



JOB NO.:	0513	DATE:	03/11/19
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WEDGEWOOD DRIVE - ENTRY



LOCUS MAP

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ROAD PROFILE

WEDGEWOOD FARM

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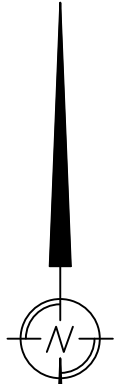
SPECIAL PERMIT & SITE PLAN REVIEW

SCALE: 1" = 40'

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CHK'D. BY:	PJB		C3.08



BASIS OF BEARINGS:



MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM, MAINLAND ZONE

NOTE:

- SEE SHEET C1.00 FOR SITE PREPARATION NOTES AND EROSION / SEDIMENTATION CONTROL NOTES.

LEGEND:

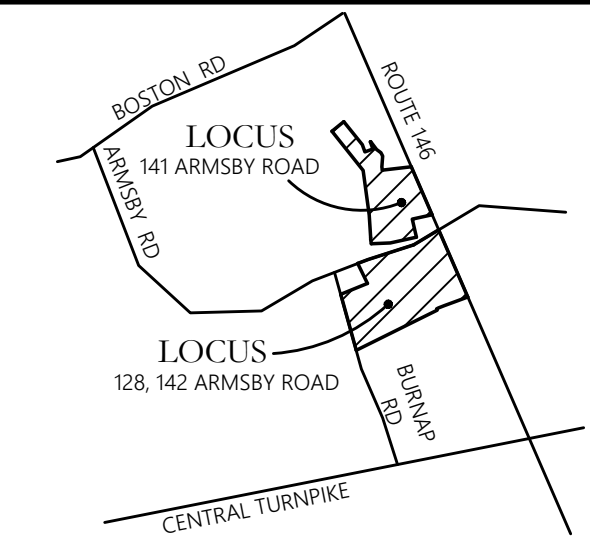
EROSION CONTROL BARRIER



TEMPORARY SEDIMENT BASIN



TEMPORARY DIVERSION SWALE



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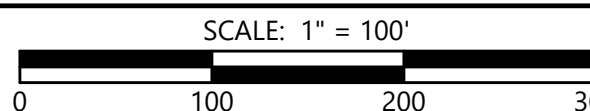
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EROSION CONTROL
PLAN

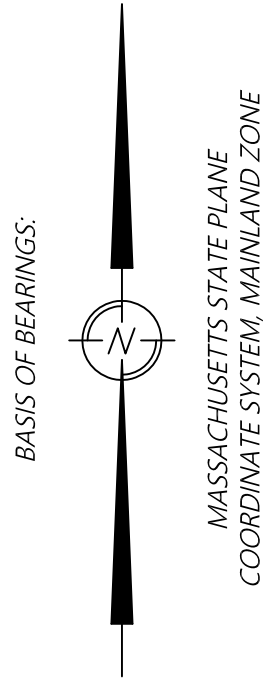
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C3.11



LANDSCAPE BOULDER SIZING CHART

SYM.	TYP. BOULDER SIZE (LENGTH' X WIDTH' X HEIGHT)	ESTIMATED BOULDER WEIGHT (TONS)	BOULDER TYPE
	3'X3'X2'	0.60 Tn	INDIAN HILL BOULDERS PA COLONIAL BOULDERS
	4'X3'X2'	1.20 Tn	INDIAN HILL BOULDERS PA COLONIAL BOULDERS
	4'X3'X3'	1.80 Tn	INDIAN HILL BOULDERS PA COLONIAL BOULDERS
	5'X3'X3'	2.25 Tn	INDIAN HILL BOULDERS PA COLONIAL BOULDERS

VISUAL INTEREST BOULDER SIZING CHART

SYM.	TYP. BOULDER SIZE (LENGTH' X WIDTH' X HEIGHT)	CHARACTERISTICS	BOULDER TYPE
	BOULDERS ARE TO VARY IN SIZE AND SHAPE. MIN. BOULDER SIZE TO BE 20'X10'X4'		INDIAN HILL BOULDERS PA COLONIAL BOULDERS

PLANTING SCHEDULE - RIVERFRONT AREA MITIGATION AND BUFFER ZONE

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS
TREES					
	BL	Betula lenta	Black Birch	3" Cal.	B&B
	LL	Larix laricina	American Larch	8" Ht.	B&B
	NS	Nyssa sylvatica	Black Gum	3" Cal.	B&B
	PS	Pinus strobus	White Pine	3" Cal.	B&B
	QR	Quercus rubra	Red Oak	3" Cal.	B&B
SHRUBS					
	CR	Cornus racemosa	Gray Dogwood	#7 Pot.	Container Grown
	CA	Corylus americana	American Hazelnut	#5 Pot.	Container Grown
	HV	Hamelis virginiana	Witch Hazel	#5 Pot.	Container Grown
	VA	Viburnum acerifolium	Mapleleaf Viburnum	#5 Pot.	Container Grown
PERENNIALS					
	CP	Comptonia peregrina	Sweetfern	#2 Pot.	Container Grown
	DP	Demissaethia punctilobula	Hayscented Fern	#2 Pot.	Container Grown
	KA	Kalmia angustifolia	Sheep Laurel	#2 Pot.	Container Grown
	VA	Vaccinium angustifolium	Lowbush Blueberry	#2 Pot.	Container Grown

PLANTING SCHEDULE - WETLAND REPLICATION (NORTH AND SOUTH SIDE)

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS	QTY.
TREES						
	CT	Chamaecyparis thyoides	Atlantic White Cedar	8" Ht.	Container Grown	4
	NS	Nyssa sylvatica	Black Gum	3" Cal.	Container Grown	3
SHRUBS						
	VC	Vaccinium corymbosum	Highbush blueberry	2'-3'	Container Grown	12
	AR	Alnus rugosa	Speckled alder	#5 Pot.	Container Grown	8
	VD	Viburnum dentatum	Arrowwood	3'-4'	Container Grown	10
	IV	Ilex verticillata	Winterberry	3'-4'	Container Grown	10
FERNS AND HERBS						
	CS	Carex stricta	Tussock sedge	2" Plug	2" Plug	10
	CS	Lobelia cardinalis	Cardinal flower	2" Plug	2" Plug	20
	OS	Onoclea sensibilis	Sensitive fern	#1 Pot.	Container Grown	18
	OC	Osmunda cinnamomea	Cinnamon fern	#1 Pot.	Container Grown	15

SEED MIX

	N/A	New England Wetmix by New England Wetland Plants, Amherst, MA	1/2 lb applied per supplier specifications and wetland specialist guidance.

SULIS STAINLESS STEEL SOLAR PATH LIGHTS

TYPICAL LANDSCAPE LIGHTING FIXTURE



Battery Life

6-8 Hours, Charges in 8 Hours

Finishing

Stainless Steel & Glass

Lamping Details

1 Integrated LED, 5W Max Per Lantern

LED Color

Warm White

LED Temperature

2700K

Light Output

6 Lumens

Light Source + Lifetime

LED

Power Source

2 x 800mAh AA Ni-MH Rechargeable Battery included Per Light

Product Dimensions

6" x 8" x 18"

Switch Options

On/Off

PLANTING SCHEDULE - STREET TREES

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS
TREES					
	GT	Gleditsia triacanthos	Honeylocust	3" Cal.	B&B Fruitless Cultivar
	LS	Liquidambar styraciflua	Sweetgum	3" Cal.	B&B Fruitless Cultivar
	LT	Liriodendron tulipifera	Tulip Tree	3" Cal.	B&B
	PO	Platanus occidentalis	American Sycamore	3" Cal.	B&B
	QC	Quercus coccinea	Scarlet Oak	3" Cal.	B&B
	QP	Quercus palustris	Pin Oak	3" Cal.	B&B
	QR	Quercus rubra	Red Oak	3" Cal.	B&B

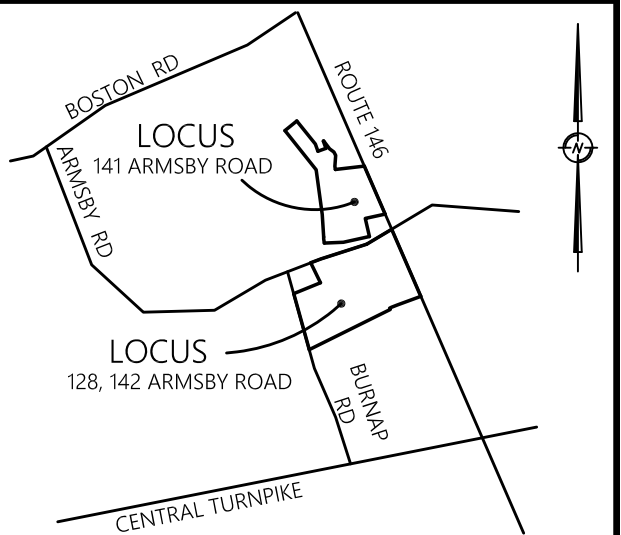
PLANTING SCHEDULE - SCREENING TREES

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS
	PP	Picea pungens 'Hoopsii'	'Hoopsii' Colorado Spruce	8" Ht.	B&B
	PS	Pinus strobus	Eastern White Pine	8" Ht.	B&B

PLANTING SCHEDULE - POCKET PARK PLANTING

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS
TREES					
	AG	Acer griseum	Paperbark Maple	3" Cal.	B&B
	CC	Cercis canadensis	Eastern Redbud	3" Cal.	B&B
	CT	Cornus florida 'Cherokee Brave'	'Cherokee Brave' Dogwood	3" Cal.	B&B
	MA	Malus 'Adams'	'Adams' Crabapple	3" Cal.	B&B
	JC	Juniperus chinensis 'Blue Point'	'Blue Point' Juniper	8" Ht.	B&B
	PP	Picea pungens 'Hoopsii'	'Hoopsii' Colorado Spruce	8" Ht.	B&B
SHRUBS					
	KL	Kalmia latifolia 'Olympic Wedding'	'Olympic wedding' Mtn. Laurel	#5 Pot.	Container Grown
	RE	Rhododendron catawbiense 'Roseum Elegans'	'Roseum Elegans' Rhododendron	4" Ht.	B&B
	VD	Viburnum dentatum 'Blue Muffin'	'Blue Muffin' Viburnum	#7 Pot.	Container Grown
	WE	Weigela florida 'Wine & Roses'	'Wine & Roses' Weigela	#7 Pot.	Container Grown
	CO	Chamaecyparis obtusa 'Nana Gracilis'	'Nana Gracilis' Hinoki Cypress	4" Ht.	B&B
	RM	Rhododendron maximum	Rosebay Rhododendron	5" Ht.	B&B
	TC	Taxus canadensis 'Sargent's Pendula'	'Sargent's Pendula' Weeping Hemlock	4" Ht.	B&B
	BD	Buddleia davidii 'Pink Delight'	'Pink Delight' Butterfly Bush	#5 Pot.	Container Grown
	HM	Hydrangea macrophylla 'Endless Summer'	'Endless Summer' Hydrangea	#5 Pot.	Container Grown
	IV	Ita virginica 'Henry's Garnet'	'Henry's Garnet' Virginia Sweetgale	#5 Pot.	Container Grown
	PJ	Pieris japonica 'Dorothy Wycoff'	'Dorothy Wycoff' Jap. Andromeda	#5 Pot.	Container Grown
	CH	Chamaecyparis obtusa 'Golden Mops'	'Golden Mops' Hinoki Cypress	#5 Pot.	Container Grown
	PM	Pinus mugo 'Compacta'	Dwarf Mugo Pine	#5 Pot.	Container Grown

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITIONS
PERENNIALS/GRASSES					
	HC	Hosta sp. 'Ginko Craig'	'Ginko Craig' Hosta	#2 Pot.	Container Grown
	HS	Helictotrichon sempervirens	Blue Oat Grass	#2 Pot.	Container Grown
	IR	Iris ensata 'Lion King'	'Lion King' Iris	#3 Pot.	Container Grown
	LB	Leucanthemum x superbum 'Becky'	'Becky' Shasta Daisy	#2 Pot.	Container Grown
	PV	Panicum virgatum	Switchgrass	#3 Pot.	Container Grown
	MD	Monarda didyma 'Fireball'	'Fireball' Beebalm	#3 Pot.	Container Grown
	NR	Nepeta racemosa 'Walker's Low'	'Walker's Low' Catmint	#3 Pot.	Container Grown
	PV	Pennisetum alopecuroides 'Hamelin'	'Hamelin' Fountain Grass	#3 Pot.	Container Grown
	RB	Rudbeckia fulgida x 'Goldstrum'	'Goldstrum' Black Eye Susan	#1 Pot.	Container Grown



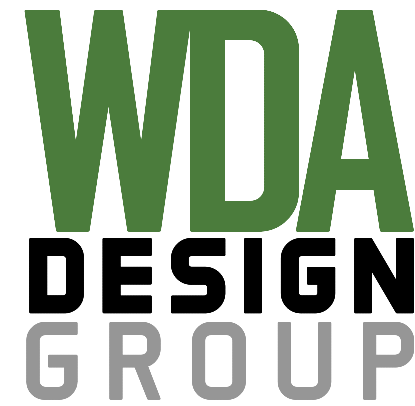
LOCUS MAP

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PREPARED BY:



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(Suffolk County)

PREPARED FOR:

COMPTON PROPERTY DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

OVERALL LANDSCAPE PLAN

WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: 1" = 100'

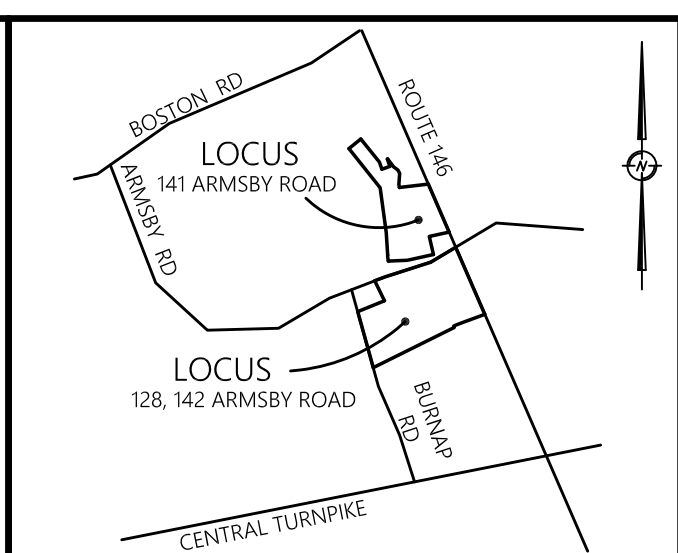


JOB NO.: 0513 DATE: 03/11/19

DWN. BY: CMP SHEET:

CHK'D. BY: PJB

C4.00



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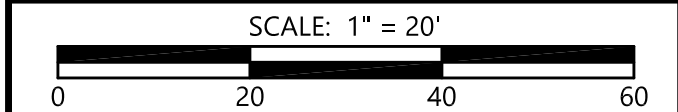
**COMPTON PROPERTY
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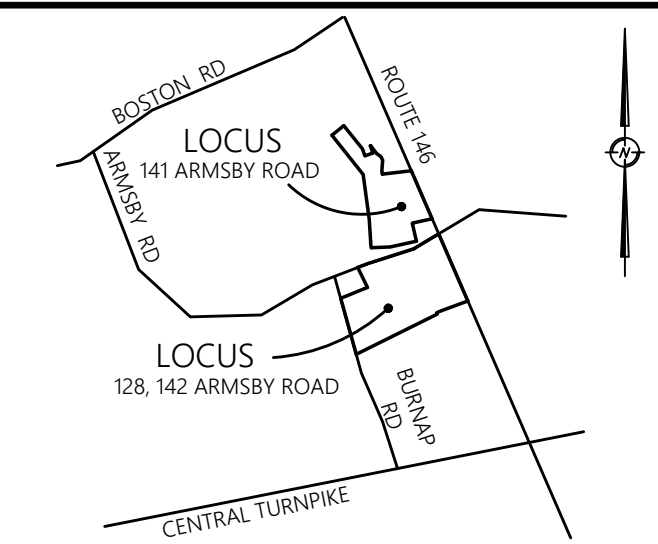
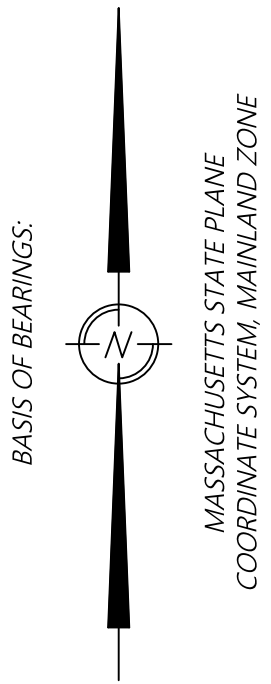
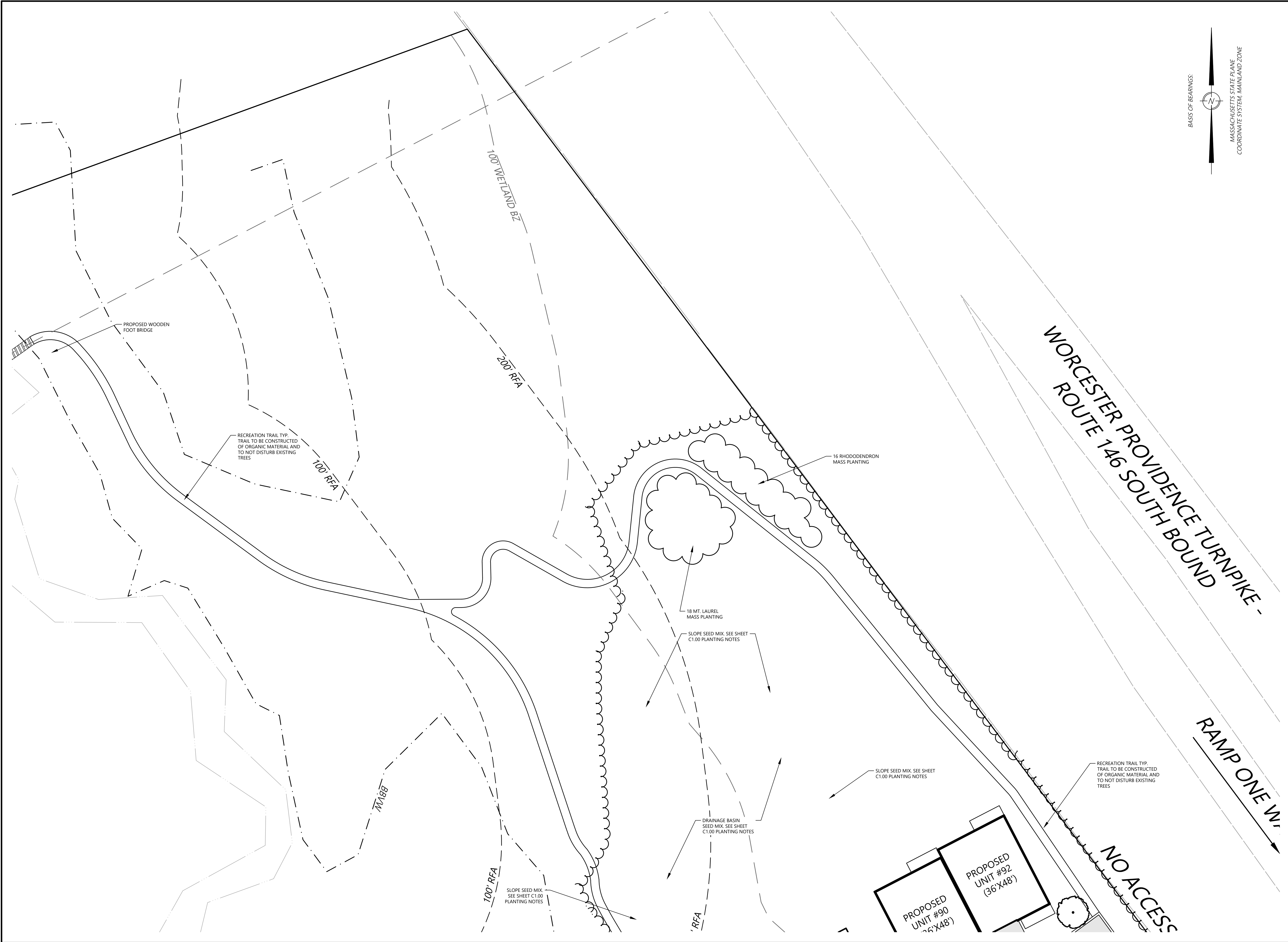
TITLE: LANDSCAPE PLAN

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
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(Worcester County)

SPECIAL PERMIT & SITE PLAN REVIEW



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CHK'D. BY:	PJB		



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C	06/26/19	NOTICE OF INTENT	
B	05/15/19	TOWN COMMENTS	
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31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
WDA-DG.COM

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Boston, MA 02116
(Suffolk County)

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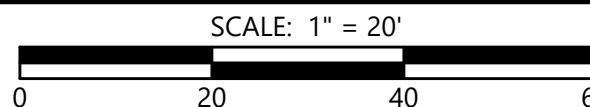
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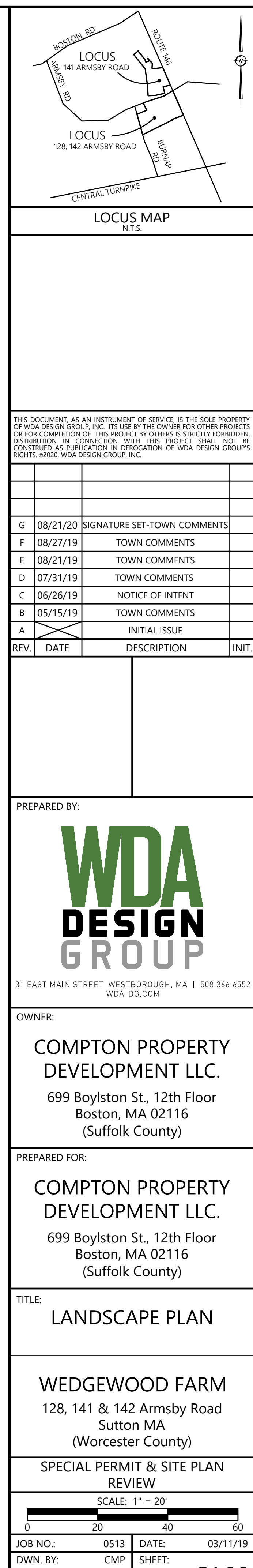
LANDSCAPE PLAN

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

SPECIAL PERMIT & SITE PLAN
REVIEW

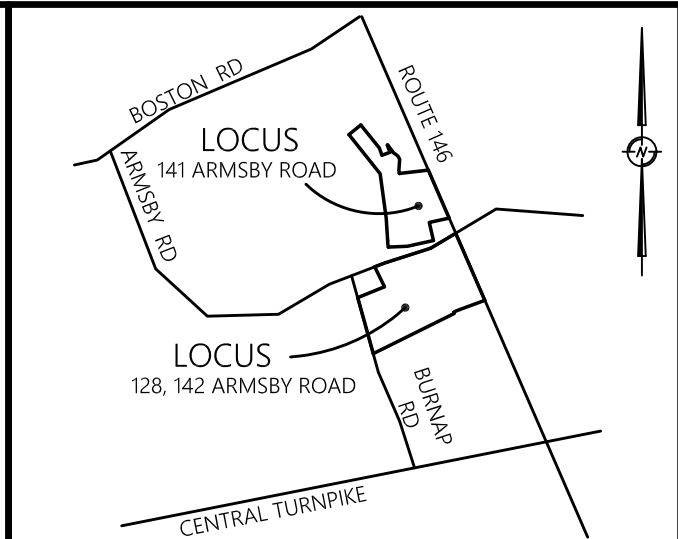
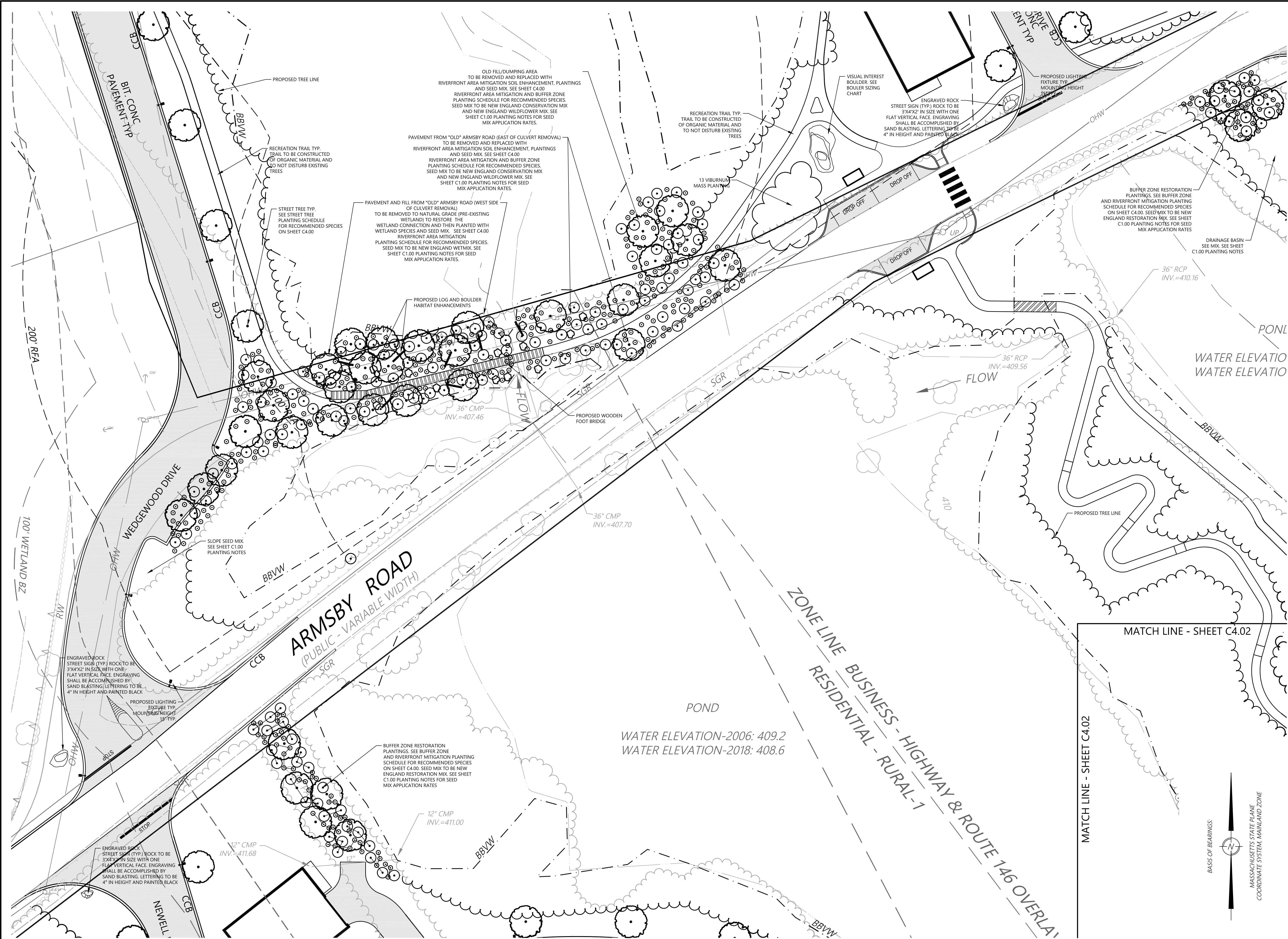


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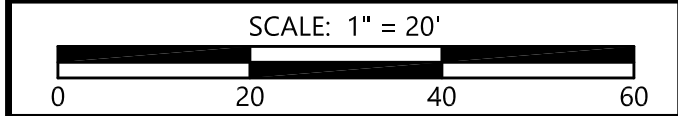
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TITLE:

LANDSCAPE PLAN

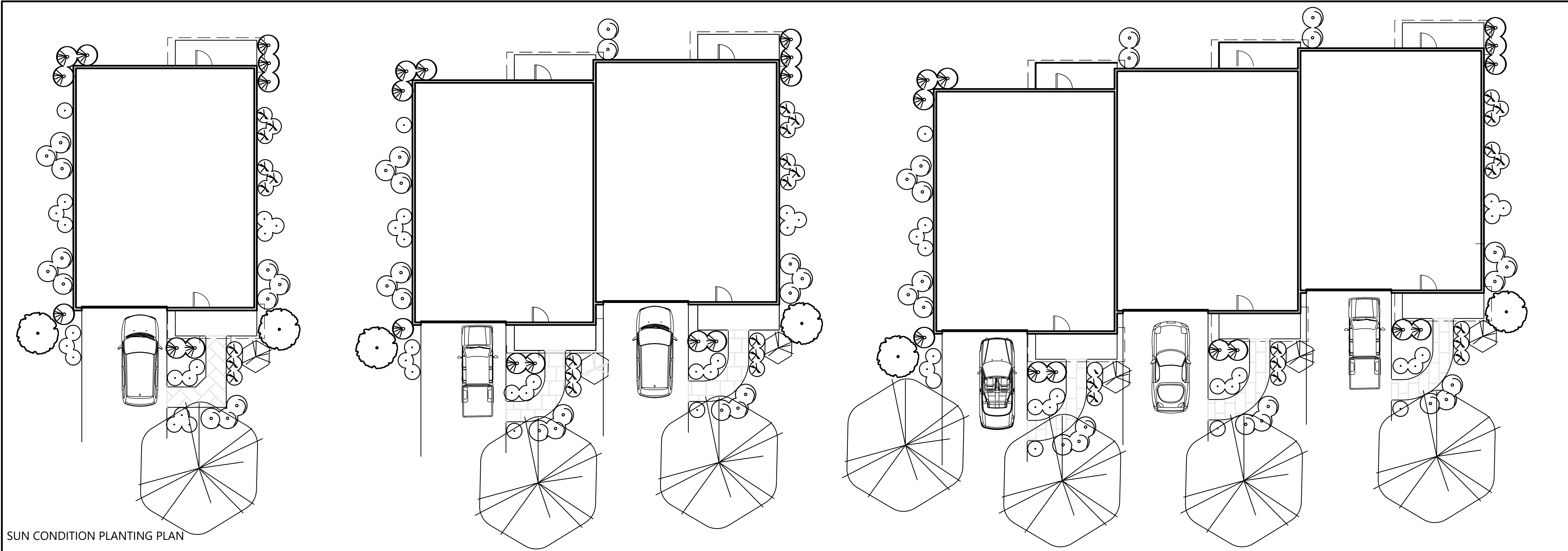
WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

**SPECIAL PERMIT & SITE PLAN
REVIEW**

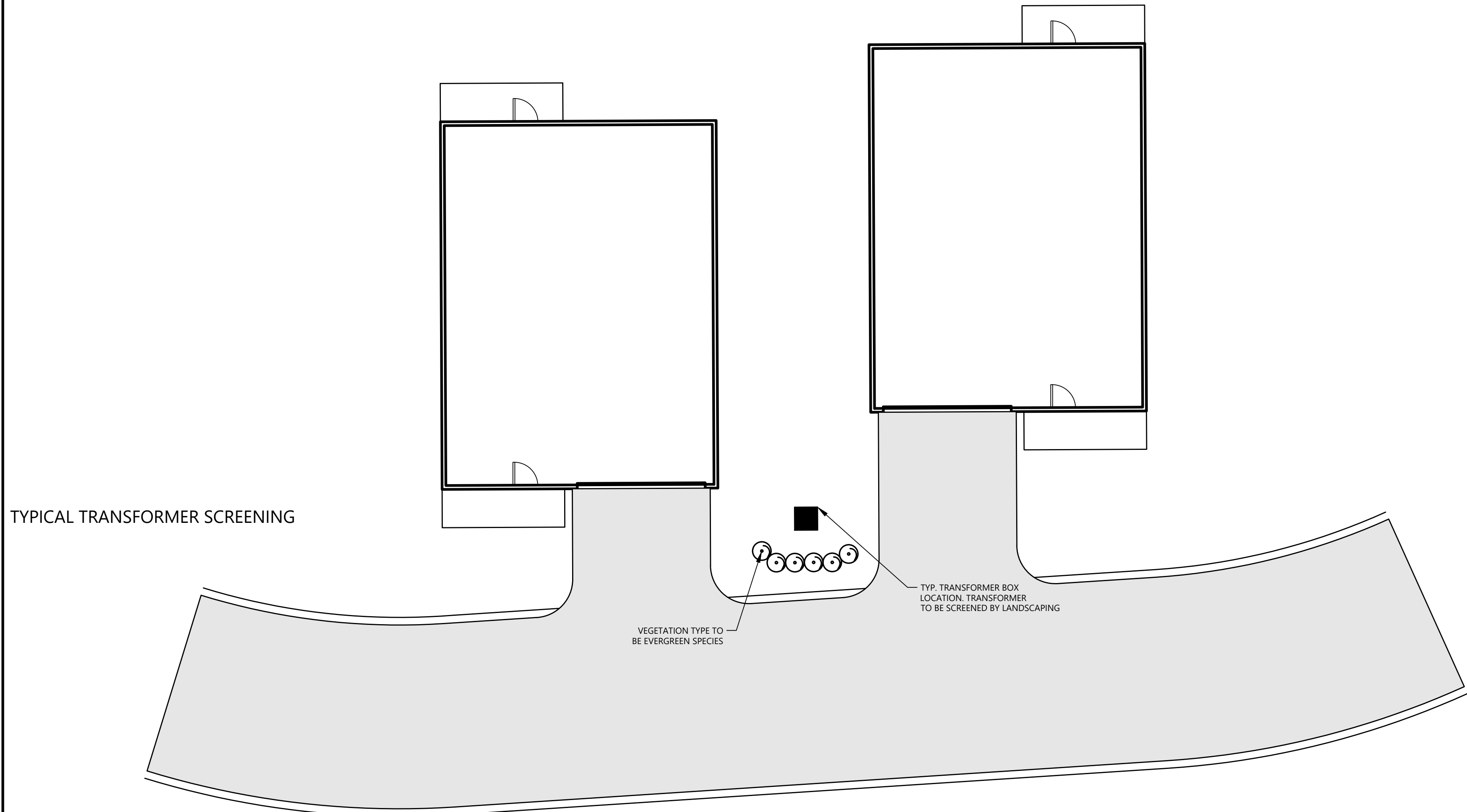


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C4.08



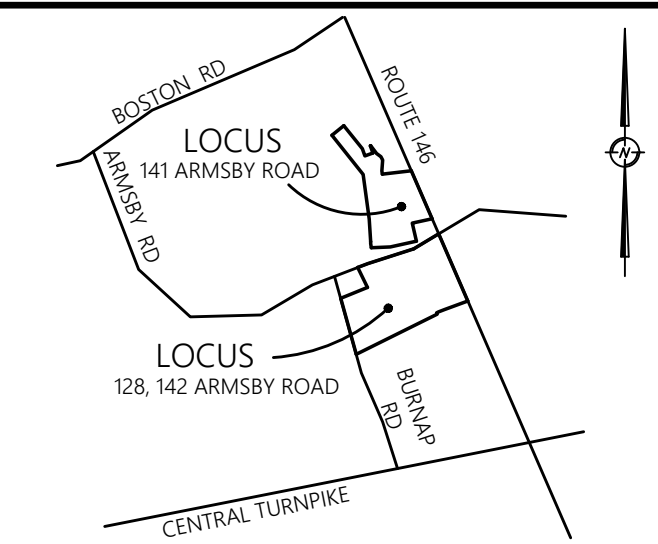
SUN CONDITION PLANTING PLAN



TYPICAL TRANSFORMER SCREENING

PLANTING SCHEDULE - TYPICAL FOUNDATION PLANTINGS - SUN CONDITIONS

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDIONS
TREES					
CK		<i>Cornus florida</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	3" Cal.	B&B
HT		<i>Hydrangea paniculata</i> 'Tardiva'	'Tardiva' Hydrangea	#15pot	Container Grown
JV		<i>Juniperus virginiana</i> 'Taylor'	'Taylor' Red Cedar	60" Ht.	B&B
PS		<i>Picea pungens</i>	Colorado Blue Spruce	8" Ht.	B&B
SC		<i>Malus sp.</i> 'Sargent'	'Sargent' Crabapple	3" Cal.	Multi-stem
TO		<i>Thuja x plicata</i> 'Green Giant'	'Green Giant' Arborvitae	8" Ht.	B&B
CK		<i>Cornus florida</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	3" Cal.	B&B
HT		<i>Hydrangea paniculata</i> 'Tardiva'	'Tardiva' Hydrangea	#15pot	Container Grown
PR		<i>Prunus cerasifera</i> 'Newport'	'Newport' Plum Tree	3" Cal.	B&B
PS		<i>Picea pungens</i> 'Hoopsii'	'Hoopsii' Blue Spruce	8" Ht.	B&B
QP		<i>Quercus palustris</i> 'Green Pillar'	'Green Pillar' Oak	3" Cal.	B&B
SM		<i>Malus sp.</i> 'Snowdrift'	'Snowdrift' Crabapple	3" Cal.	B&B
SHRUBS					
CH		<i>Chamaecyparis obtusa</i> 'Golden Mops'	'Golden Mops' Hinoki Cypress	24" Ht.	B&B
IG		<i>Ilex crenata</i> 'Steeds'	'Steeds' Holly	24" Ht.	B&B
IS		<i>Ilex crenata</i> 'Sky Pencil'	'Sky Pencil' Holly	24" Ht.	B&B
HQ		<i>Hydrangea quercifolia</i> 'Pee Wee'	'Pee Wee' Hydrangea	24" Ht.	B&B
HP		<i>Hypericum</i> 'Hidcote'	Golden Cup St. John's Wort	24" Ht.	B&B
LE		<i>Leucothoe axillaris</i>	'Coast' Leucothoe	24" Ht.	B&B
PH		<i>Physocarpus opulifolius</i> 'Summerwine'	'Summerwine' Purple Ninebark	24" Ht.	B&B
PO		<i>Potentilla fruticosa</i> 'Dakota Sunrise'	'Dakota Sunrise' Potentilla	24" Ht.	B&B
BD		<i>Buddleia davidii</i> 'Pink Delight'	'Pink Delight' Butterfly Bush	24" Ht.	B&B
CI		<i>Cornus sericea</i> 'Insanti'	'Insanti' Dogwood	36"Ht.	B&B
HR		<i>Hibiscus syriacus</i> 'Rose Satin'	'Blue chiffon' Hibiscus	36"Ht.	B&B
JS		<i>Ilex crenata</i> 'Steeds'	'Steeds' Holly	36"Ht.	B&B
PH		<i>Physocarpus opulifolius</i> 'Coppertina'	'Mindia' Purple Ninebark	36"Ht.	B&B
SA		<i>Salix integra</i> 'Fleming'	'Fleming' Japanese Willow	36"Ht.	B&B
VD		<i>Viburnum dentatum</i> 'Blue Muffin'	'Blue Muffin' Viburnum	36"Ht.	B&B
VL		<i>Viburnum dentatum</i> 'Chicago Lustre'	Chicago Lustre' Viburnum	6" Ht.	B&B
EF		<i>Euonymus fortunei</i> 'Emerald n Gold'	'Emerald n Gold' Euonymus	24" Ht.	B&B
HY		<i>Hydrangea arborescens</i> 'Abetwo'	'Abetwo' Hydrangea	36" Ht.	B&B
IN		<i>Ilex glabra</i> 'Nordic'	'Nordic' Holly	#7 Pot	B&B
KL		<i>Kalmia latifolia</i> f. 'myrt.	'Little Linda' Mtn. Laurel	#3 Pot	Container Grown
LE		<i>Leucothoe font.</i> 'Girard's Rainbow'	'Girard's Rainbow' Leucothoe	36"Ht.	B&B
PF		<i>Pieris japonica</i> 'Dorothy Wycoff'	'Dorothy Wycoff' Mtn. Andromeda	36"Ht.	B&B
RH		<i>Rhododendron sp.</i> 'Percy Wiseman'	'Percy Wiseman' Rhododendron	36"Ht.	B&B
RM		<i>Rosa sp.</i> 'Blushing Knock Out'	'Blushing Knock out' Rose	36" Ht.	B&B
SA		<i>Salix integra</i> 'Fleming'	'Fleming' Japanese Willow	#3 Pot	Container Grown
SB		<i>Ystringa x penda</i> 'Bloomerang'	'Bloomerang' Lilac	36"Ht.	B&B
TC		<i>Taxus baccata</i> 'Repandens'	Spreading English Yew	24" Ht.	B&B
YF		<i>Yucca filamentosa</i> 'Bright Edge'	'Bright Edge' Yucca	#7 Pot	Container Grown
PERENNIALS					
AC		<i>Achillea millefolium</i> 'Moonshine'	'Moonshine' Yarrow	#2 Pot	Container Grown
CD		<i>Calluna vulgaris</i> 'Darlyensis'	'Darlyensis' Heather	#3 Pot	Container Grown
HB		<i>Hosta sp.</i> 'Big Daddy'	'Big Daddy' Hosta	#2 Pot	Container Grown
HH		<i>Hemerocallis sp.</i> 'Happy Return'	'Happy Return' Daylily	#2 Pot	Container Grown
IR		<i>Iris ensata</i> 'Lion King'	'Lion King' Iris	#3 Pot	Container Grown
LB		<i>Leucanthemum x superbum</i> 'Becky'	'Becky' Shasta Daisy	#2 Pot	Container Grown
MD		<i>Monarda didyma</i> 'Fireball'	'Fireball' Beebalm	#3 Pot	Container Grown
PV		<i>Pennisetum alopecuroides</i> 'Hameln'	'Hameln' Fountain Grass	#3 Pot	Container Grown
RB		<i>Rudbeckia fulgida</i> x 'Goldstrum'	'Goldstrum' Black eye susan	#1 Pot	Container Grown
SC		<i>Salvia memorosa</i> 'Caradonna'	'Caradonna' Salvia	#2 Pot	Container Grown
SH		<i>Pennisetum alopecuroides</i> 'Hameln'	'Hameln' Fountain Grass	#1 Pot	Container Grown

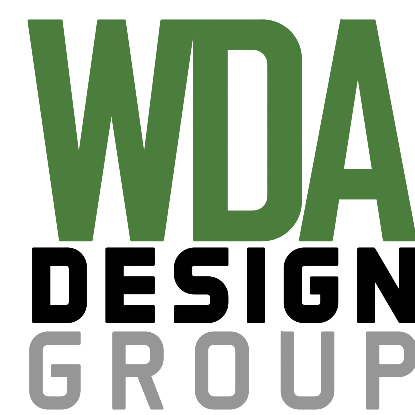


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Boston, MA 02116
(Suffolk County)

PREPARED FOR:

COMPTON PROPERTY DEVELOPMENT LLC.
699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:
FOUNDATION PLANTING PLAN (SUN AREAS)

WEDGEWOOD FARM
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

SPECIAL PERMIT & SITE PLAN REVIEW

SCALE: 1" = 10'

JOB NO.: 0513 DATE: 03/11/19
DWN. BY: DMM SHEET:
CHK'D BY: PJB C4.09



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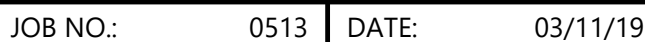
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WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

SPECIAL PERMIT & SITE PLAN
REVIEW

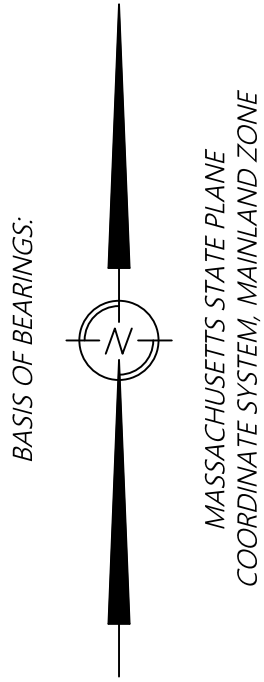
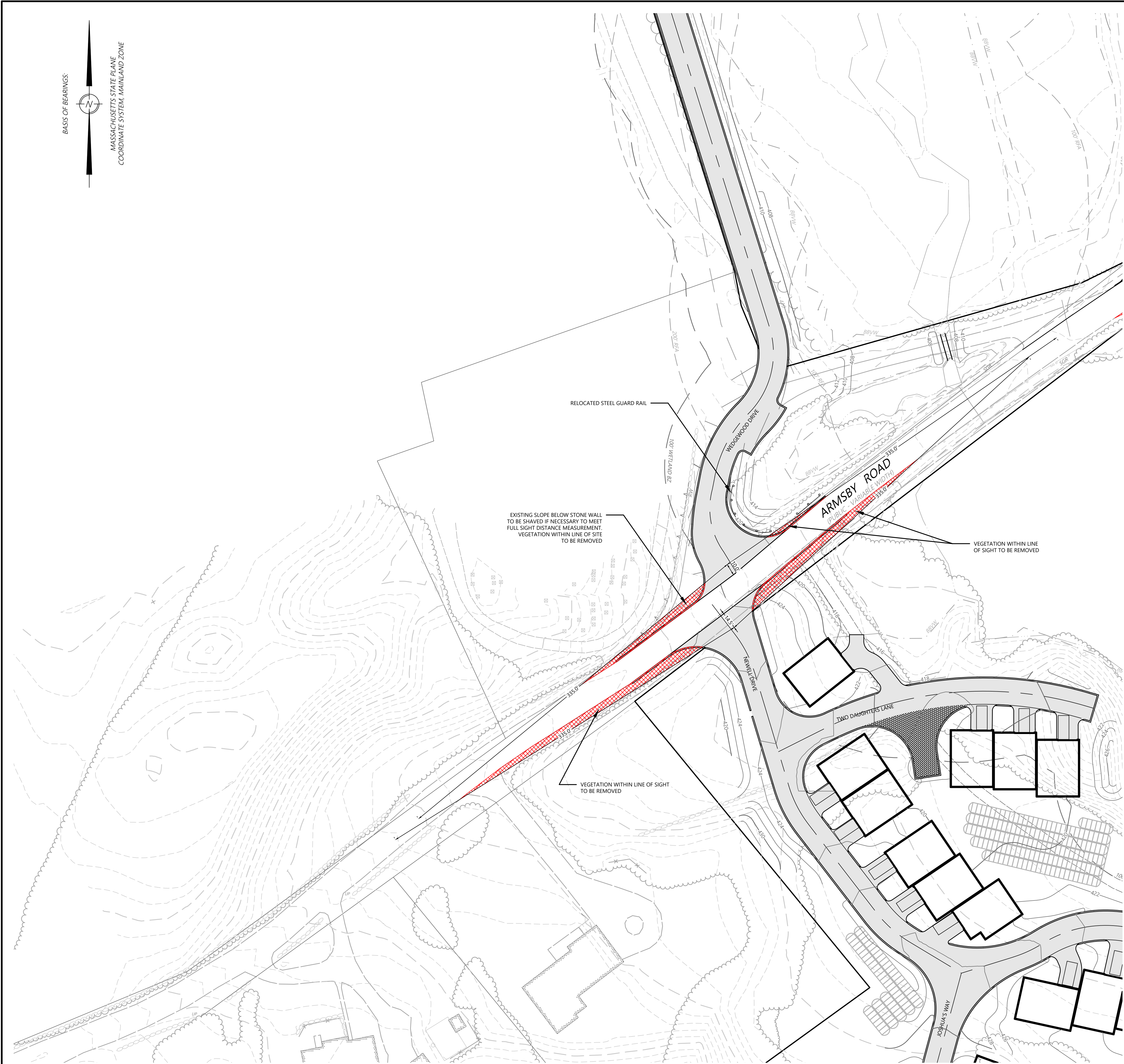
SCALE: 1" = 10'



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CHK'D. BY: PJB | C4.10

C4.10



INTERSECTION OF WEDGEWOOD DRIVE AND ARMSBY ROAD
LOOKING WEST.



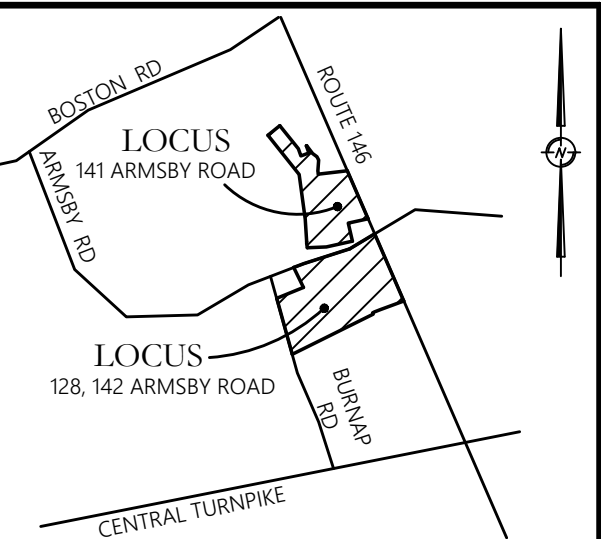
INTERSECTION OF WEDGEWOOD DRIVE AND ARMSBY ROAD
LOOKING EAST.



INTERSECTION OF NEWELL DRIVE AND ARMSBY ROAD LOOKING
WEST.



INTERSECTION OF NEWELL DRIVE AND ARMSBY ROAD LOOKING
EAST.



LOCUS MAP
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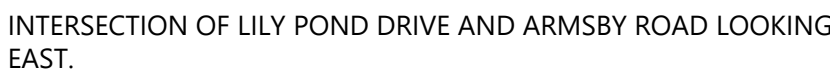
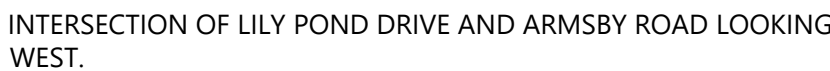
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SIGHT CLEARING EXHIBIT**

**128, 141 & 142 ARMSBY
ROAD**
Sutton MA
(Worcester County)


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REVIEW**

SCALE: 1" = 40'
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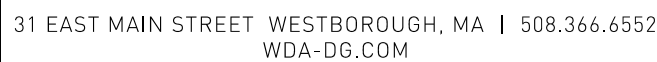
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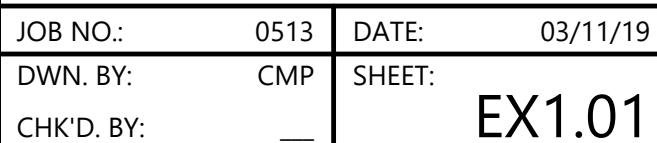
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TITLE:

128, 141 & 142 ARMSBY
ROAD
Sutton MA
(Worcester County)

SPECIAL PERMIT & SITE PLAN
REVIEW

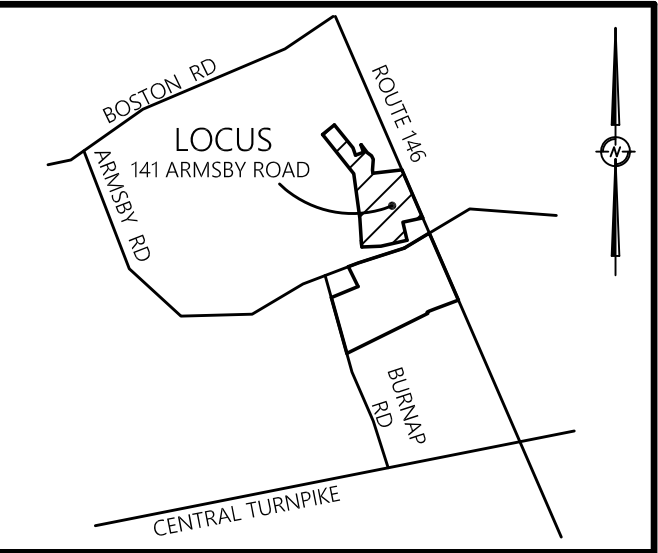
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BASIS OF BEARINGS:
MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM, MAINLAND ZONE



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(Suffolk County)

PREPARED FOR:

**COMPTON PROPERTY
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Boston, MA 02116
(Suffolk County)

TITLE:

**BULK OPEN SPACE
EXHIBIT**

WEDGEWOOD FARM
141 Armsby Road
Sutton MA
(Worcester County)

**SPECIAL PERMIT & SITE PLAN
REVIEW**

SCALE: 1" = 80'			
JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	CMP	SHEET:	
CHK'D. BY:	PJB	EX1.02	

BULK CUMULATIVE OPEN SPACE FOR 141 ARMSBY ROAD

= OPEN SPACE

17.1 ACRES OF BULK OPEN SPACE (76% OF THE 22.5 ACRE SITE)

NOTE: OPEN SPACE TO PR PROTECTED BY THE RECODRING OF A CONSERVATION EASEMENT DOCUMENT AND THIS PLAN AT THE WORCESTER REGISTRY OF DEEDS.

TYPICAL SETBACK DIMENSIONS WERE CALCULATED AS FOLLOWS:
10' OFFSET FROM BUILDINGS
5' OFFSET FROM ROADS

= OPEN SPACE

27.4 ACRES OF BULK OPEN SPACE (79% OF THE 34.7 ACRE SITE)

NOTE: OPEN SPACE TO PR PROTECTED BY THE RECODRING OF A CONSERVATION EASEMENT DOCUMENT AND THIS PLAN AT THE WORCESTER REGISTRY OF DEEDS.
TYPICAL SETBACK DIMENSIONS WERE CALCULATED AS FOLLOWS:
10' OFFSET FROM BUILDINGS
5' OFFSET FROM ROADS

LOCUS
128 & 142 ARMSBY
ROAD

LOCUS MAP
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DEVELOPMENT LLC.

699 Boylston St., 12th Floor
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(Suffolk County)

TITLE:

BULK OPEN SPACE
EXHIBIT

WEDGEWOOD FARM
128 & 142 Armsby Road
Sutton MA
(Worcester County)

SPECIAL PERMIT & SITE PLAN
REVIEW

SCALE: 1" = 80'

080160240

JOB NO.: 0513

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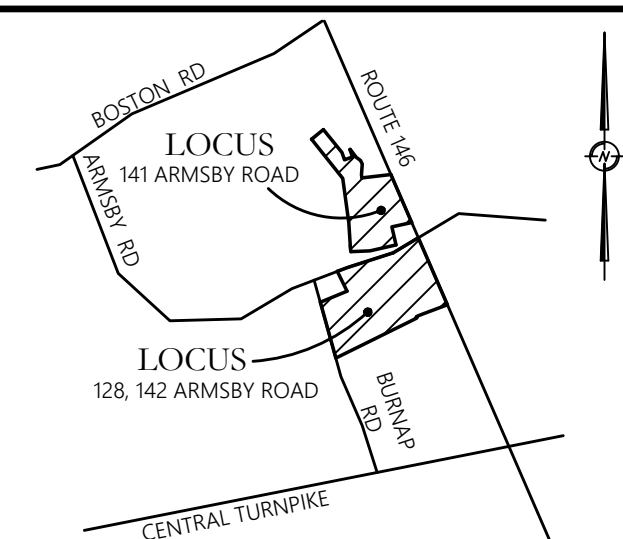
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EX1.03

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B	05/15/19	NO REVISION	
A		INITIAL ISSUE	
EV.	DATE	DESCRIPTION	INITIAL

PREPARED BY:

1 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6551
WDA-DG.COM

OWNER:

COMPTON PROPERTY
DEVELOPMENT LLC.

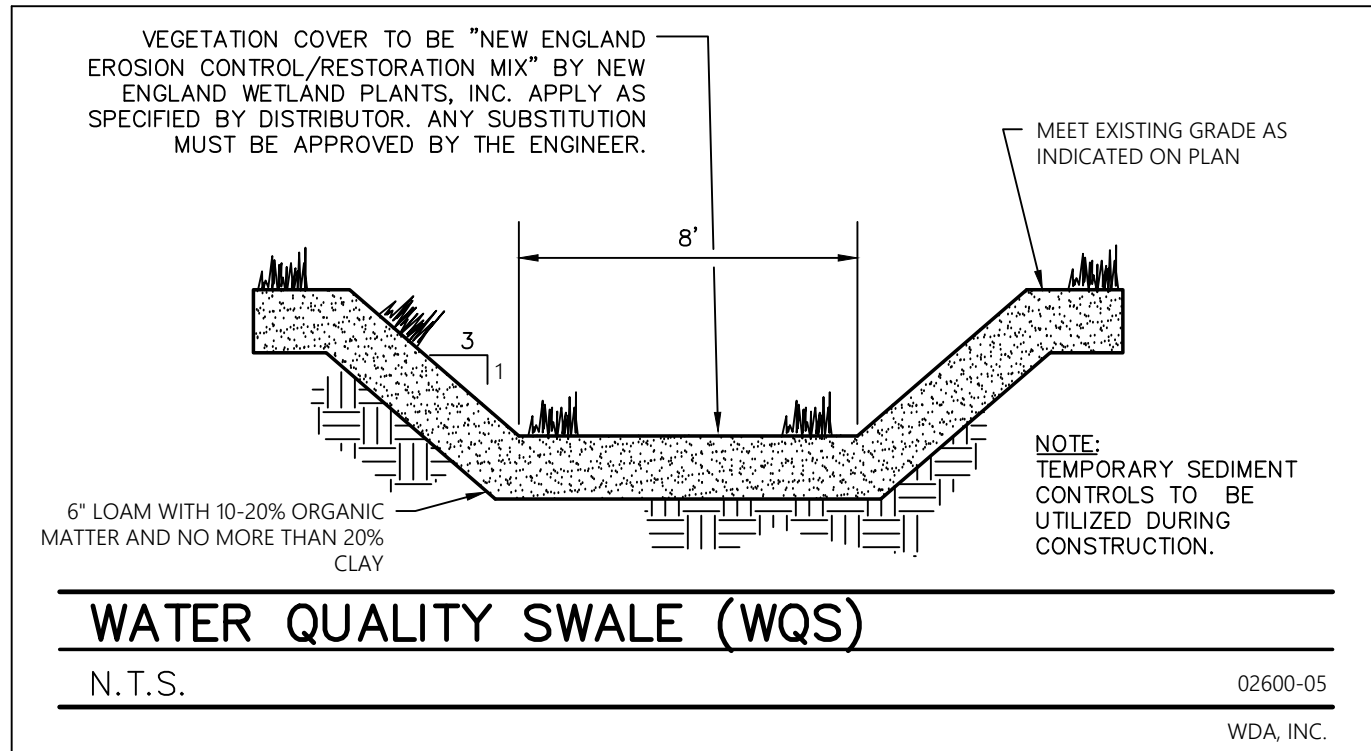
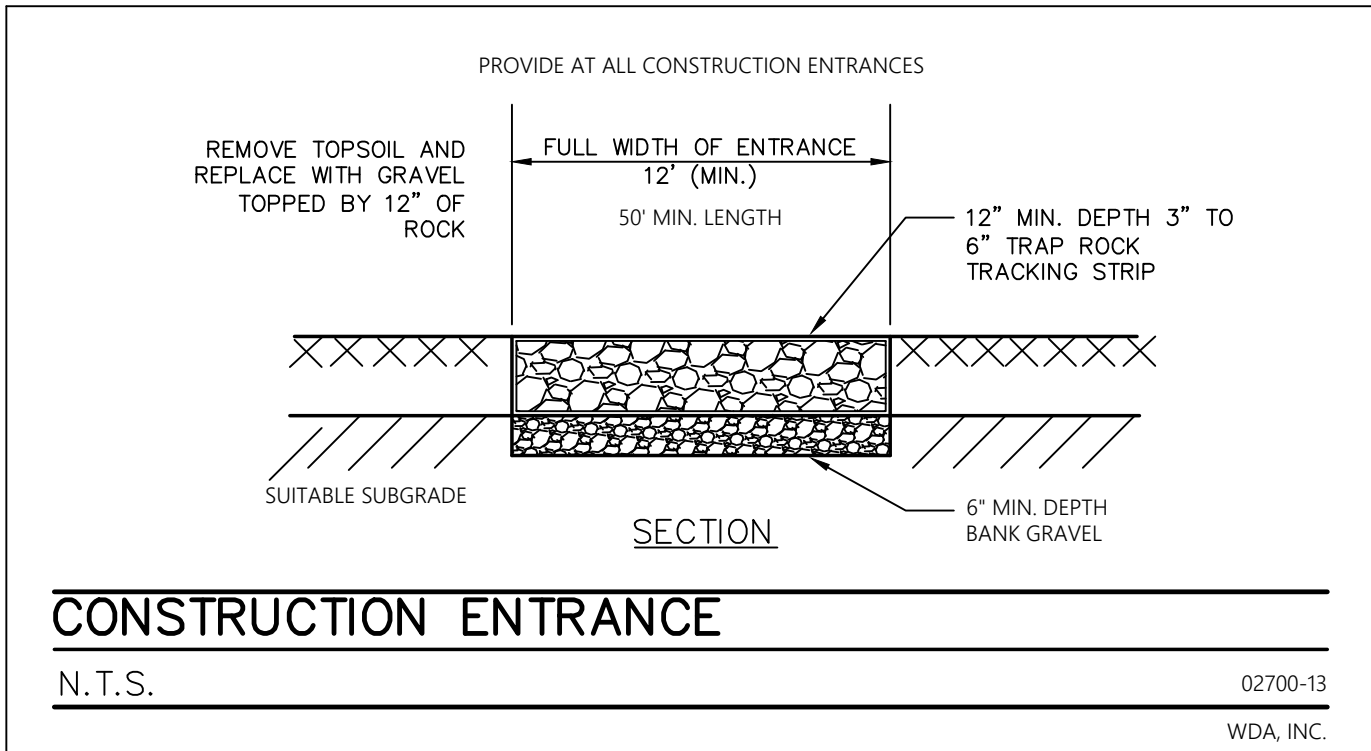
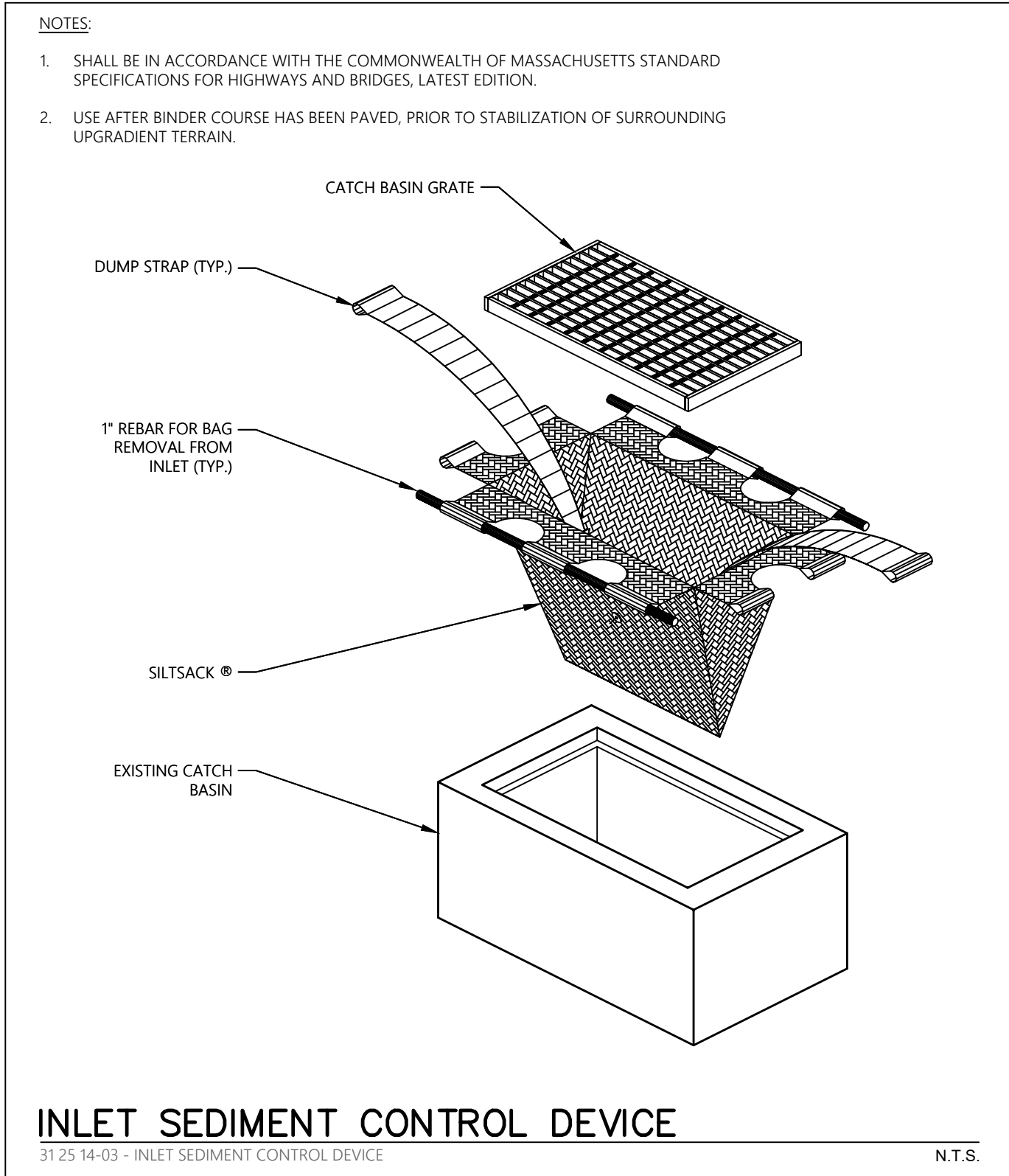
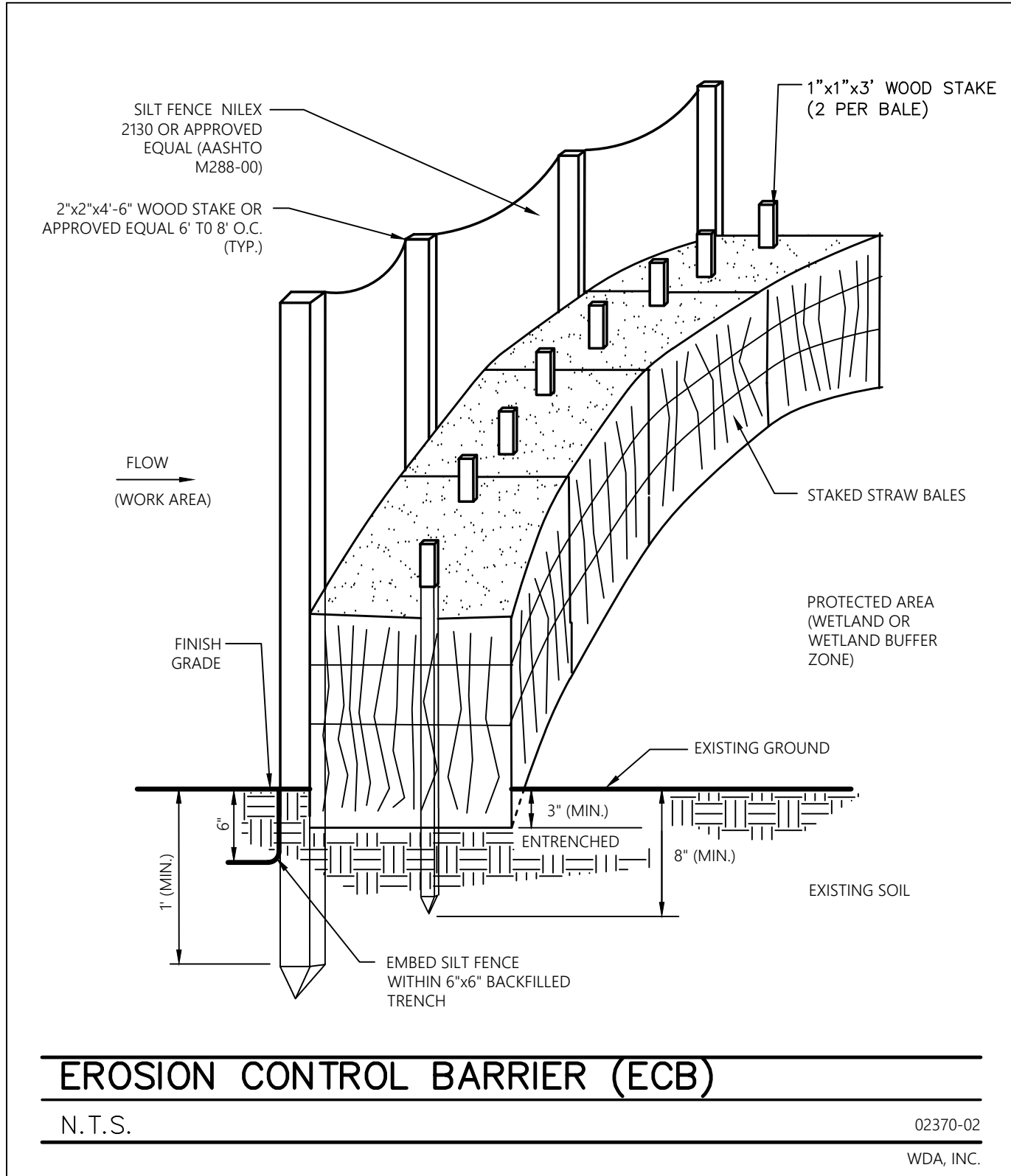
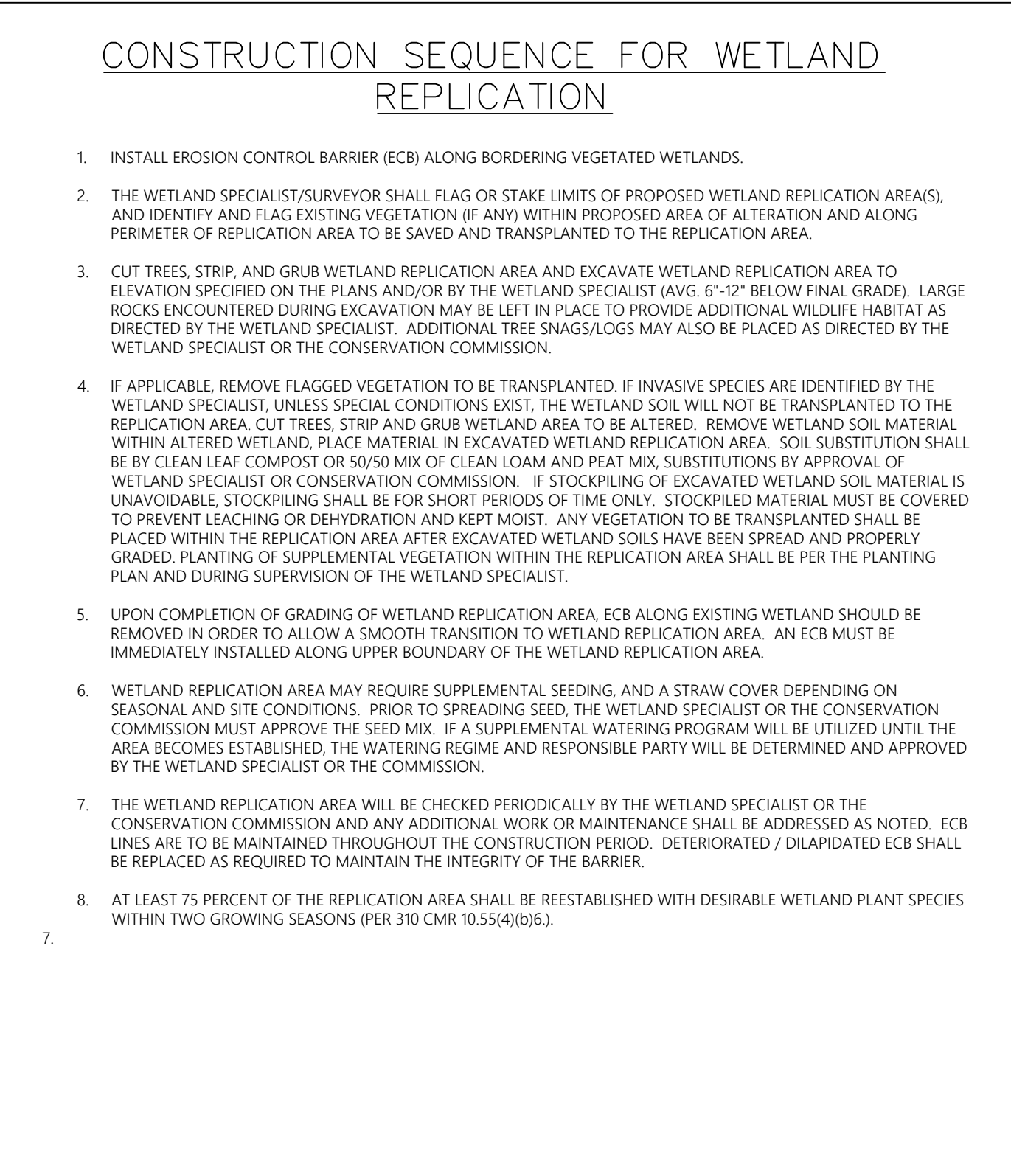
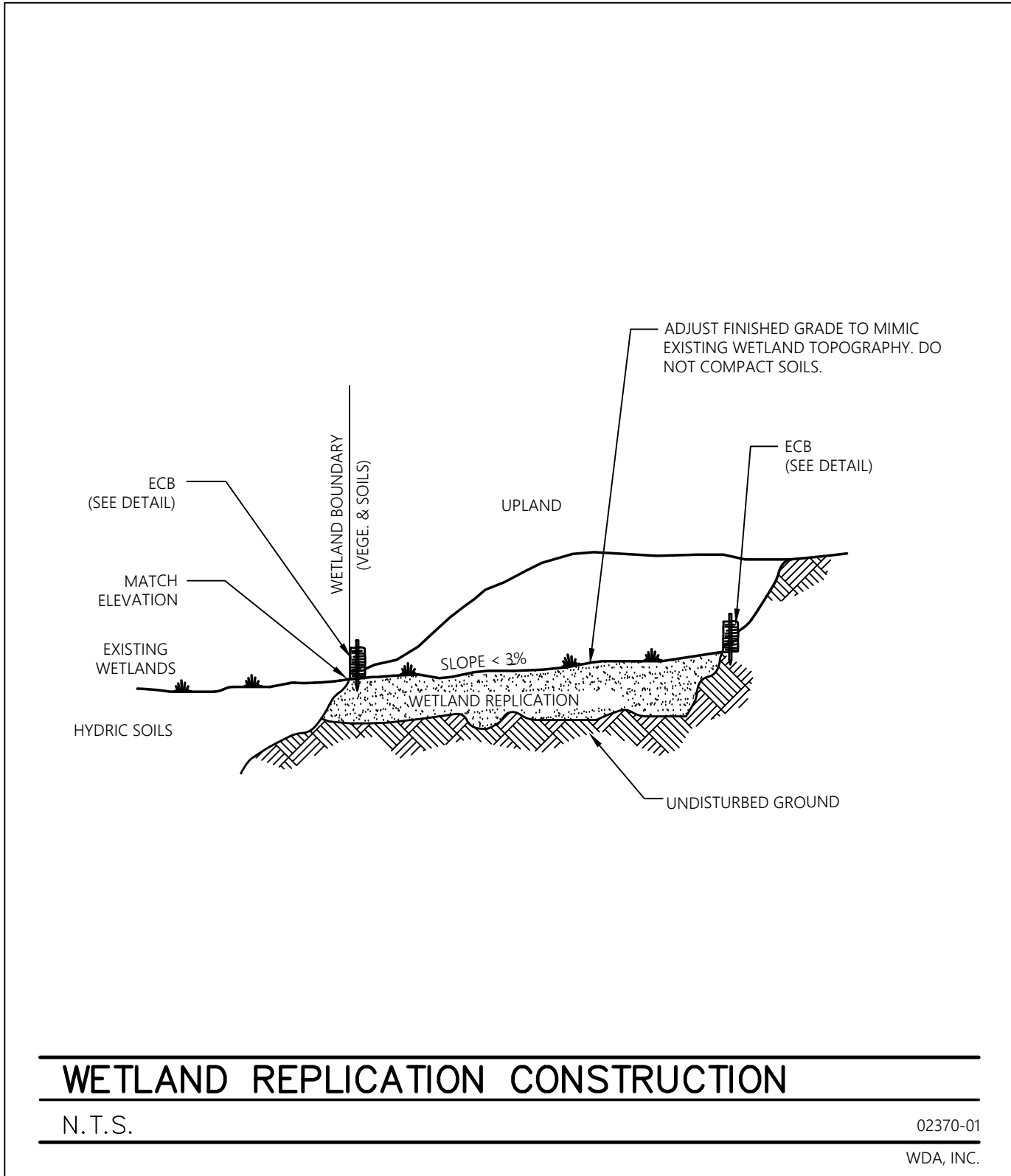
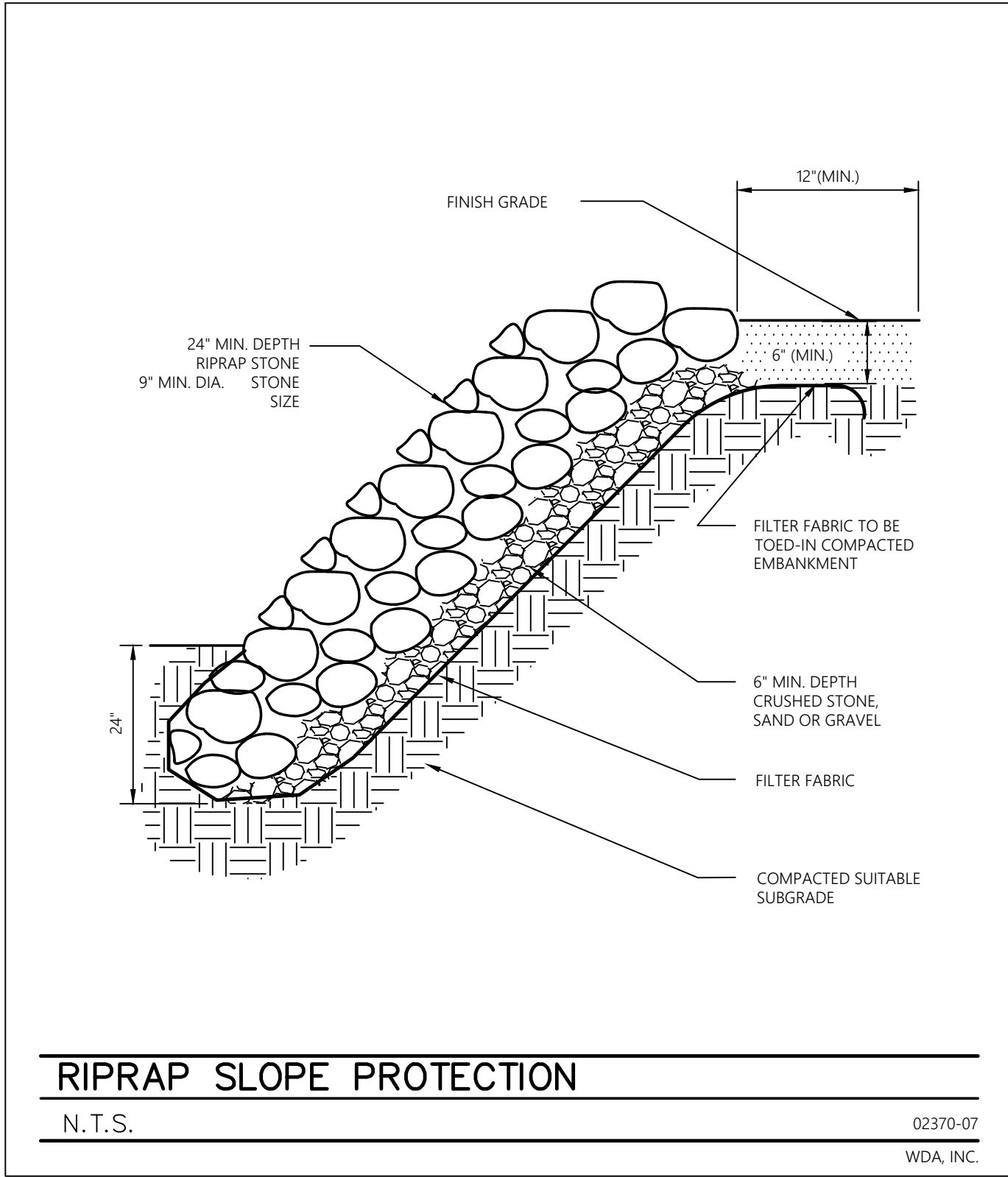
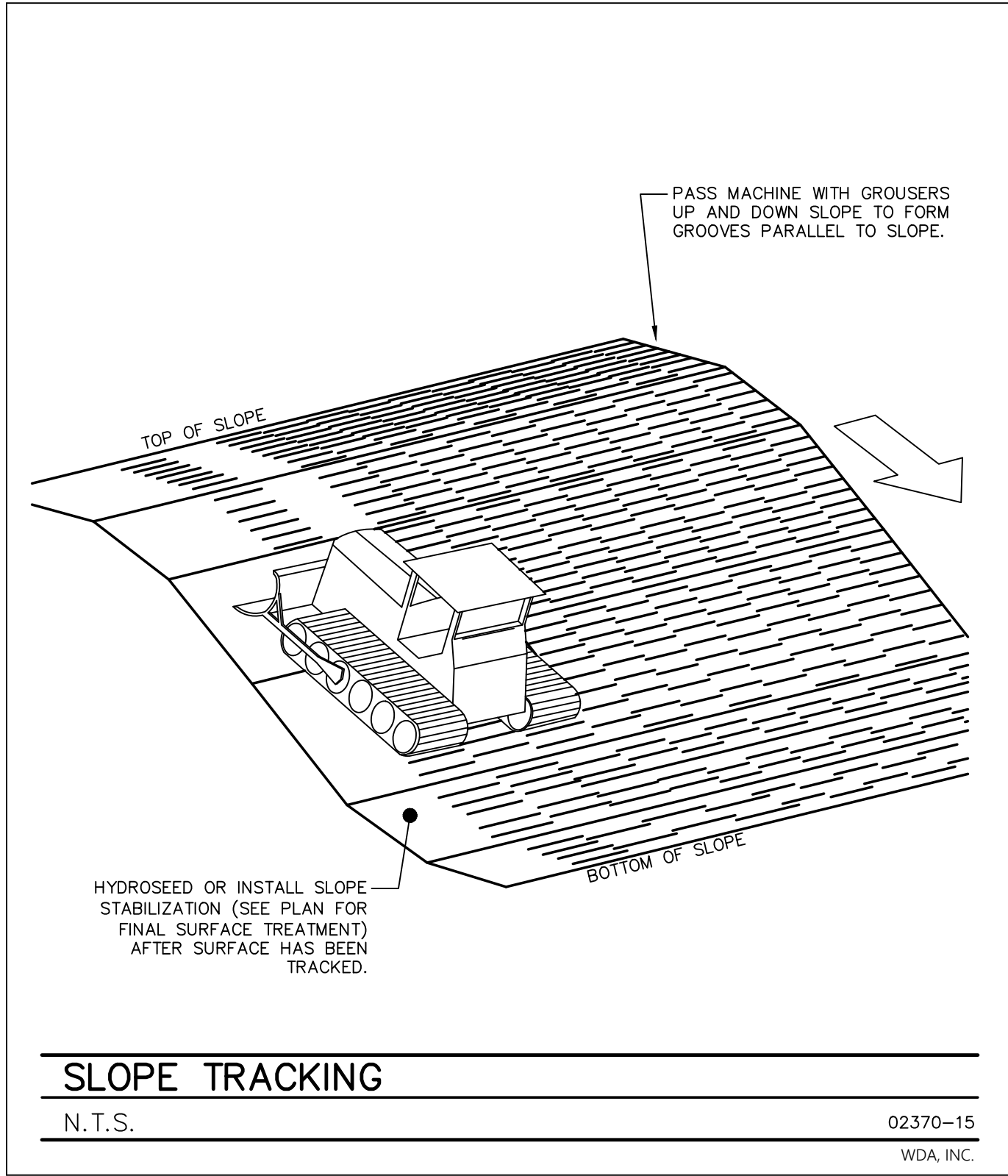
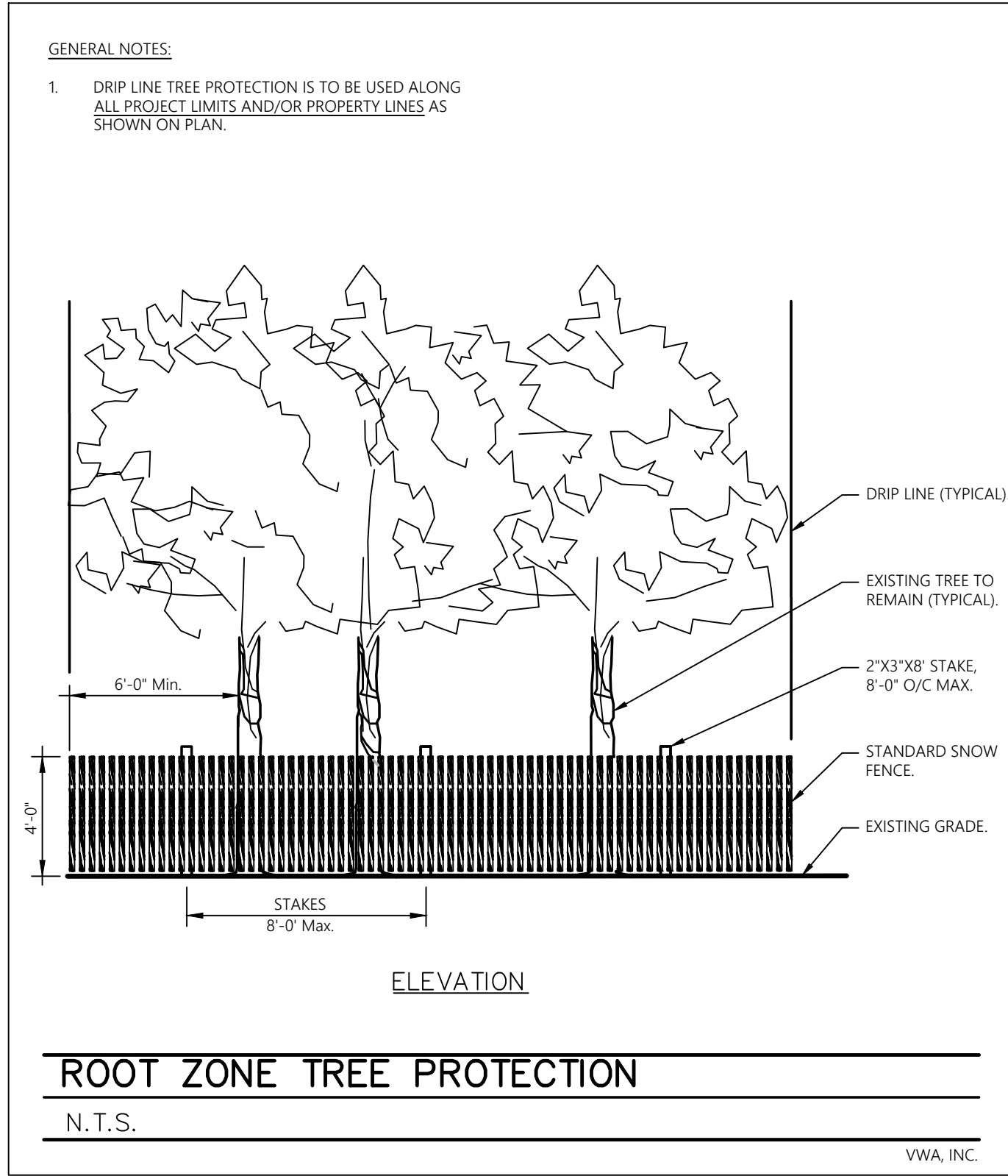
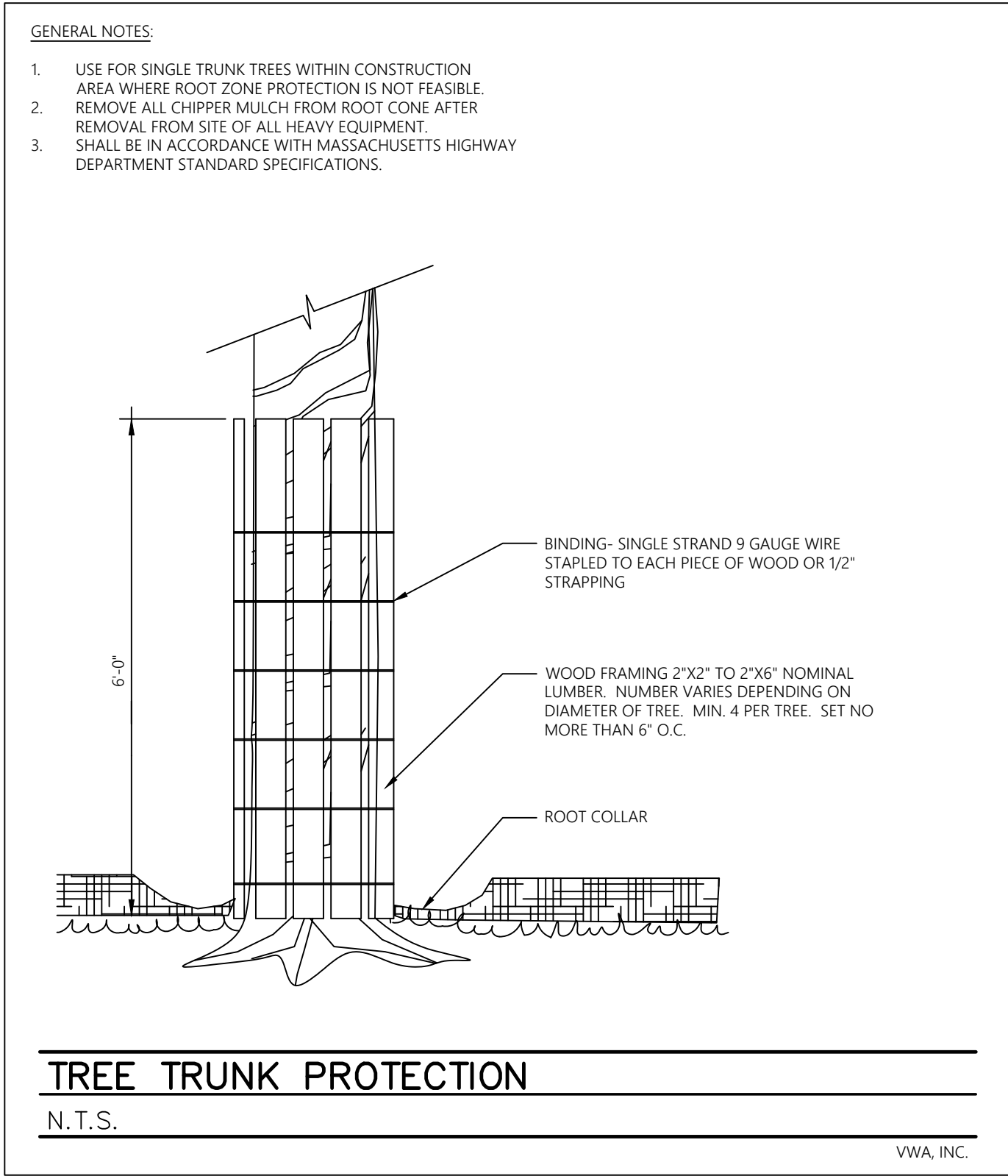
PREPARED FOR:

TITLE: 70' BUFFER ZONE
VEGETATION REMOVAL
EXHIBIT

SPECIAL PERMIT & SITE PLAN
REVIEW

CHK'D. BY: _____ EX1.04

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSE
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PREPARED BY:

WDA DESIGN GROUP

31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
WDA-DG.COM

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699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

PREPARED FOR:

COMPTON PROPERTY DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

CONSTRUCTION DETAILS

WEDGEWOOD FARM

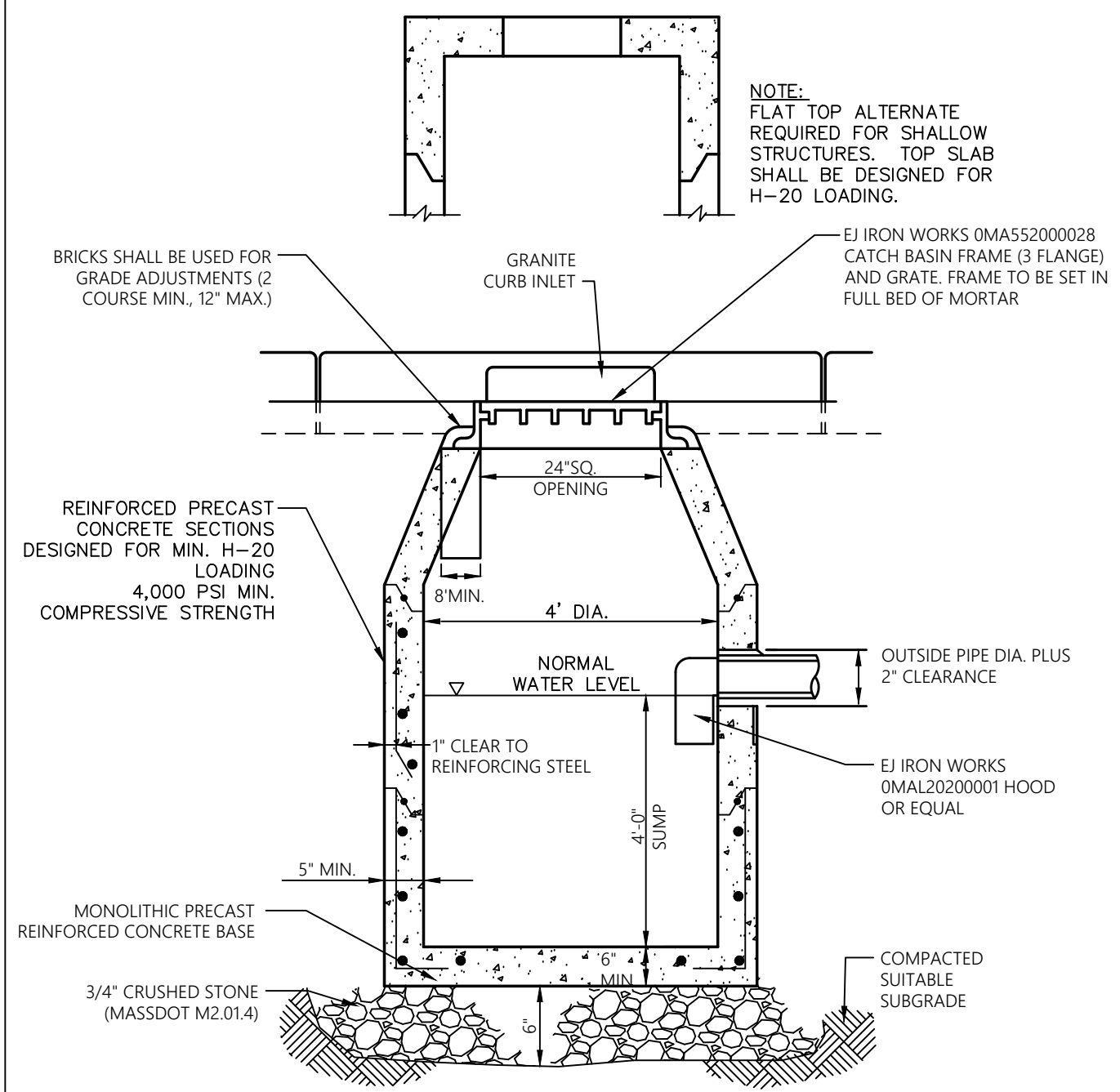
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: AS SHOWN

JOB NO.: 0513 DATE: 03/11/19
DWN. BY: CMP SHEET:
CHK'D. BY: PJB

C5.01

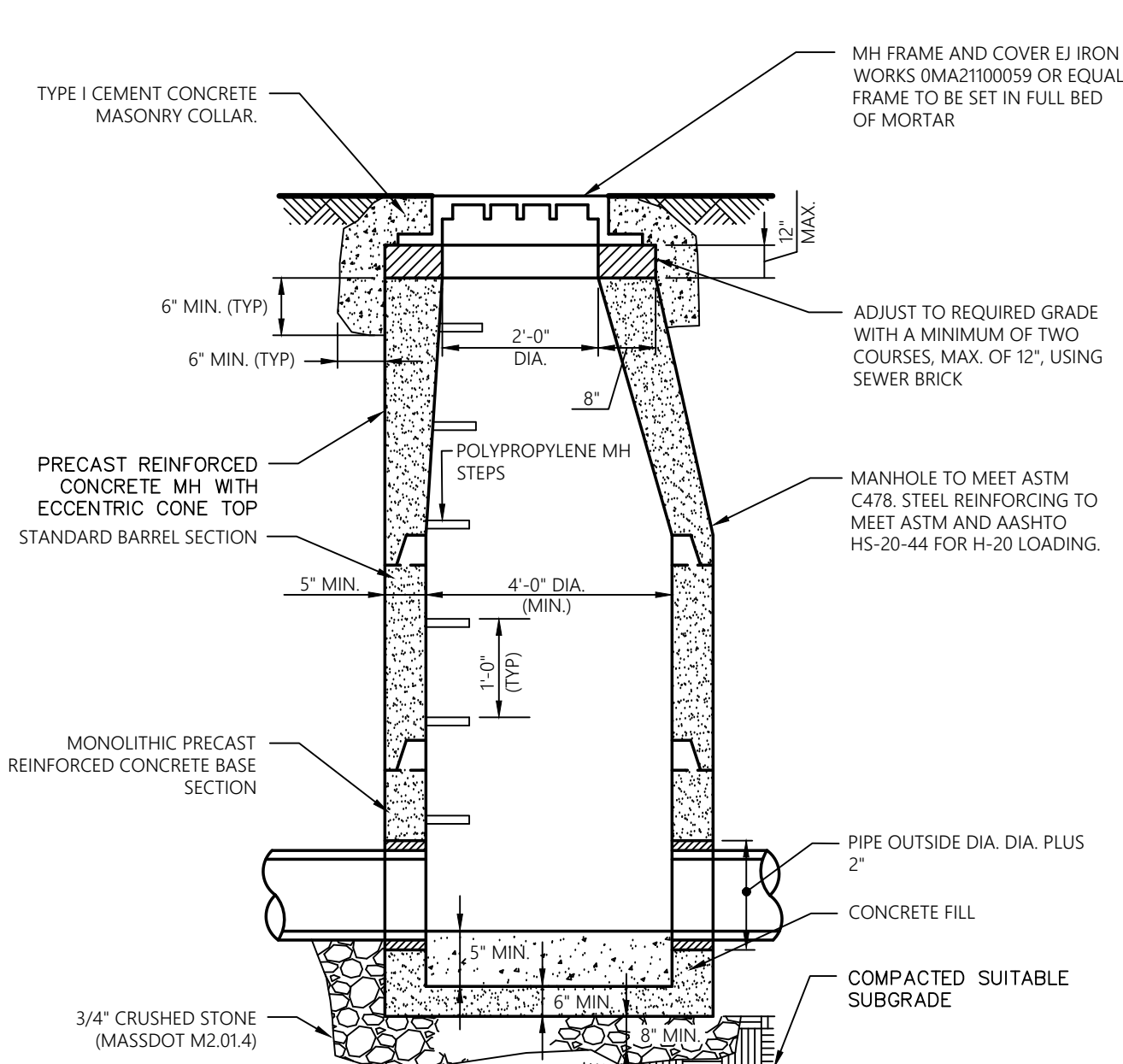


4' DIAMETER CATCH BASIN (CB)

N.T.S.

02600-01

WDA, INC.

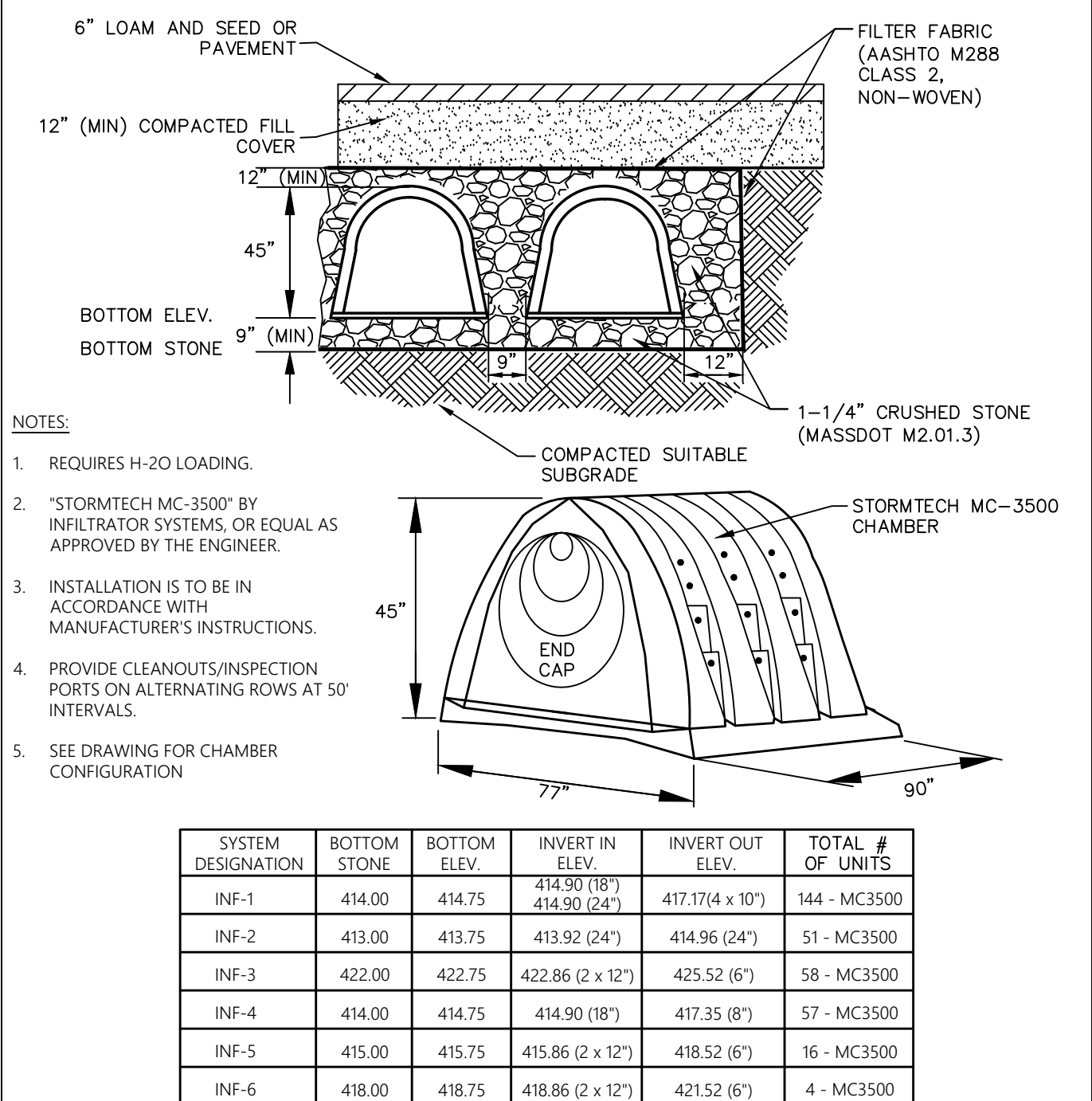


DRAIN MANHOLE (DMH)

N.T.S.

02600-04

WDA, INC.



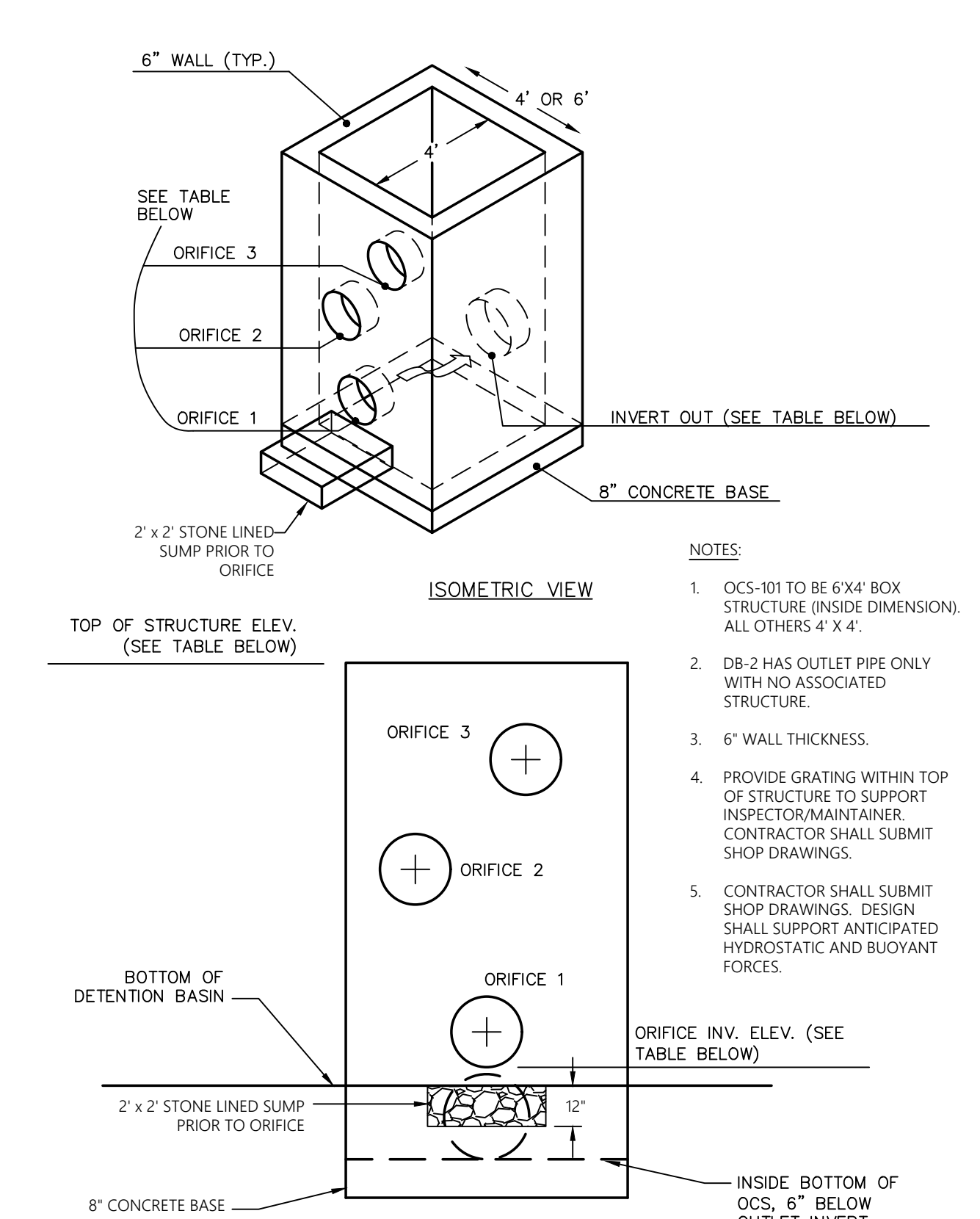
STORMWATER INFILTRATION SYSTEM (INF)

N.T.S.

02600-12

STORMTECH

WDA, INC.



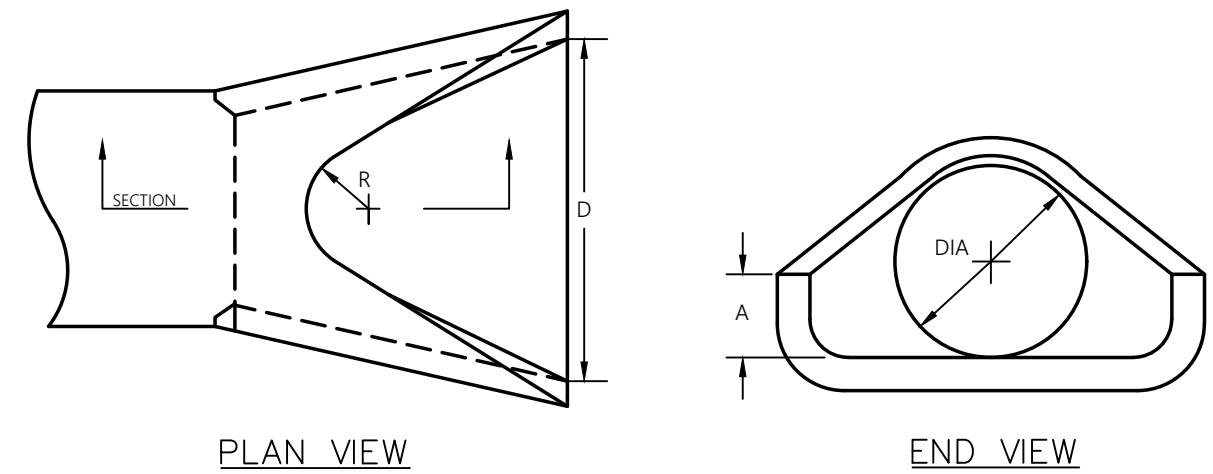
OUTLET CONTROL STRUCTURE (OCS)

N.T.S.

02600-14

WDA, INC.

OCS #	ORIFICE 1 SIZE (INCHES)	ORIFICE 1 ELEV.	ORIFICE 2 SIZE (INCHES)	ORIFICE 2 ELEV.	ORIFICE 3 SIZE (INCHES)	ORIFICE 3 ELEV.	OUTLET SIZE (INCHES)	OUTLET INVERT ELEV.	TOP OF STRUCTURE ELEV.
DB-1	4"	418.75	6"	419.00	N/A	N/A	12"	416.0	420.0
DB-2	N/A	N/A	N/A	N/A	N/A	N/A	12"	422.0	N/A
DB-3	8"	413.90	10"	415.00	N/A	N/A	12"	412.0	416.0
DB-4	6"	402.60	12"	403.80	N/A	N/A	12"	402.5	406.0

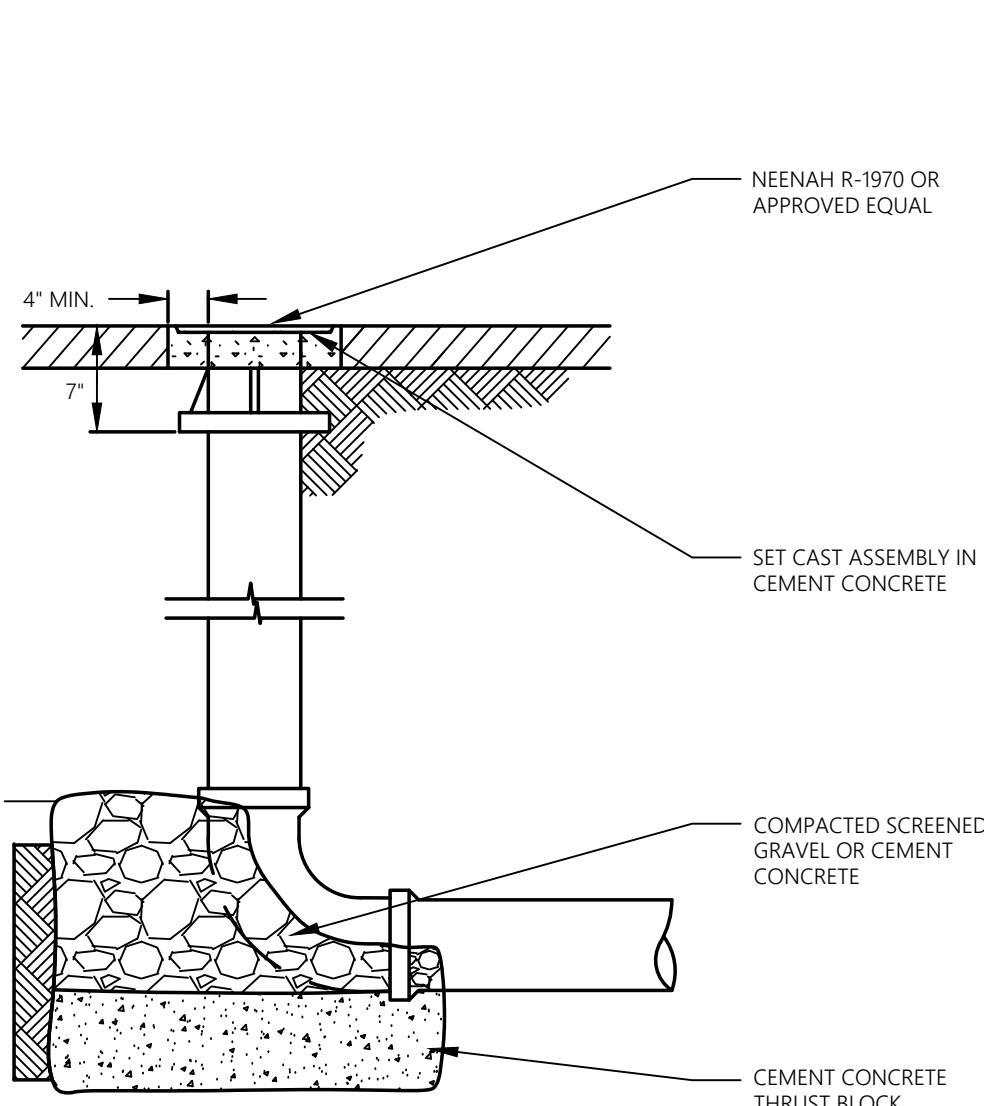


PLASTIC FLARED END (FE)

N.T.S.

02600-30

WDA, INC.

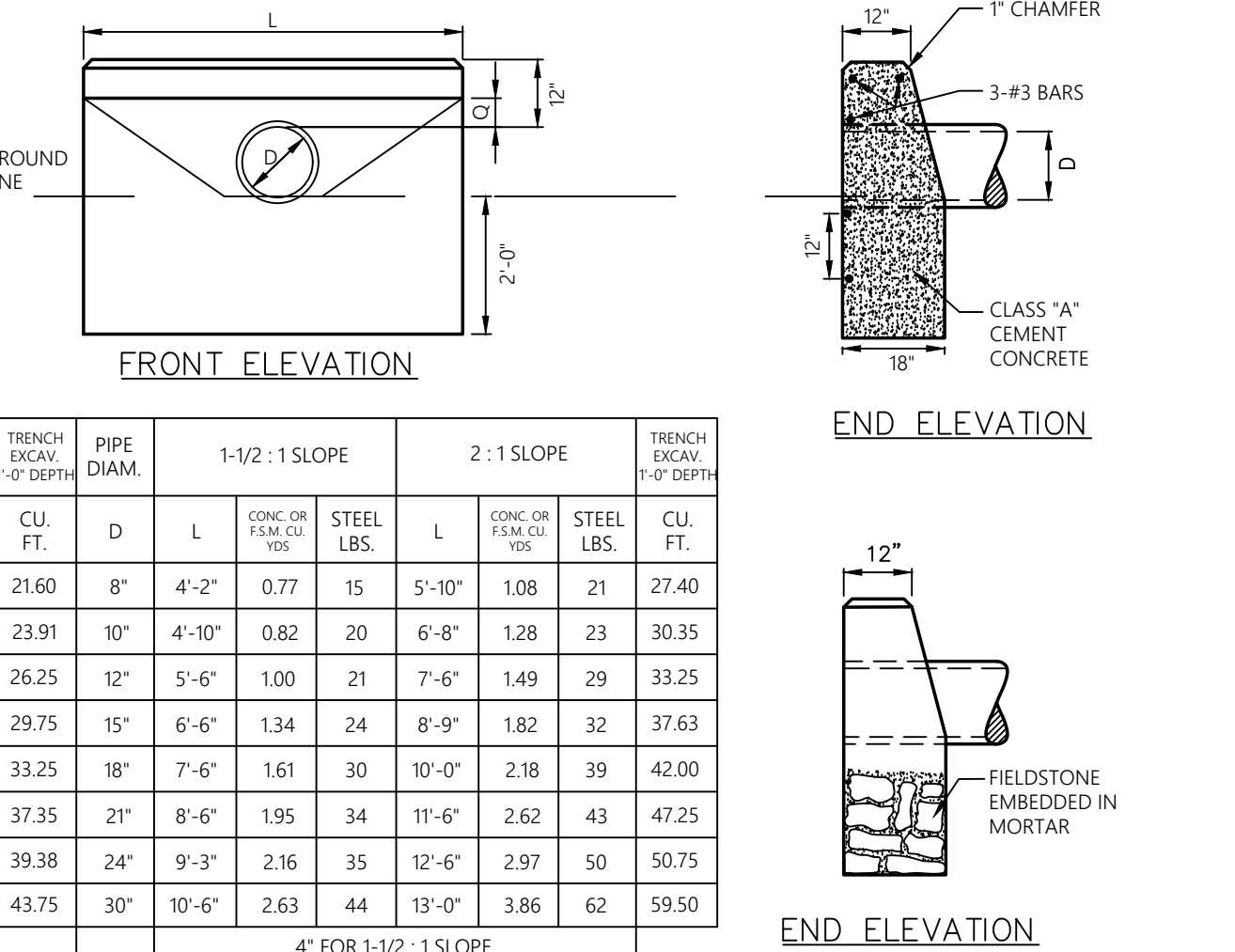


CLEANOUT (C/O)

N.T.S.

02600-24

WDA, INC.

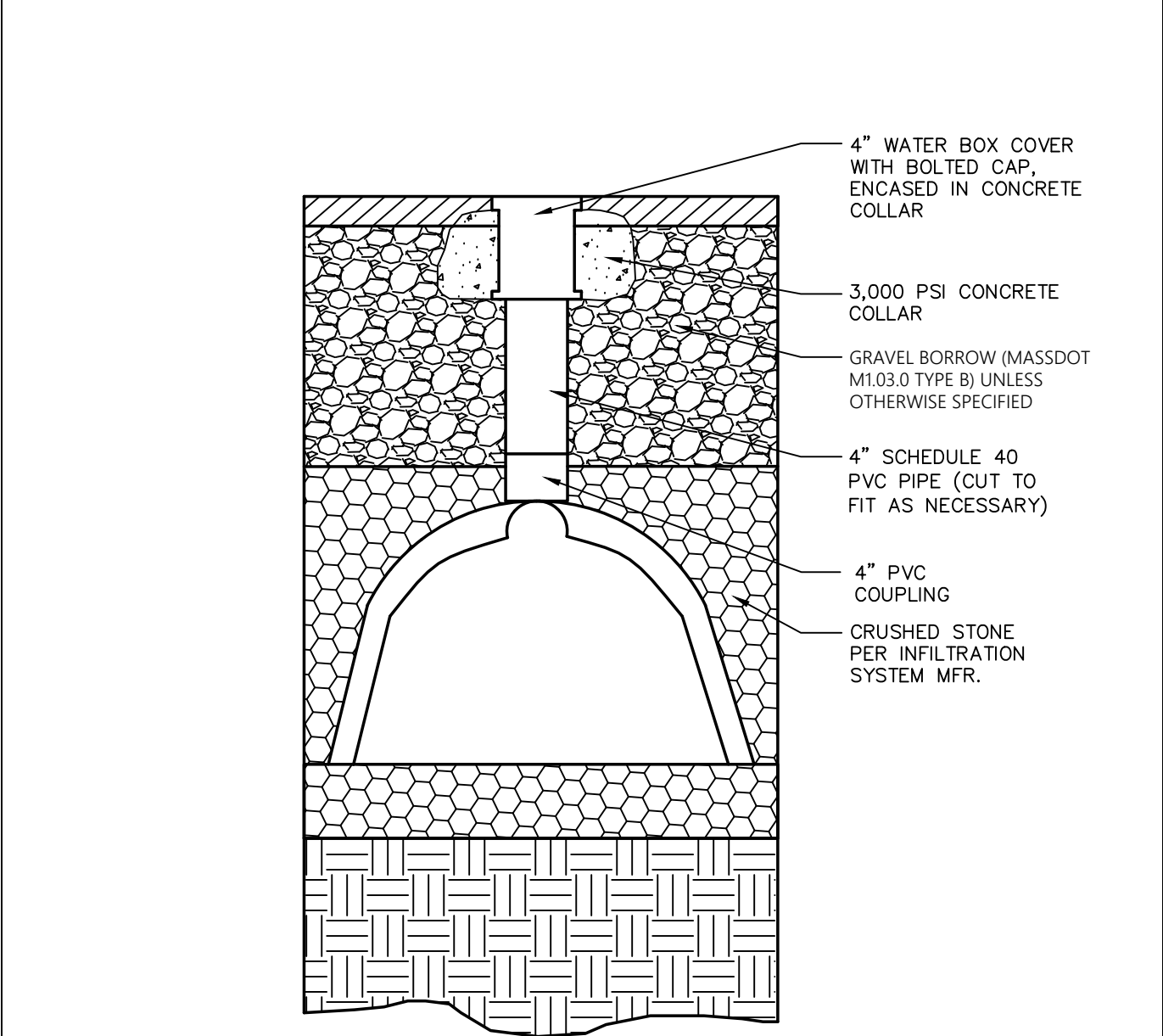


STRAIGHT HEADWALL (HW)

N.T.S.

02600-31

WDA, INC.



INFILTRATOR INSPECTION PORT

N.T.S.

02600-13

WDA, INC.

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A		INITIAL ISSUE	
REV.	DATE	DESCRIPTION	INIT.

PREPARED BY:

WDA
DESIGN
GROUP

31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
WDA-DG.COM

OWNER:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

PREPARED FOR:

COMPTON PROPERTY
DEVELOPMENT LLC.

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

CONSTRUCTION
DETAILS

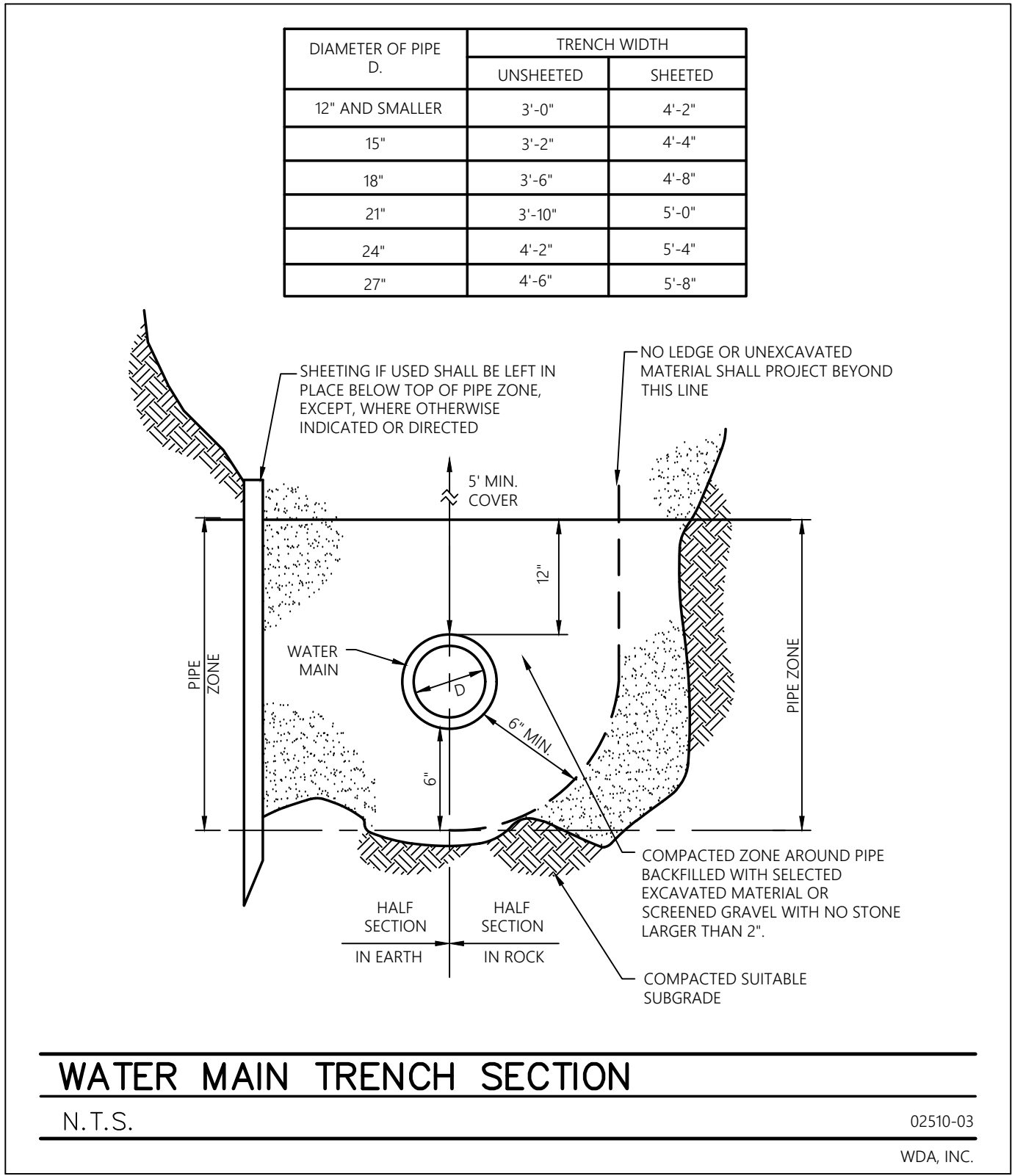
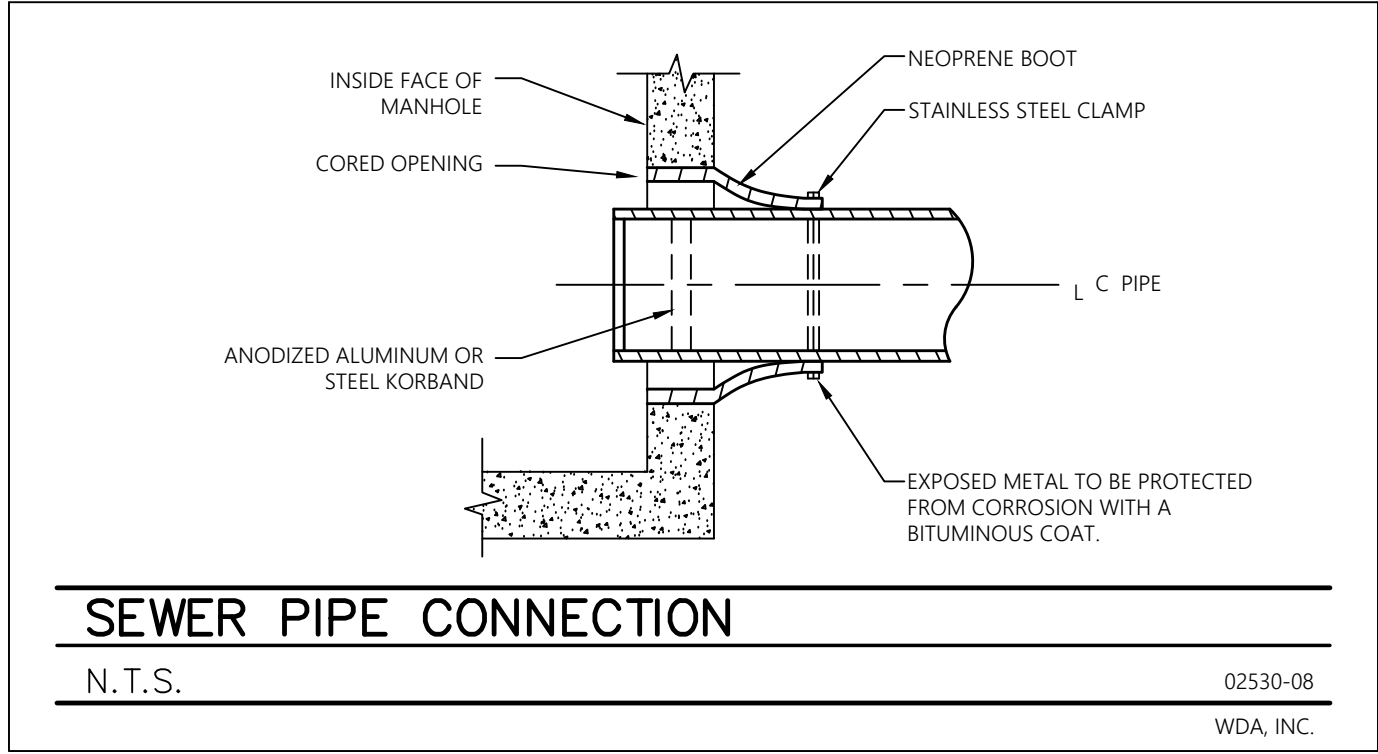
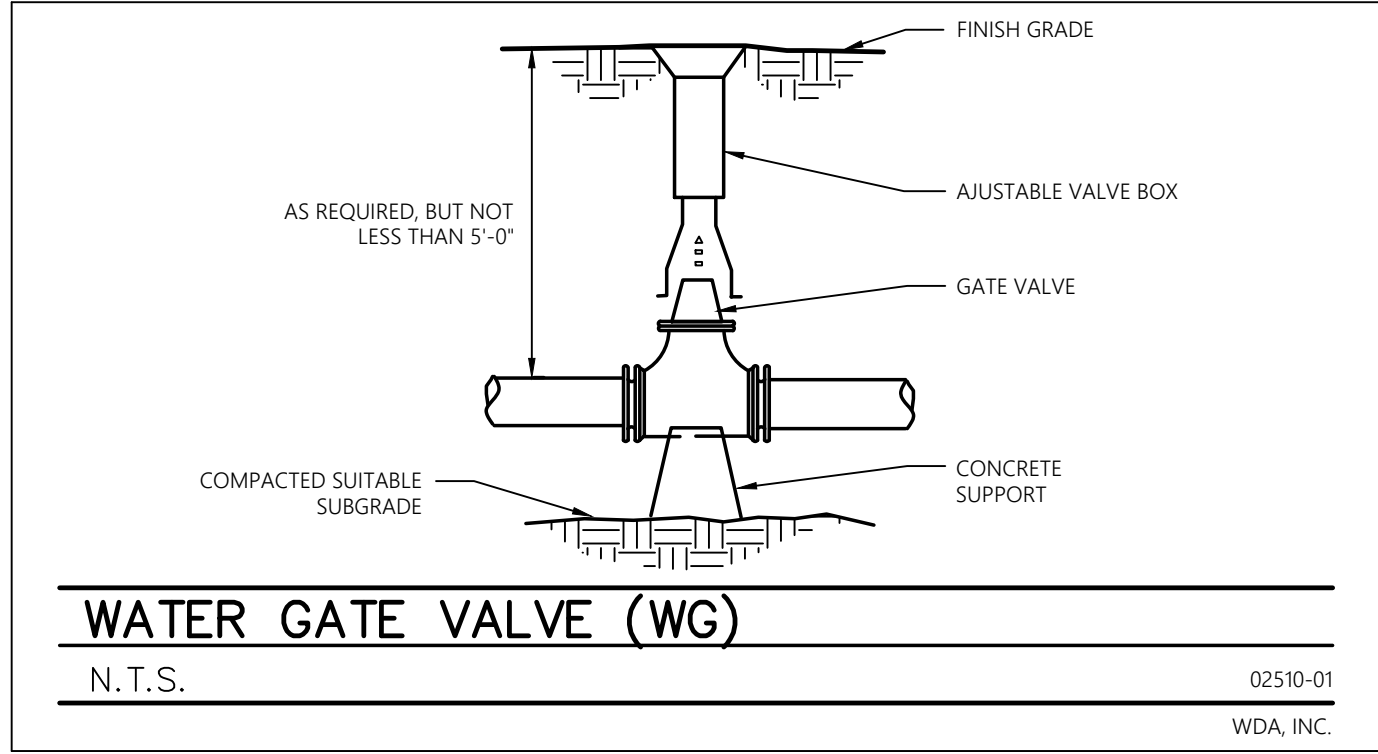
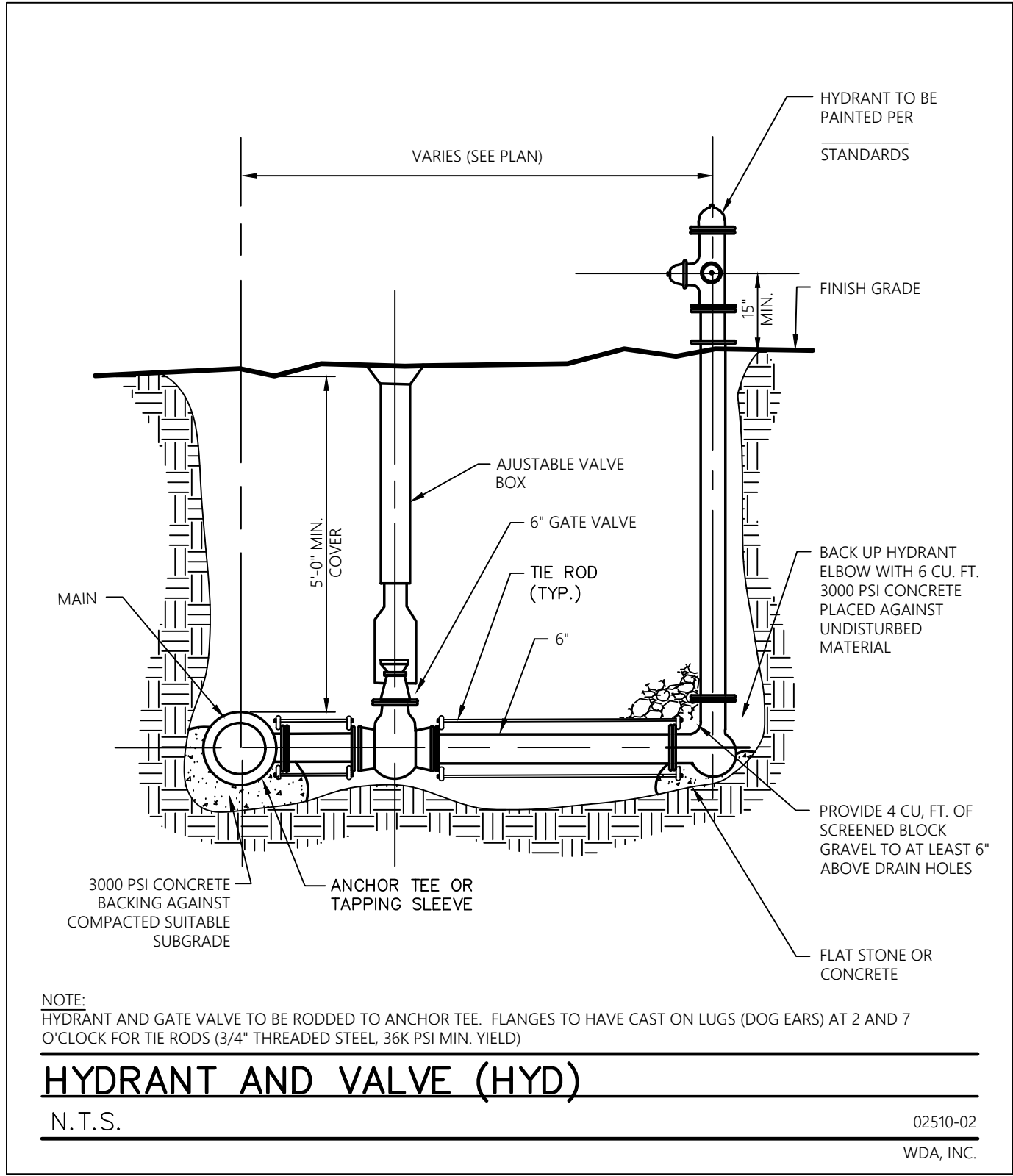
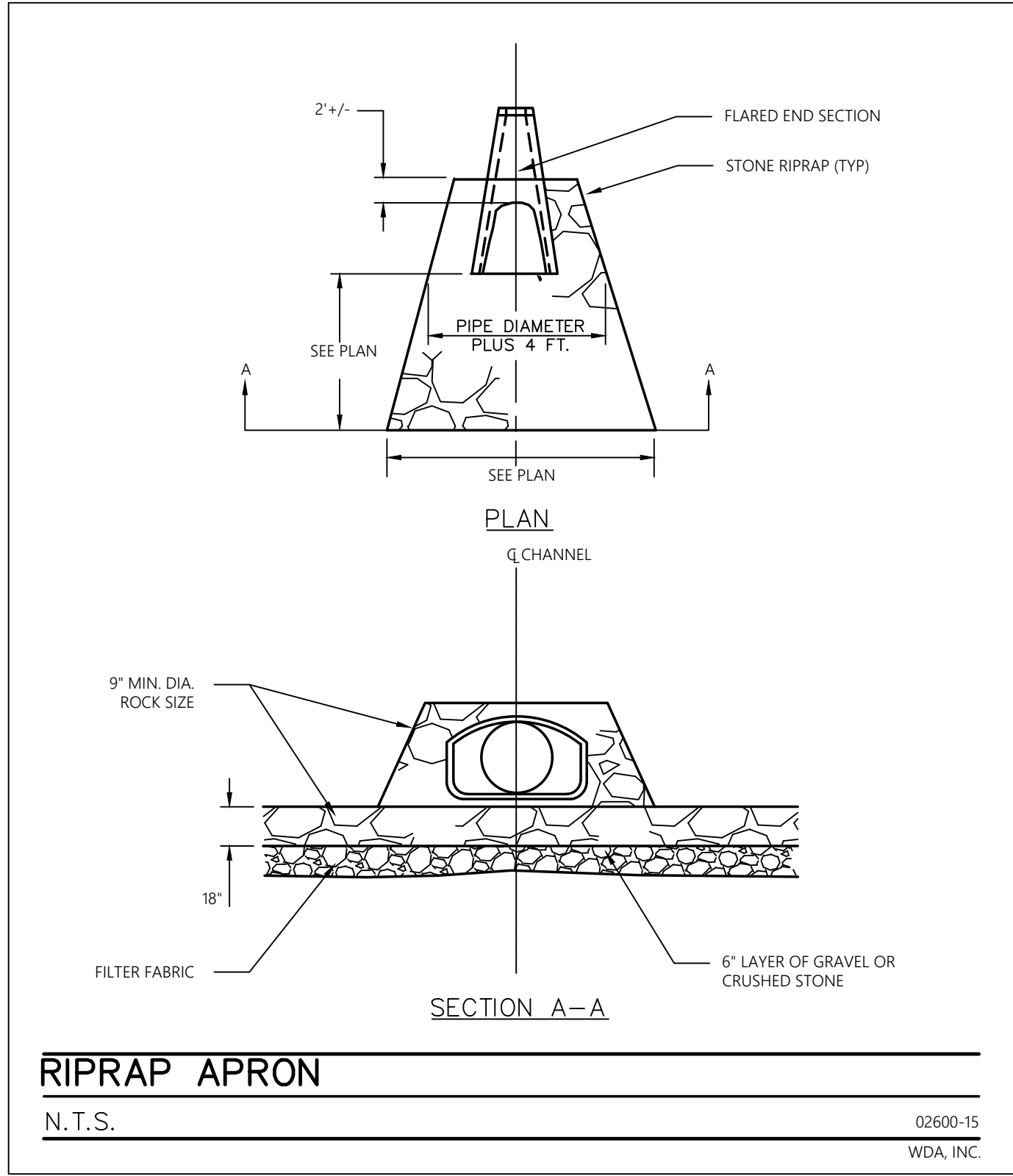
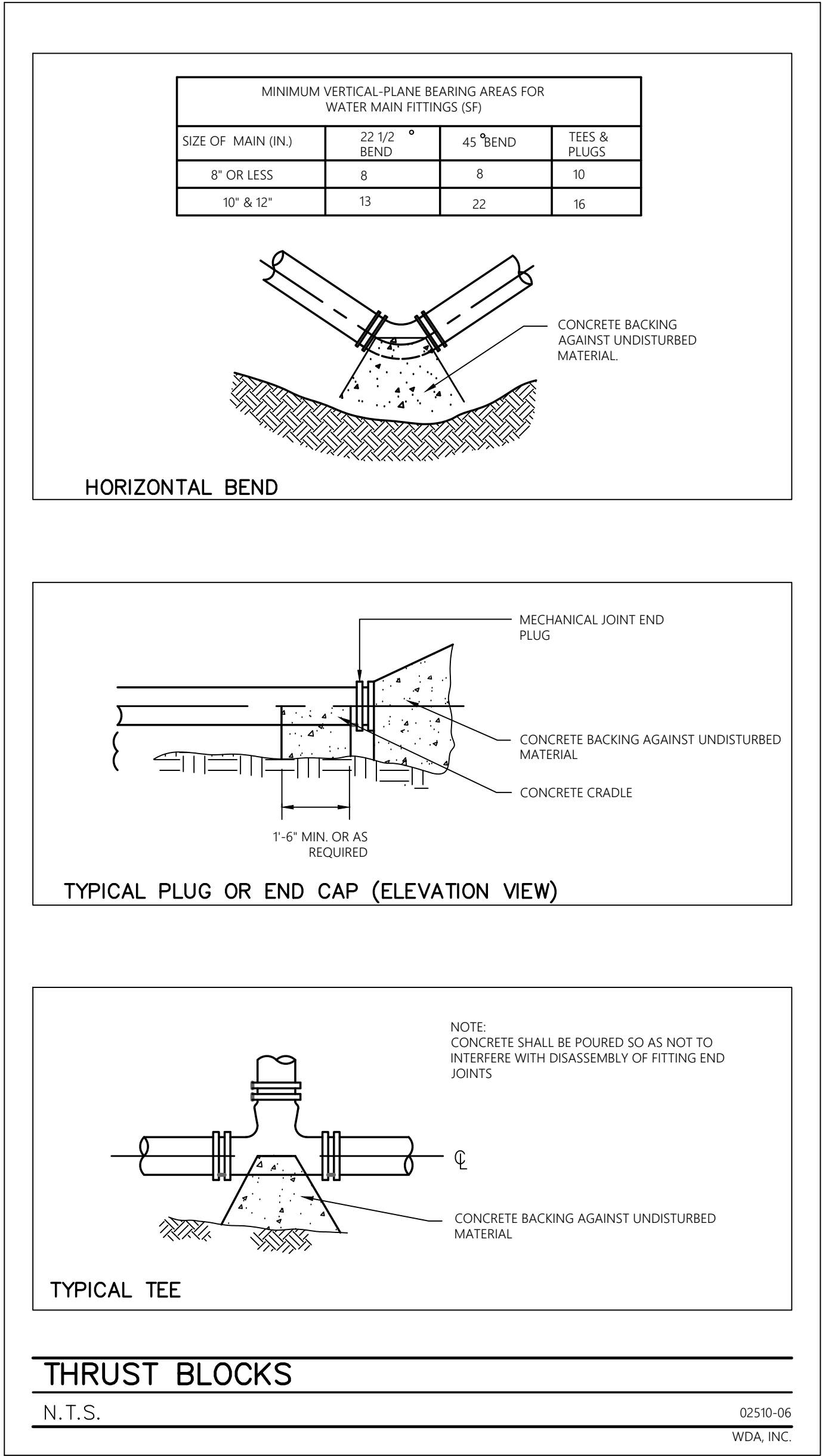
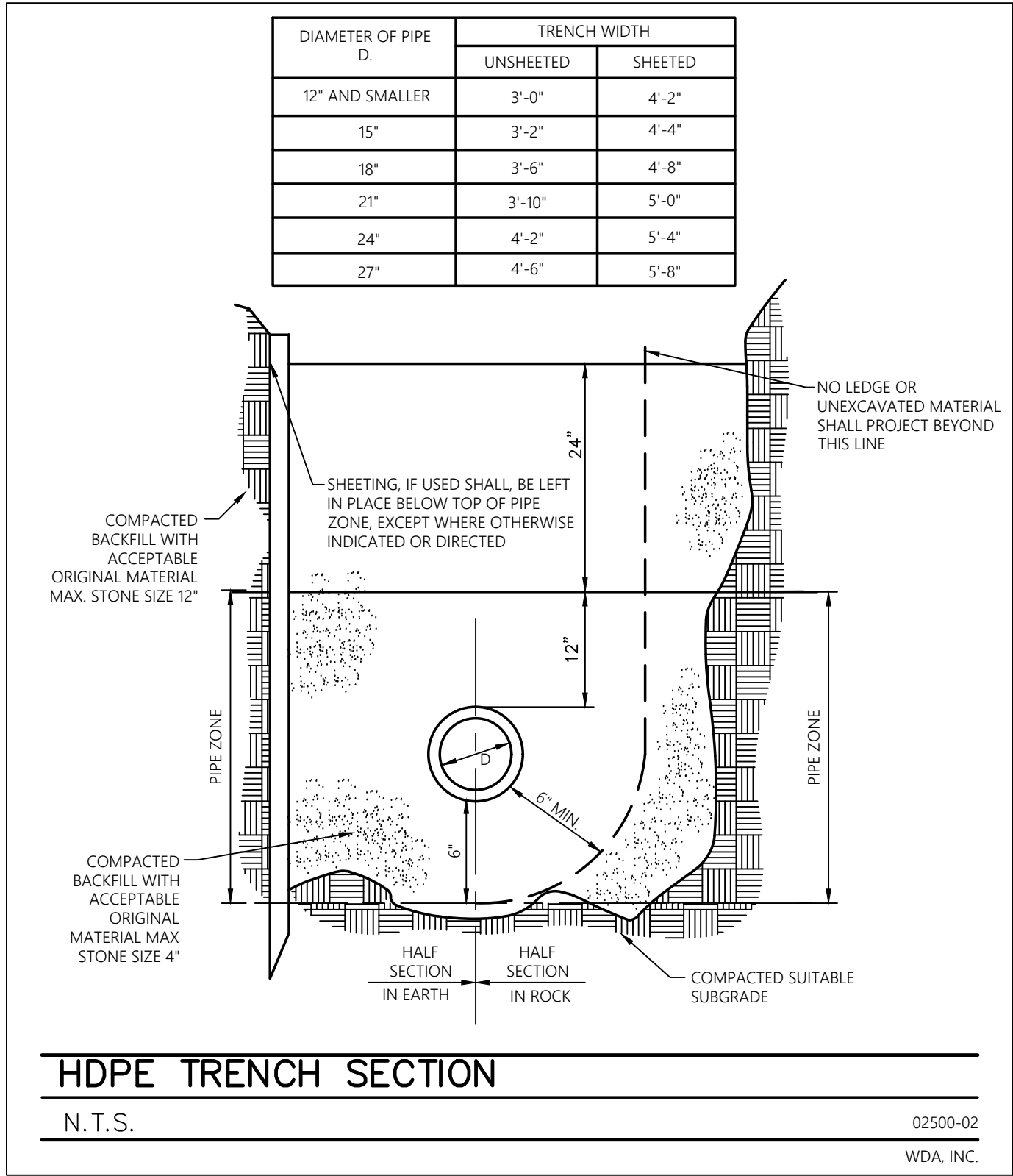
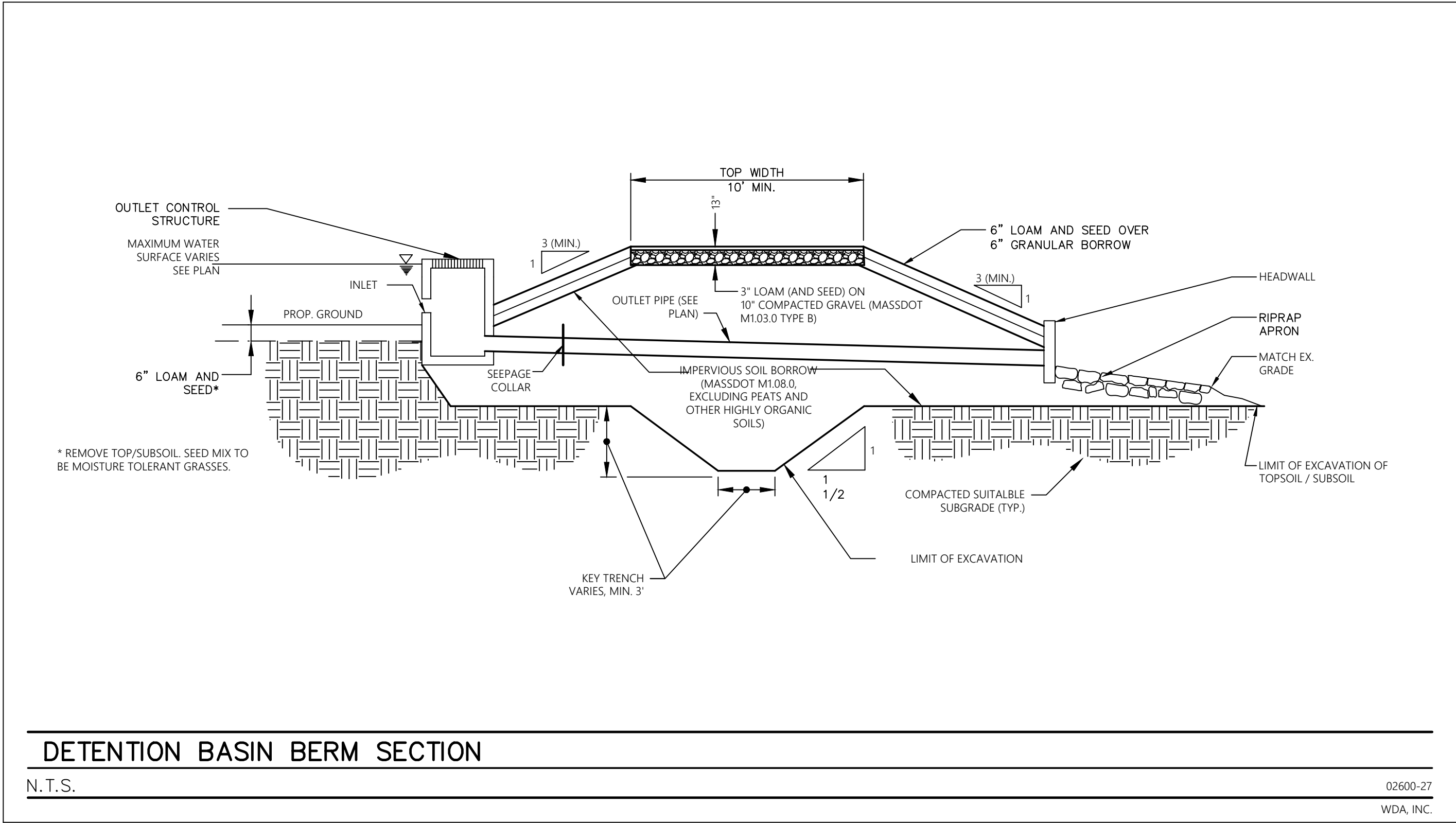
WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: AS SHOWN

JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	CMP	SHEET:	C5.02
CHK'D. BY:	PJB		



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699 Boylston St., 12th Floor
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TITLE:

CONSTRUCTION DETAILS

WEDGEWOOD FARM

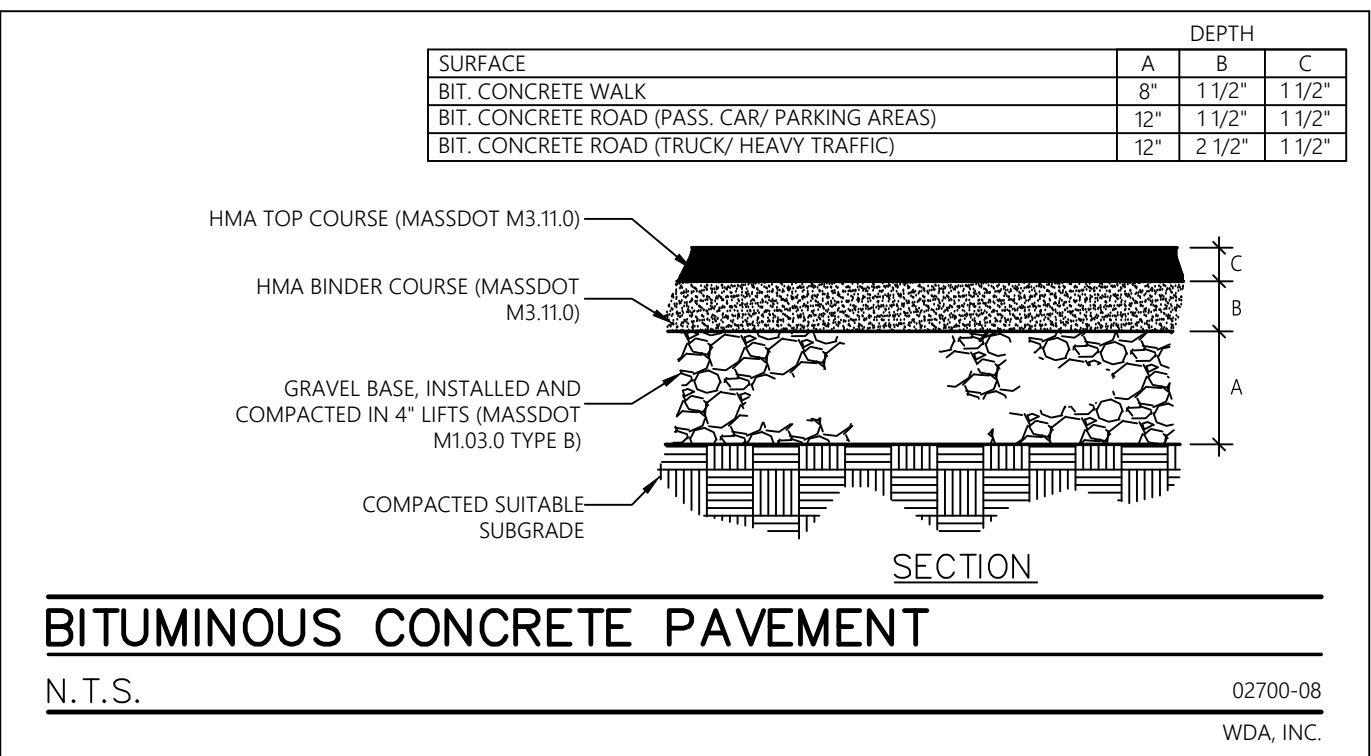
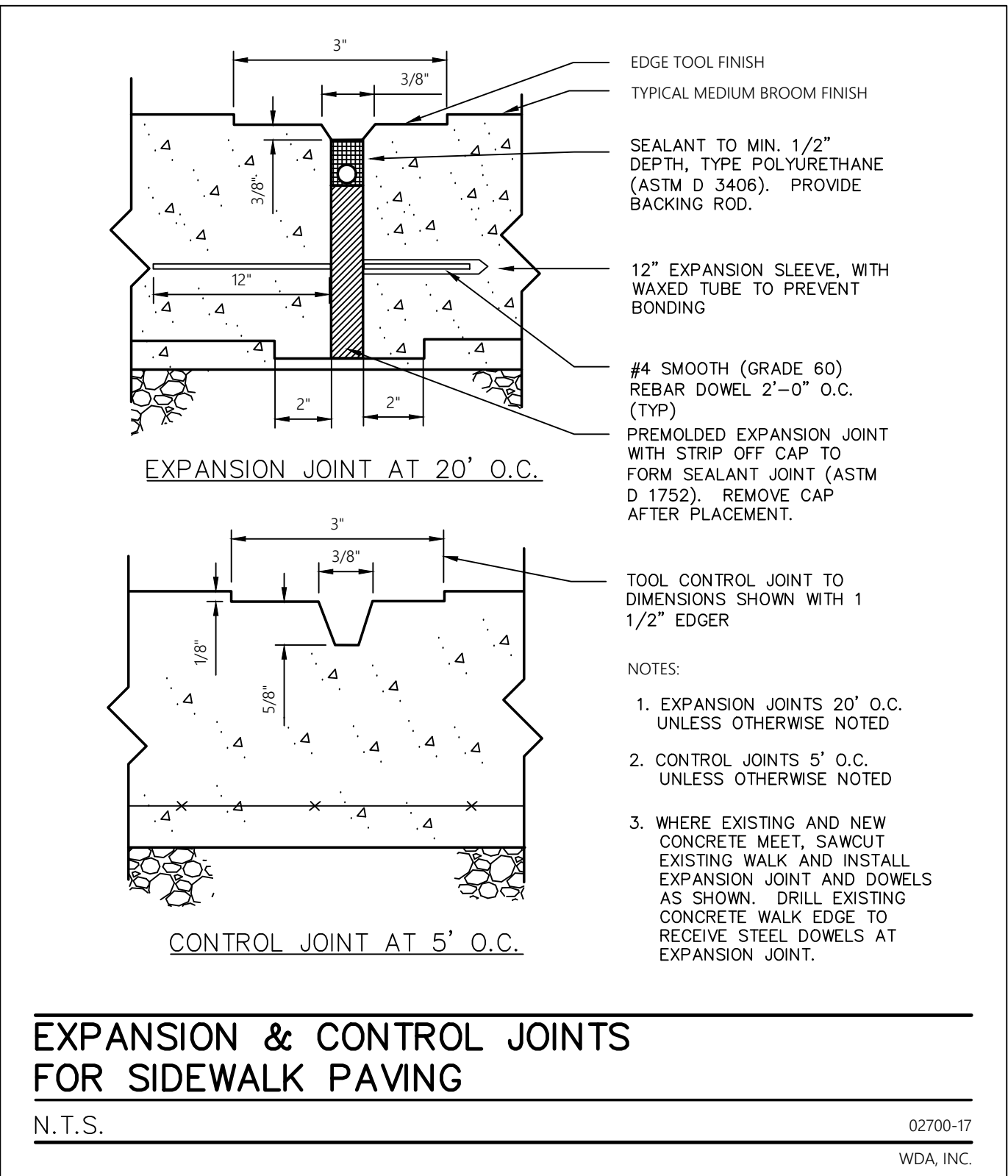
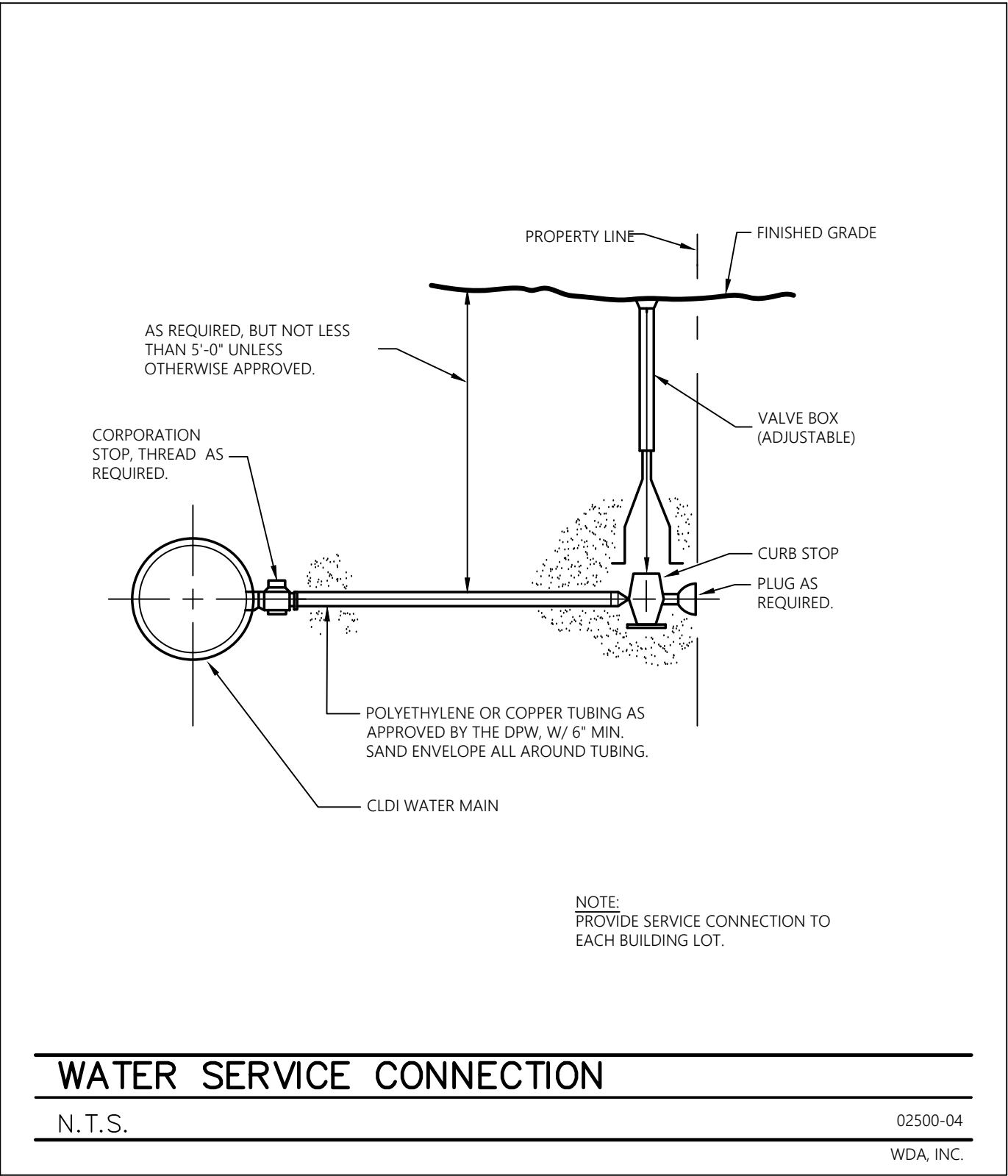
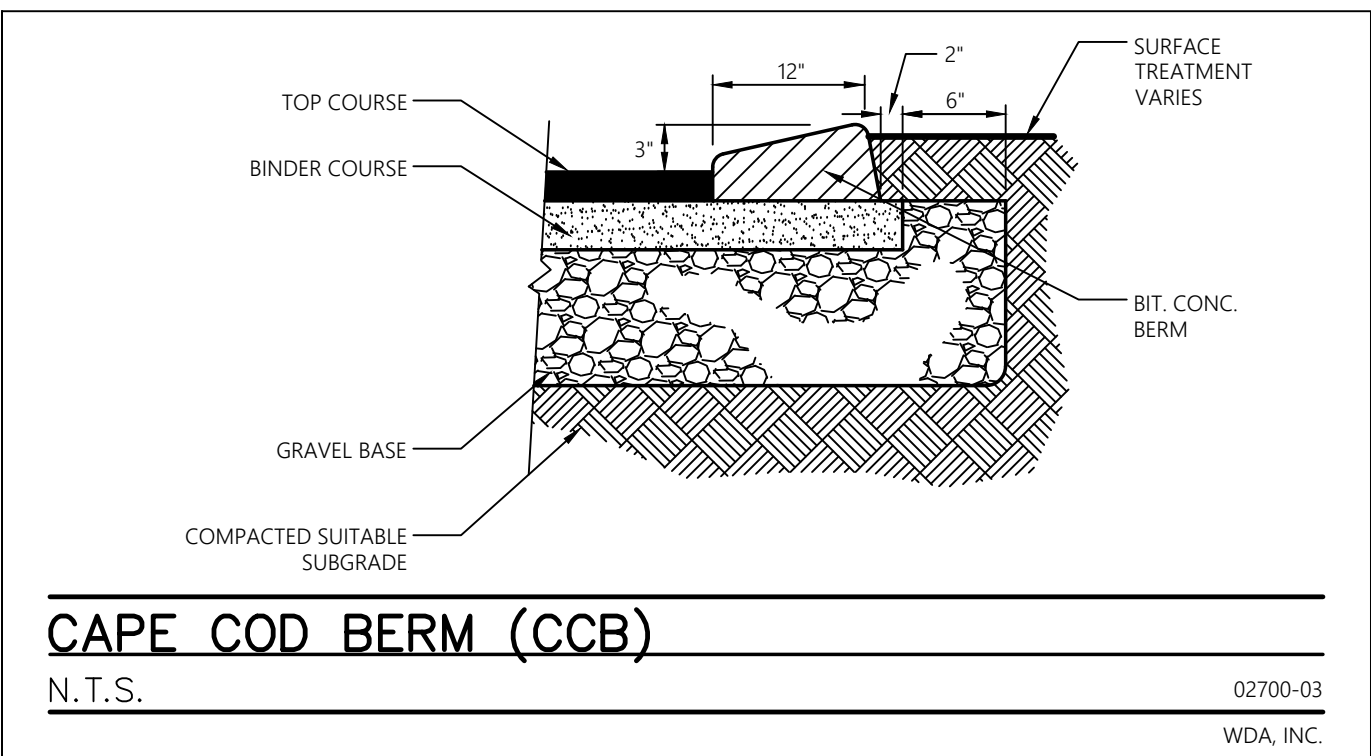
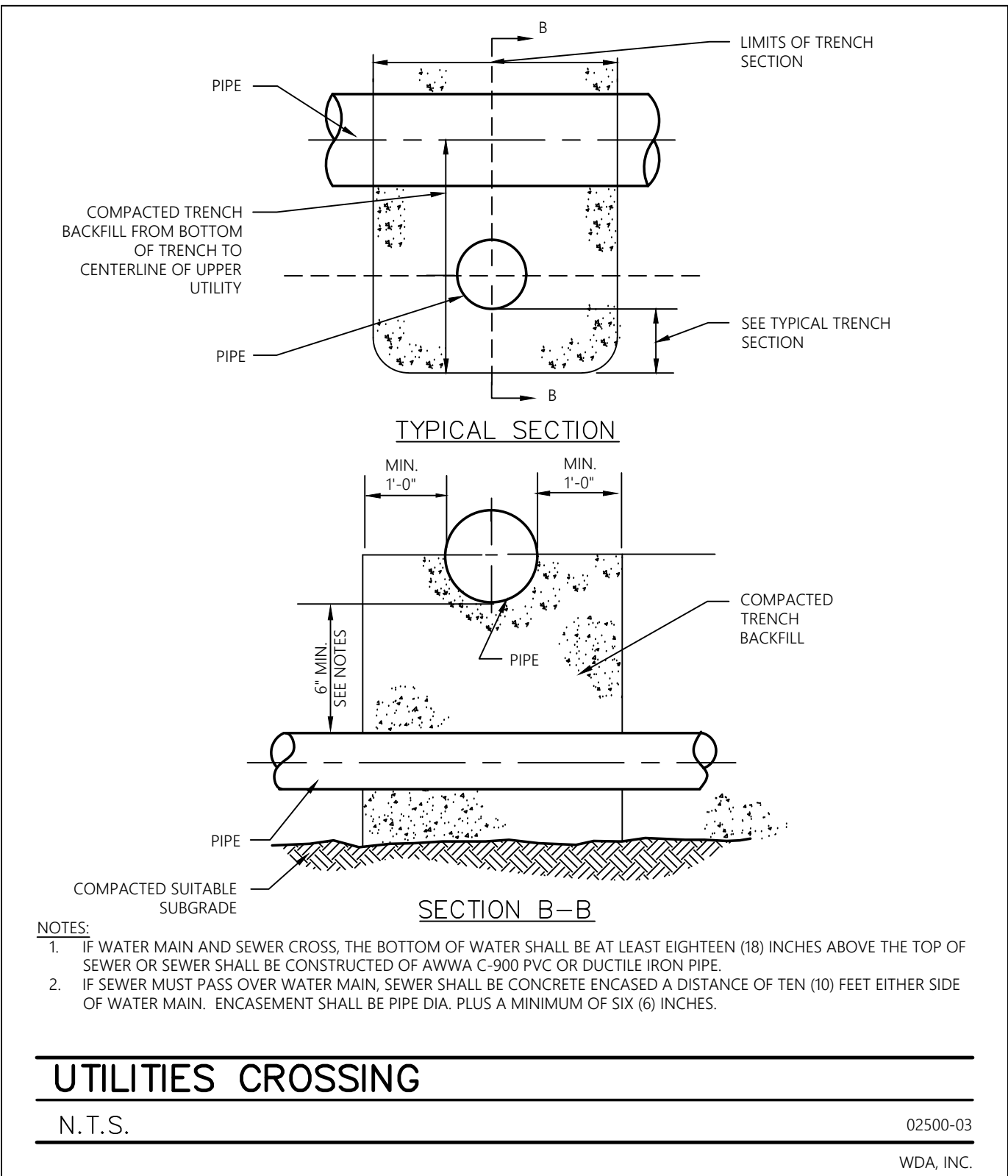
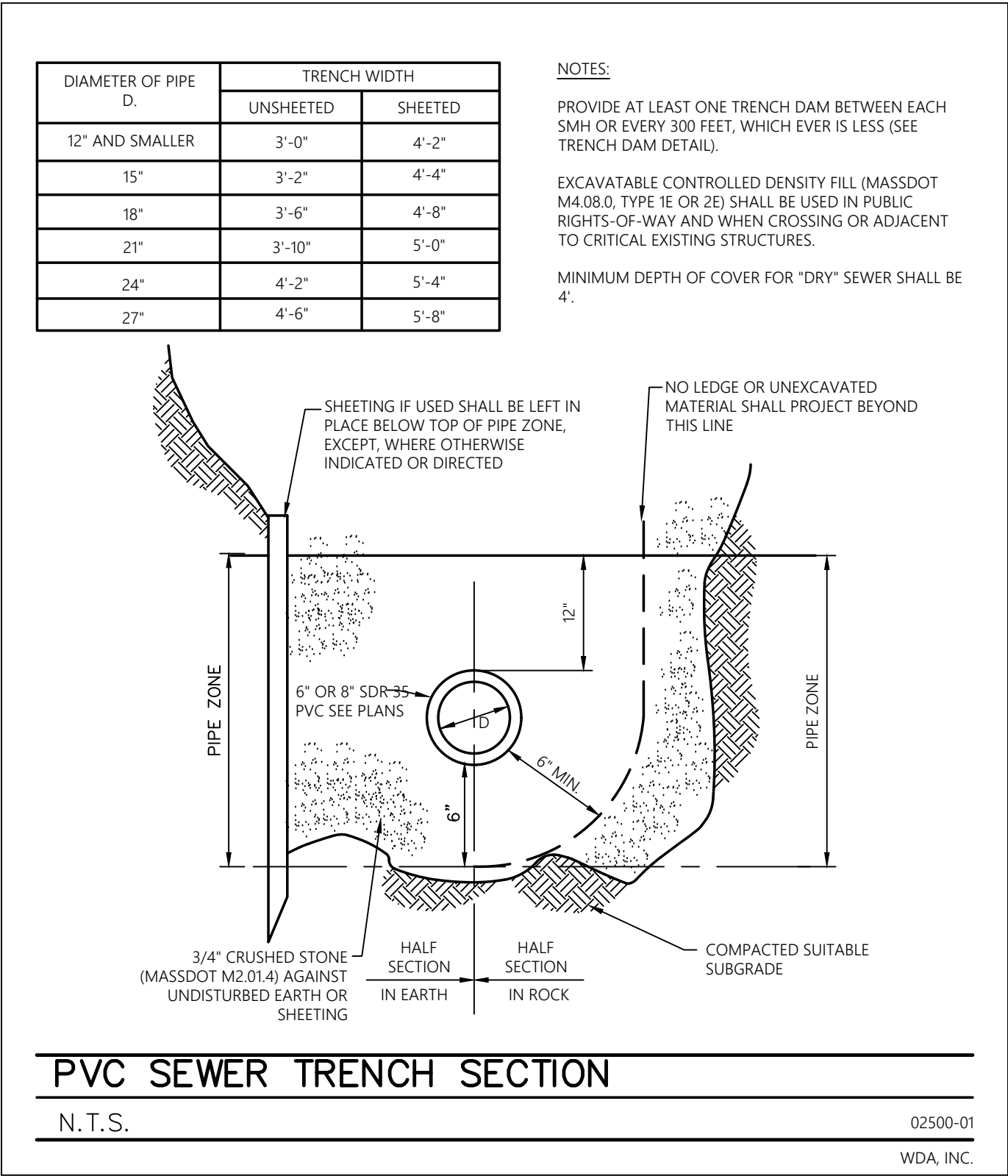
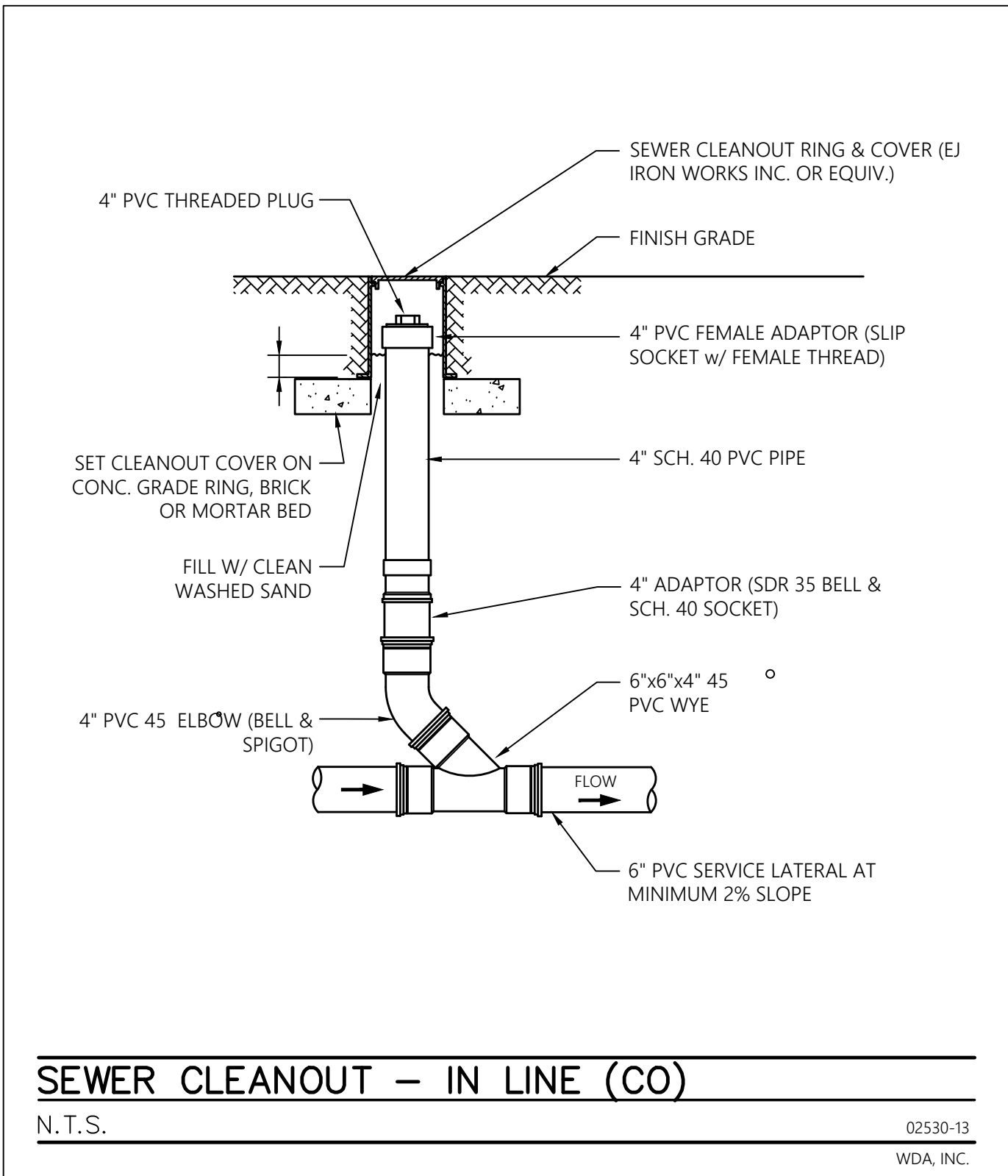
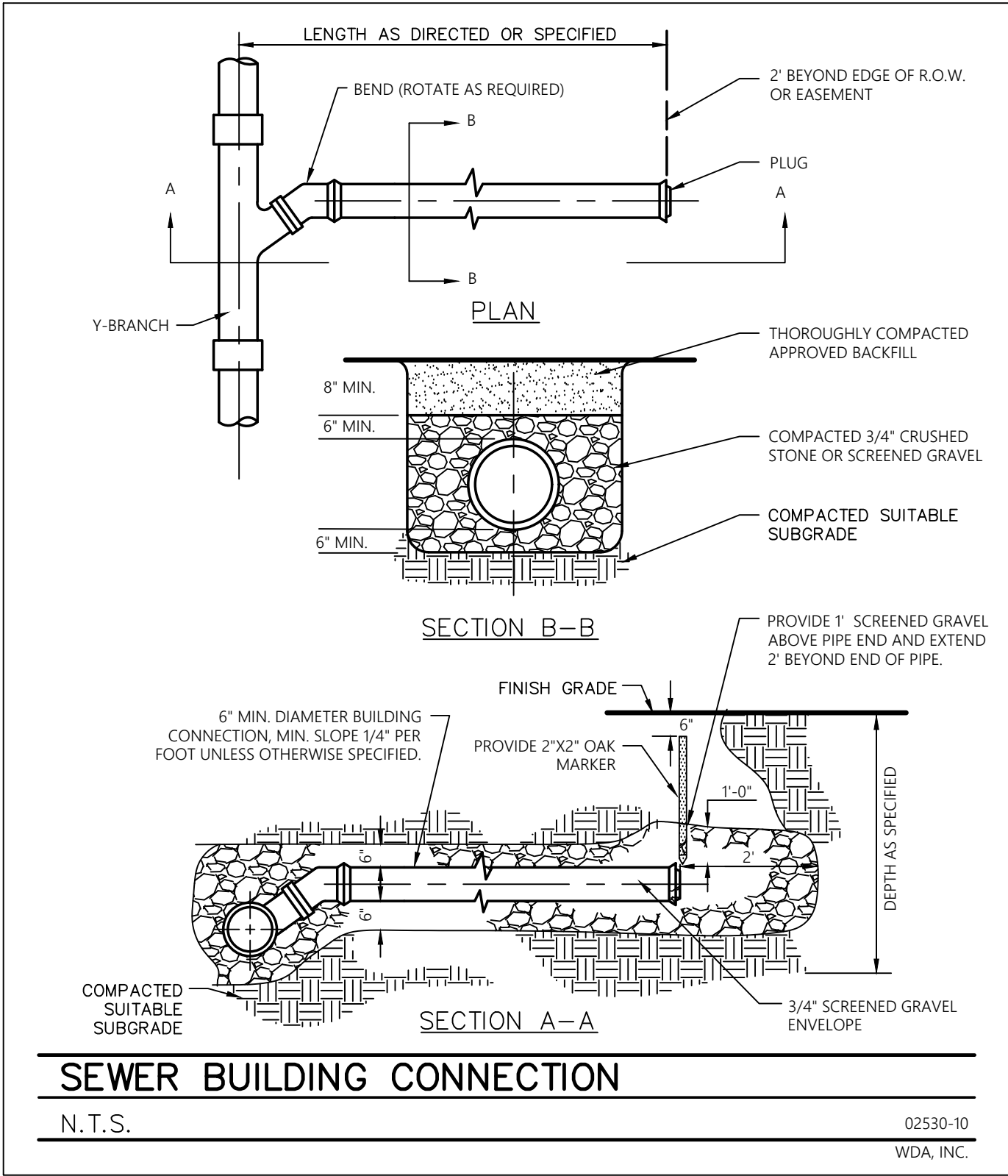
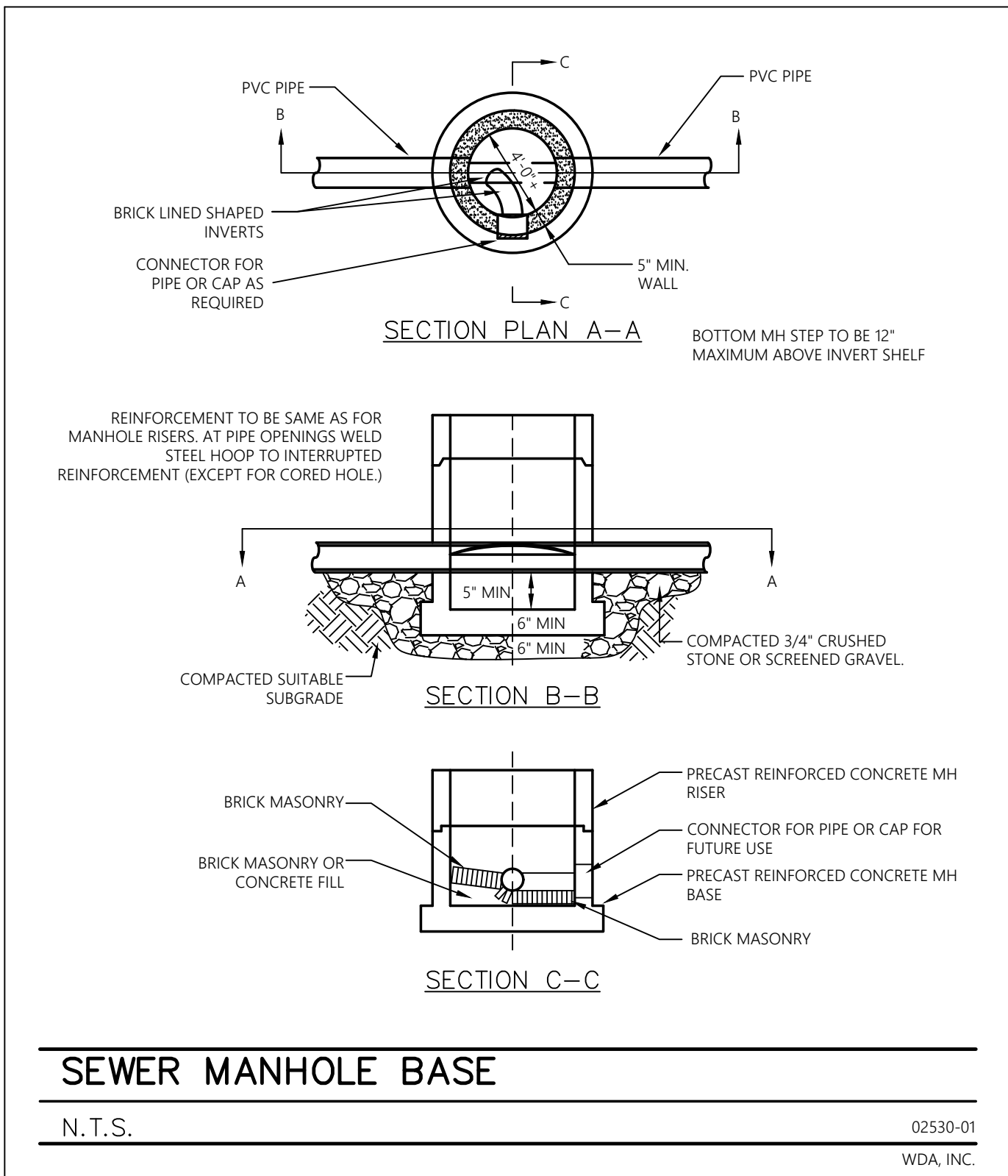
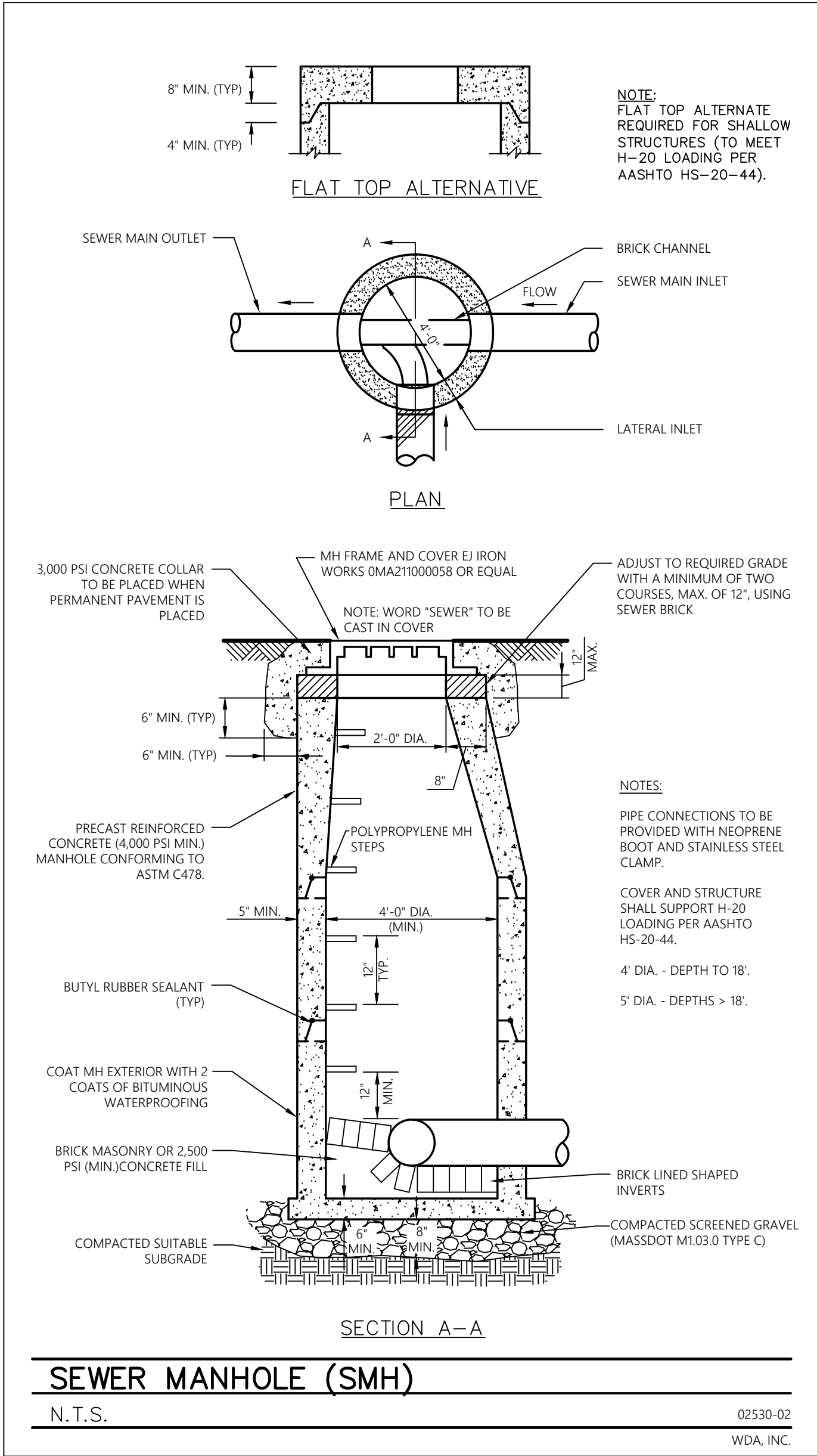
128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

MUNICIPAL PERMITS

SCALE: AS SHOWN

JOB NO.: 0513 DATE: 03/11/19
DWN. BY: CMP SHEET:
CHK'D BY: PJB

C5.03



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31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
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699 Boylston St., 12th Floor
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(Suffolk County)

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(Suffolk County)

TITLE:

CONSTRUCTION DETAILS

WEDGEWOOD FARM

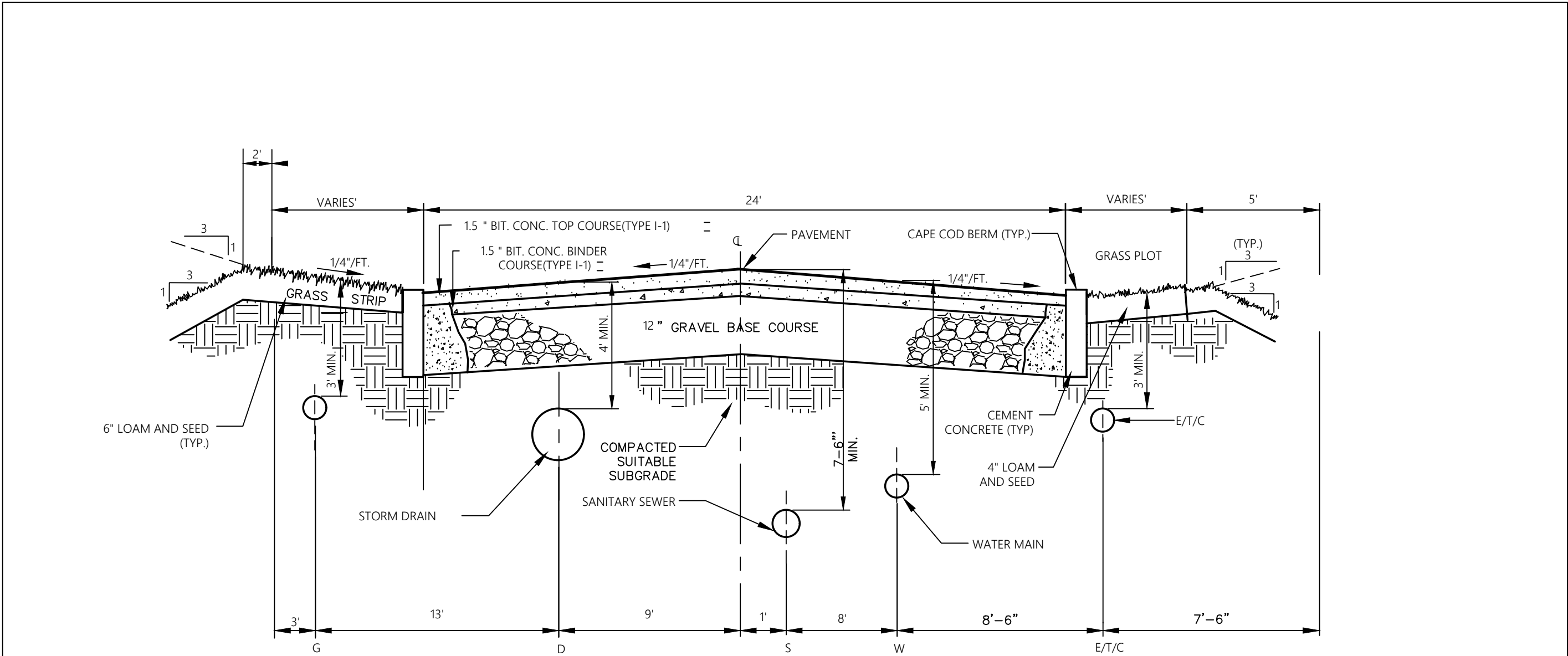
128, 141 & 142 Armsby Road
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(Worcester County)

MUNICIPAL PERMITS

SCALE: AS SHOWN

JOB NO.: 0513 DATE: 03/11/19
DWN. BY: CMP SHEET:
CHK'D. BY: PJB

C5.04

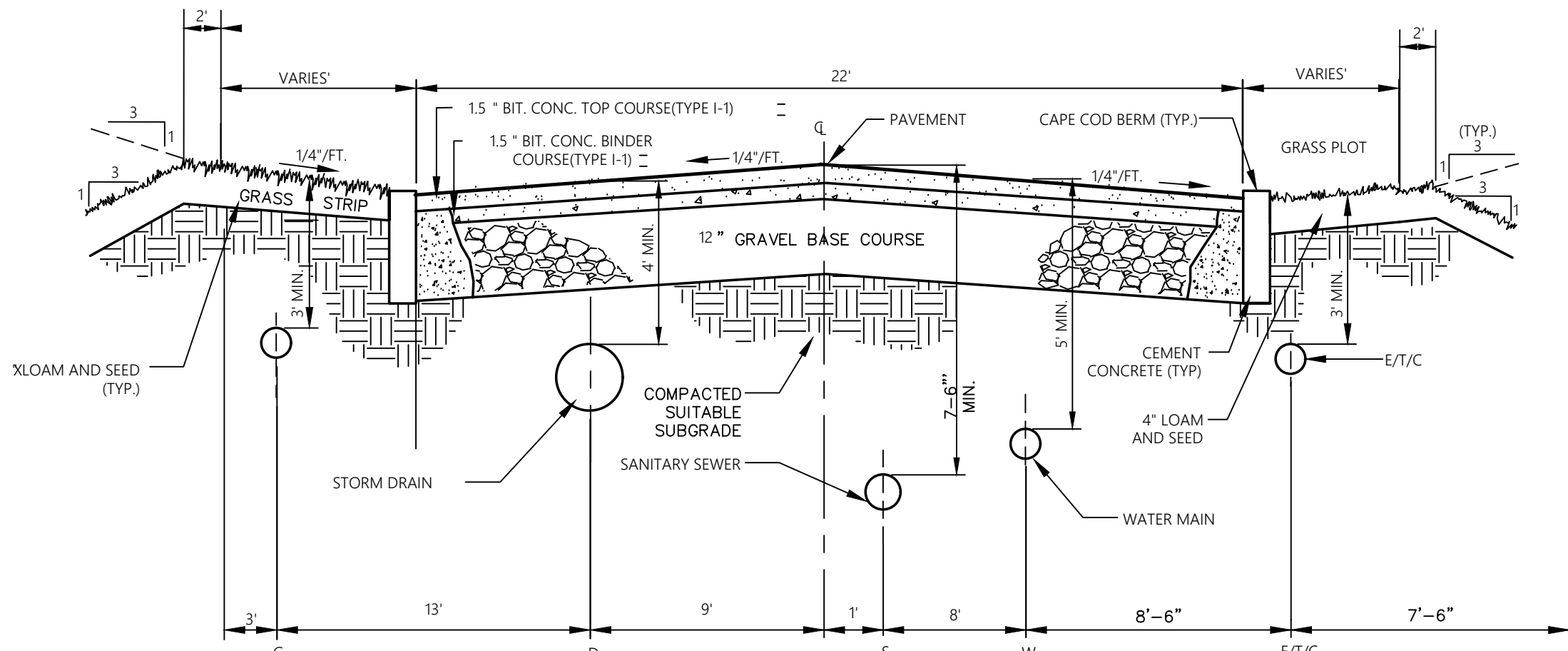


TYPICAL ROADWAY SECTION

N.T.S.

02700-01

WDA, INC.

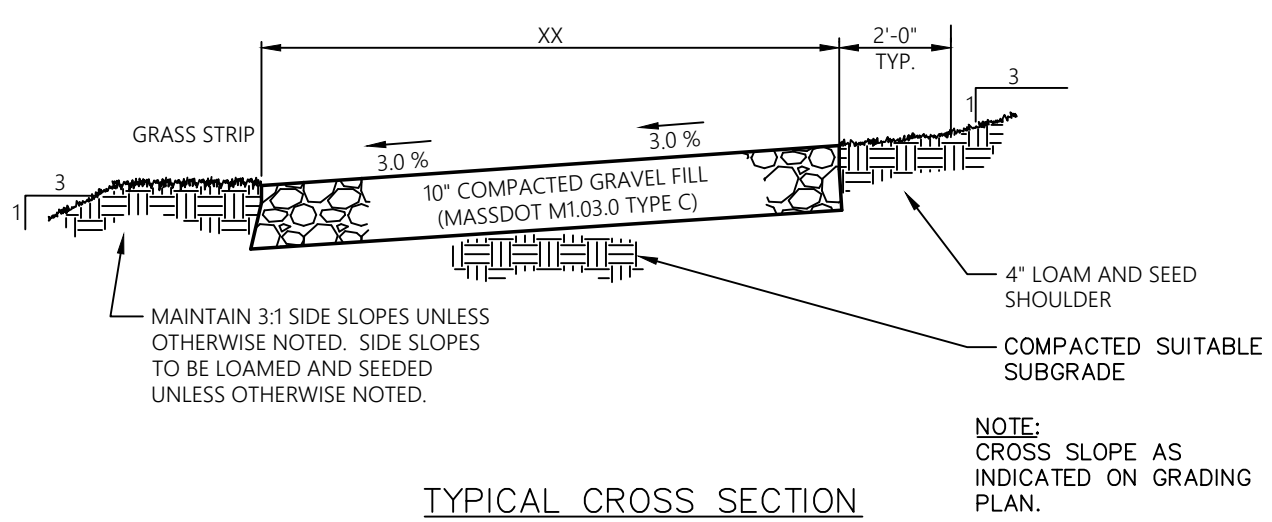


TYPICAL ROADWAY SECTION

N.T.S.

02700-01

WDA, INC.

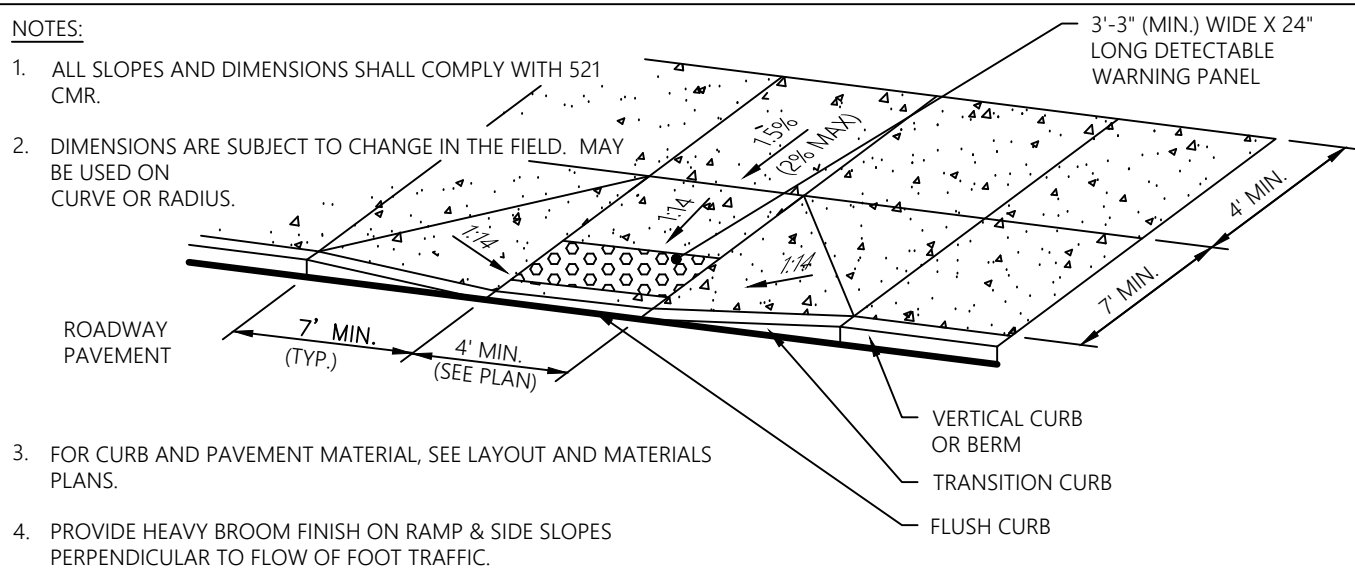


DETENTION BASIN ACCESS DRIVE

N.T.S.

02700-23

WDA, INC.



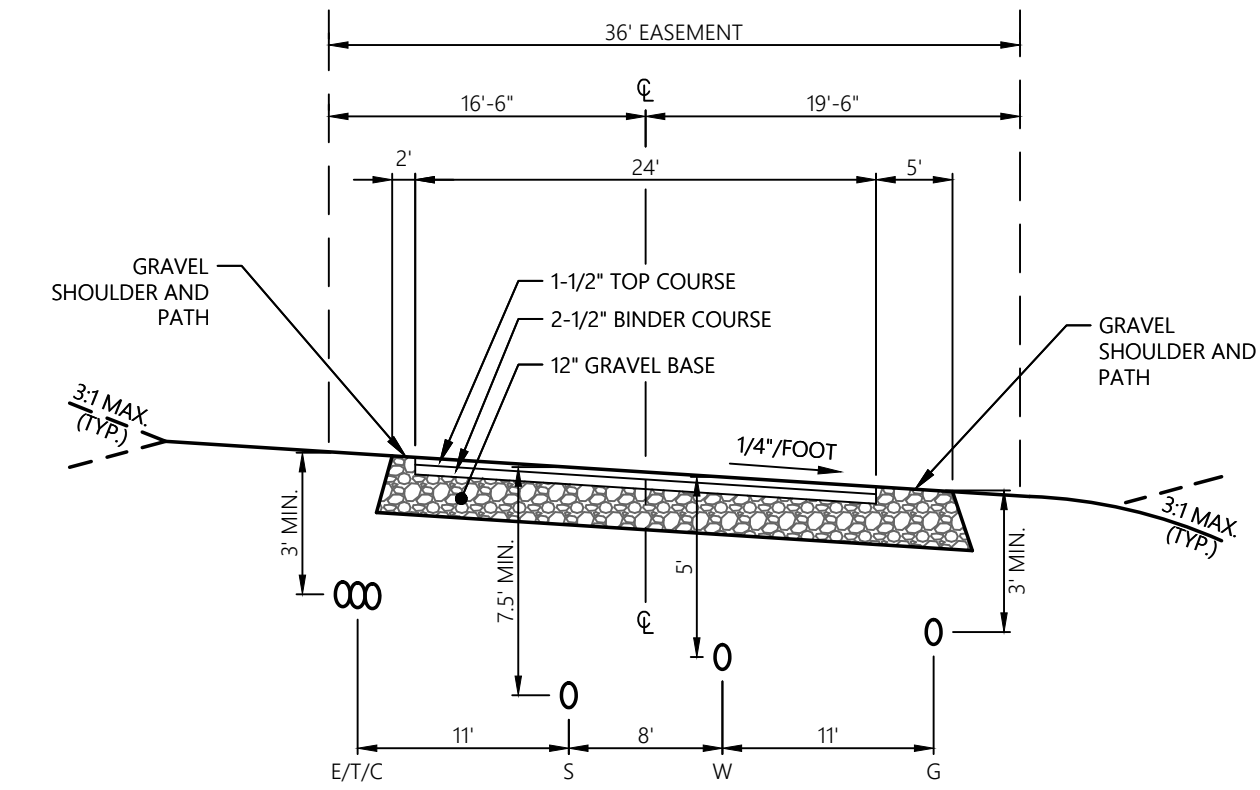
WHEEL CHAIR RAMP, TYPE C (WCR-C)

N.T.S.

02700-18

WDA, INC.

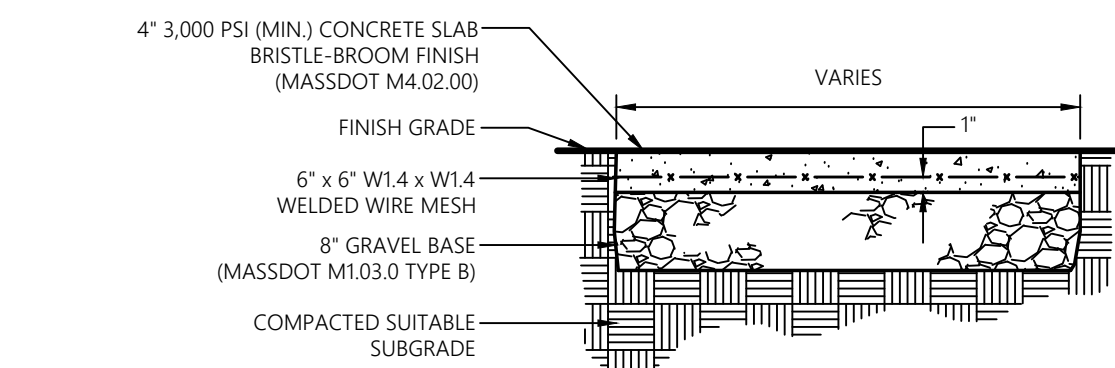
- NOTE:
- SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



TYPICAL SECTION - COMMON DRIVEWAY

32 10 00-03 - TYPICAL ROADWAY SECTION - COMMON DRIVEWAY

N.T.S.



NOTE: WHERE CEMENT CONCRETE WALK ABUTS BUILDING DOOR(S), SLAB SHALL BE 6\"/>

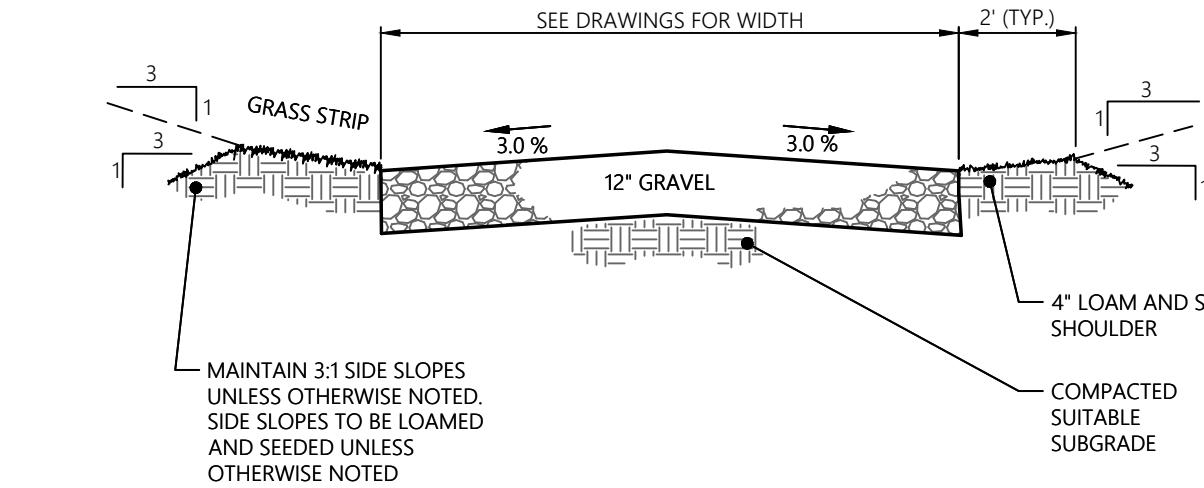
CEMENT CONCRETE WALK

N.T.S.

02700-10

WDA, INC.

- NOTE:
- SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



ACCESS DRIVE - GRAVEL

32 15 40-01 - ACCESS DRIVE - GRAVEL

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PREPARED BY:

WDA
DESIGN
GROUP

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WDA-DG.COM

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(Suffolk County)

TITLE:

CONSTRUCTION DETAILS

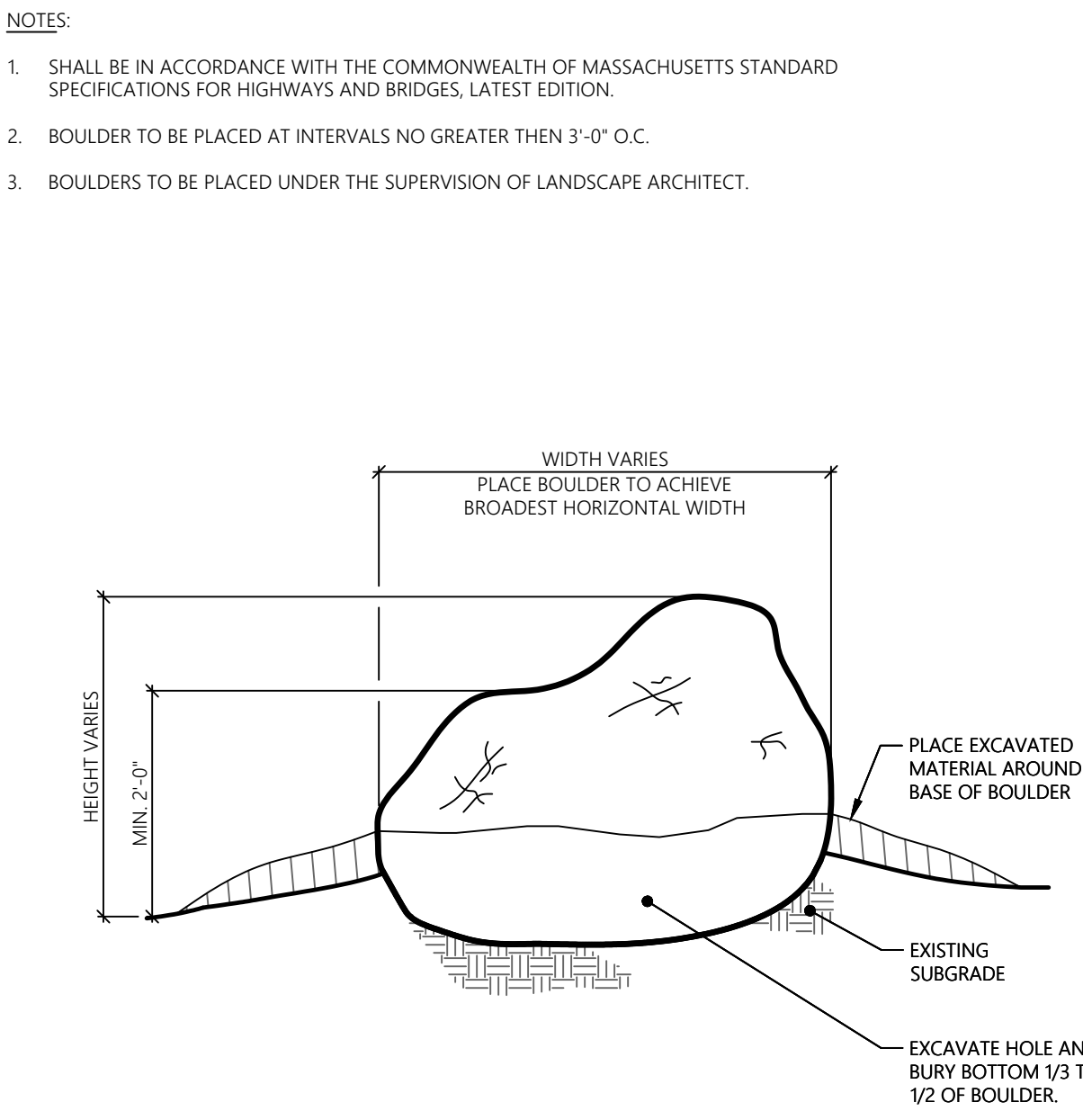
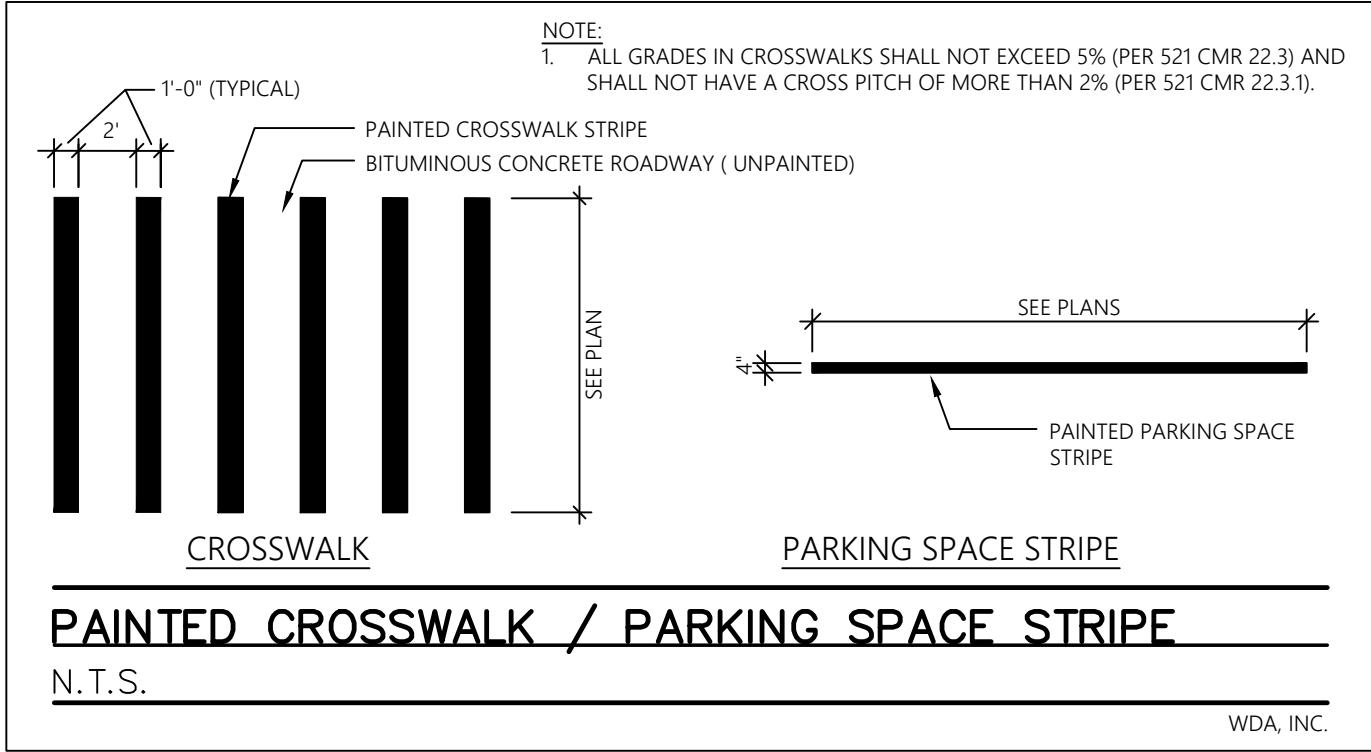
WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

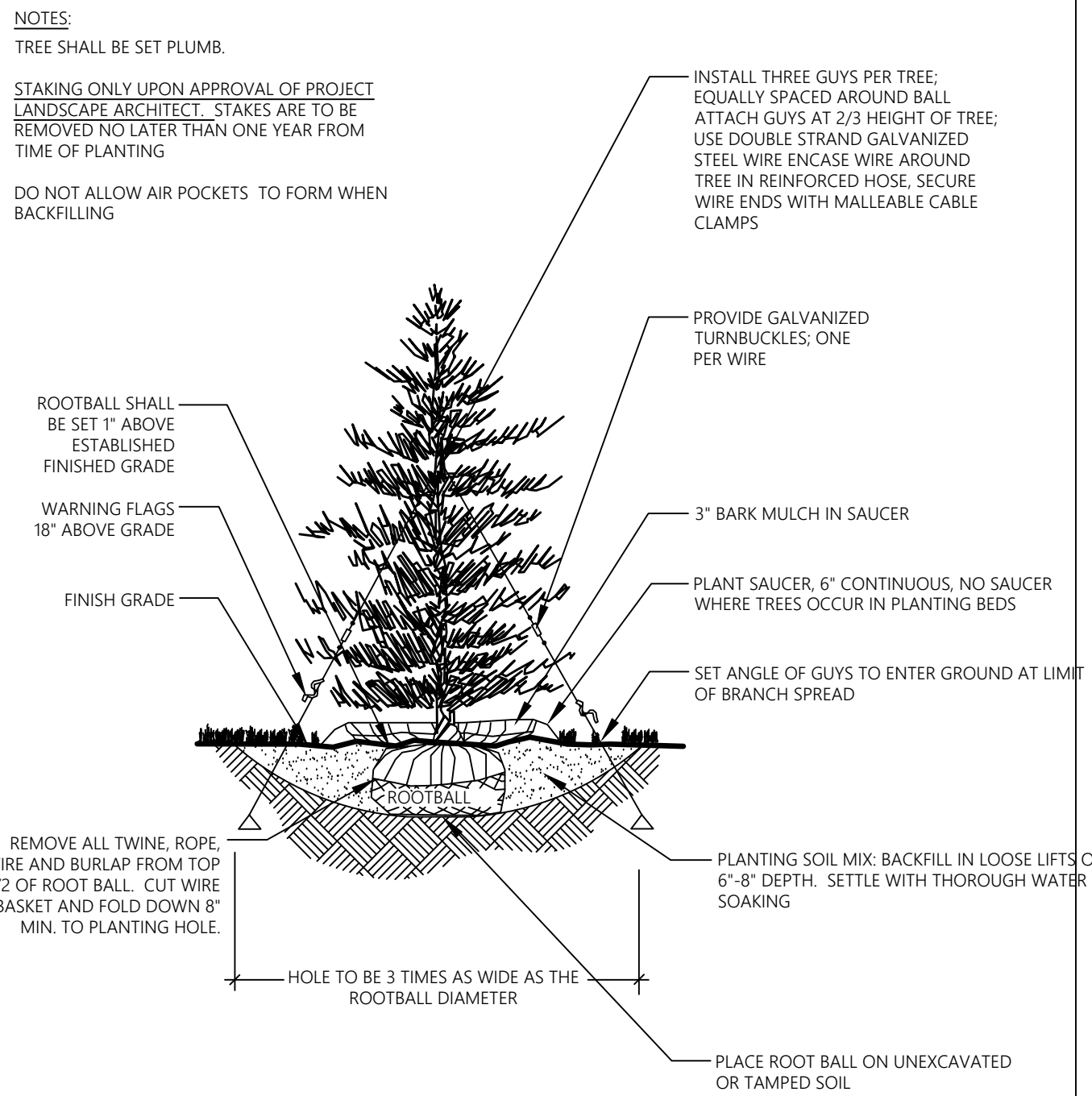
MUNICIPAL PERMITS

SCALE: AS SHOWN

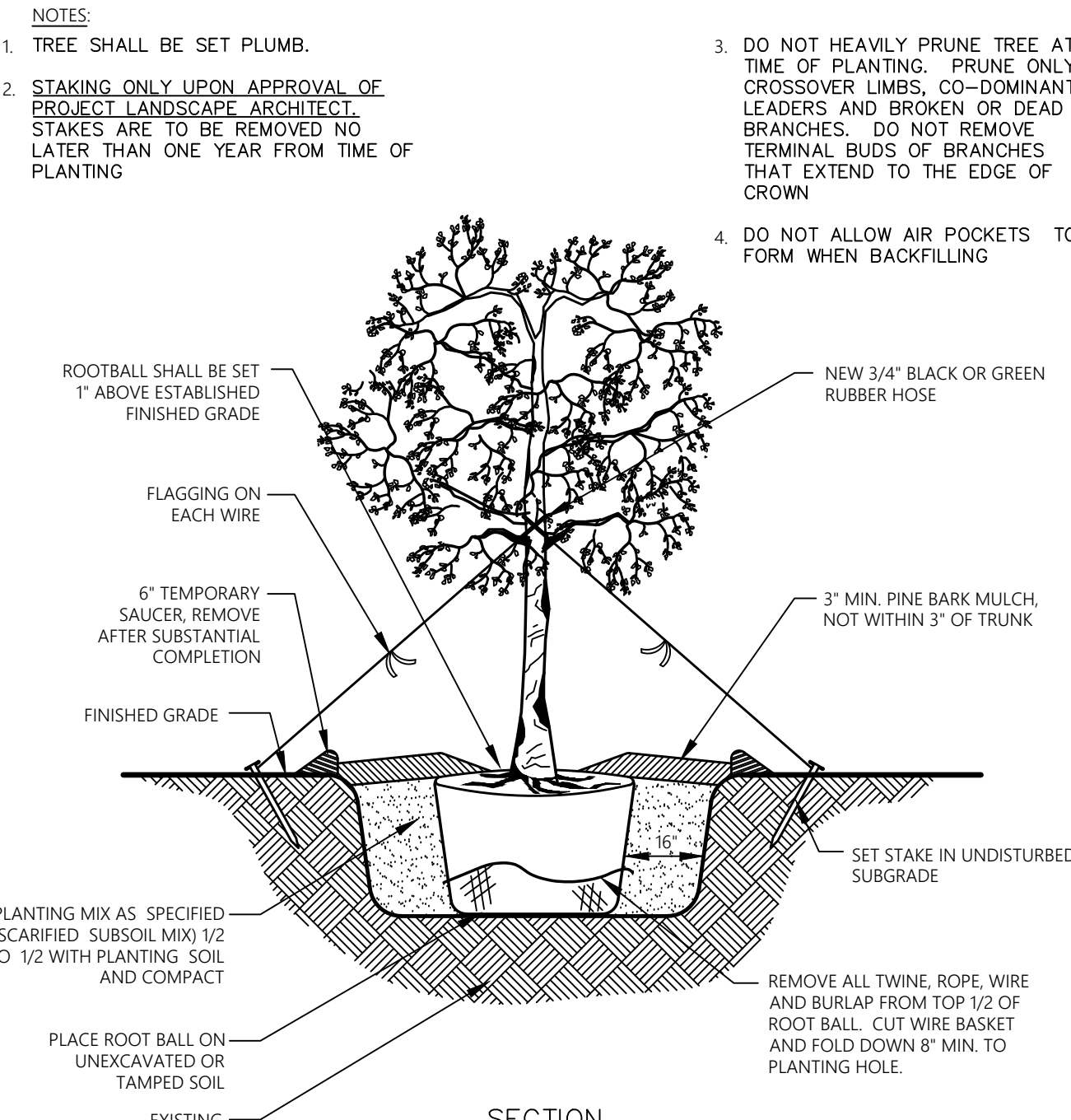
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DWN. BY:	CMP	SHEET:	
CHK'D. BY:	PJB		C5.05



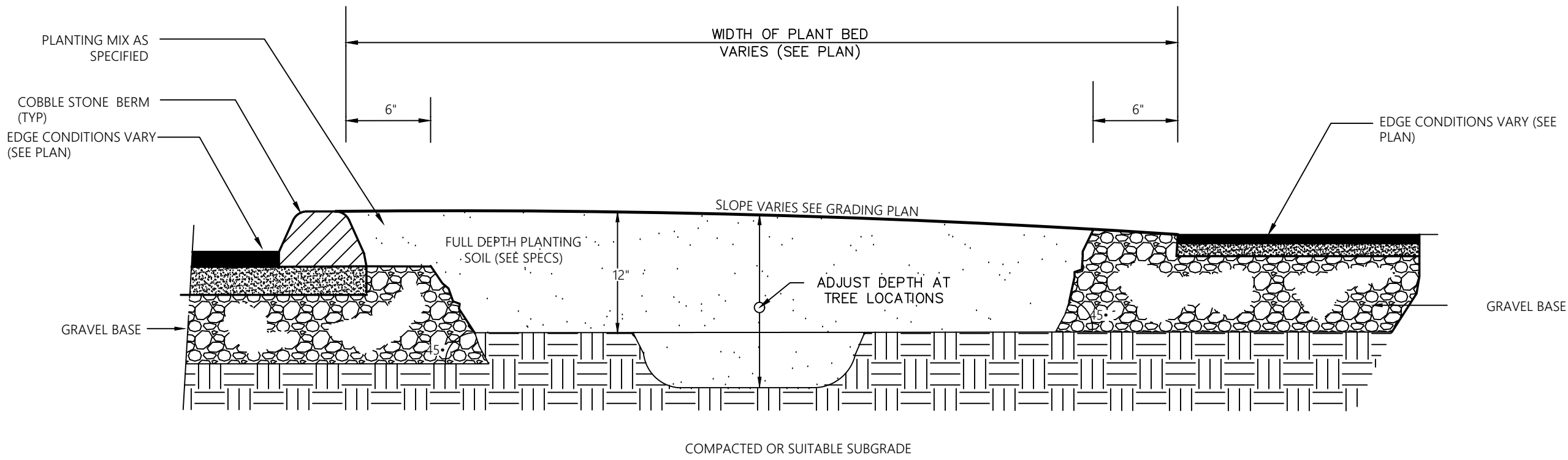
PLACED LANDSCAPE BOULDER
32 92 93-01 - LANDSCAPE BOULDER PLACEMENT
N.T.S.



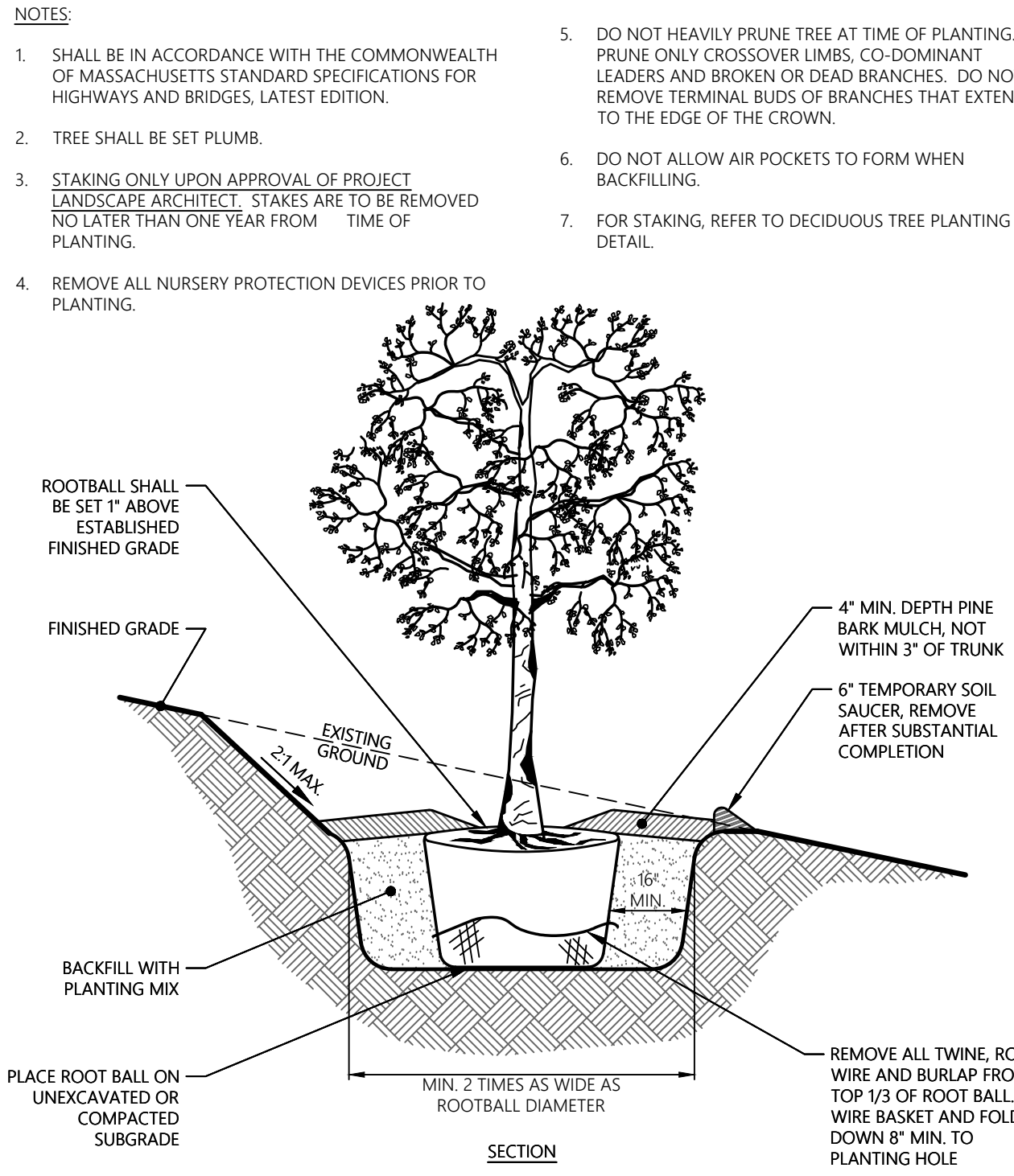
EVERGREEN TREE PLANTING
N.T.S.
02900-03
WDA, INC.



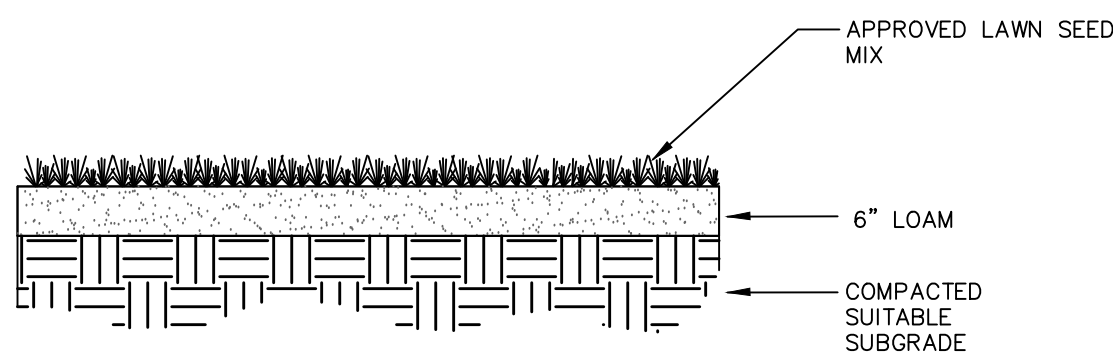
DECIDUOUS TREE PLANTING
N.T.S.
02900-01
WDA, INC.



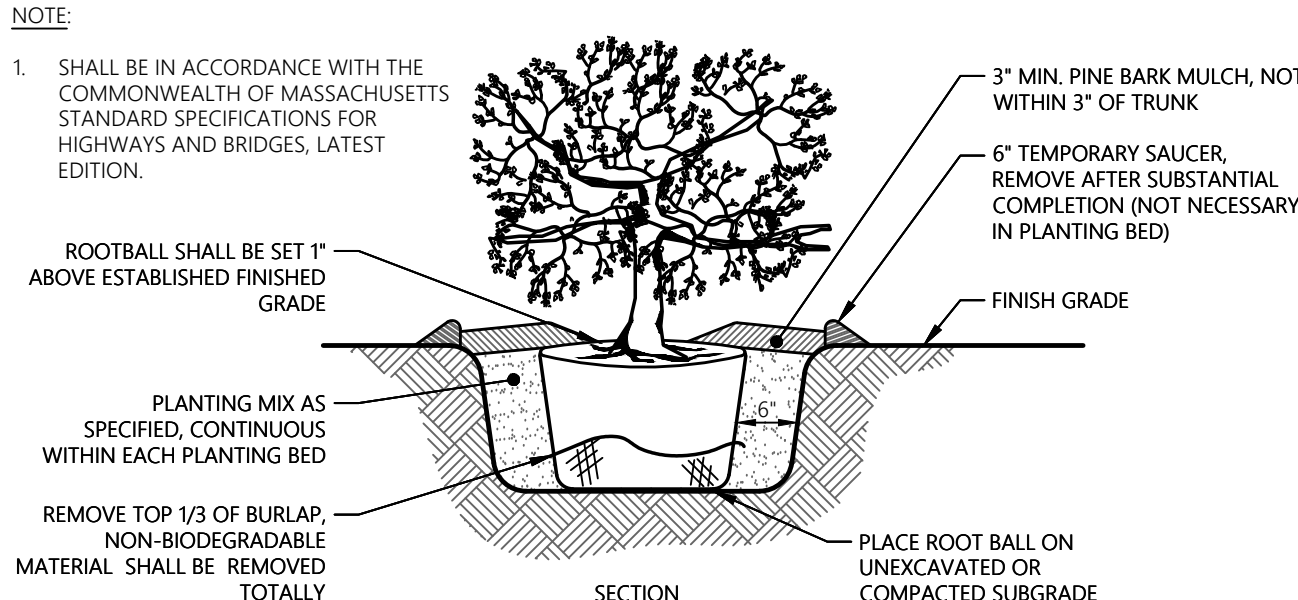
PLANT BED (PB)
N.T.S.
02900-05
WDA, INC.



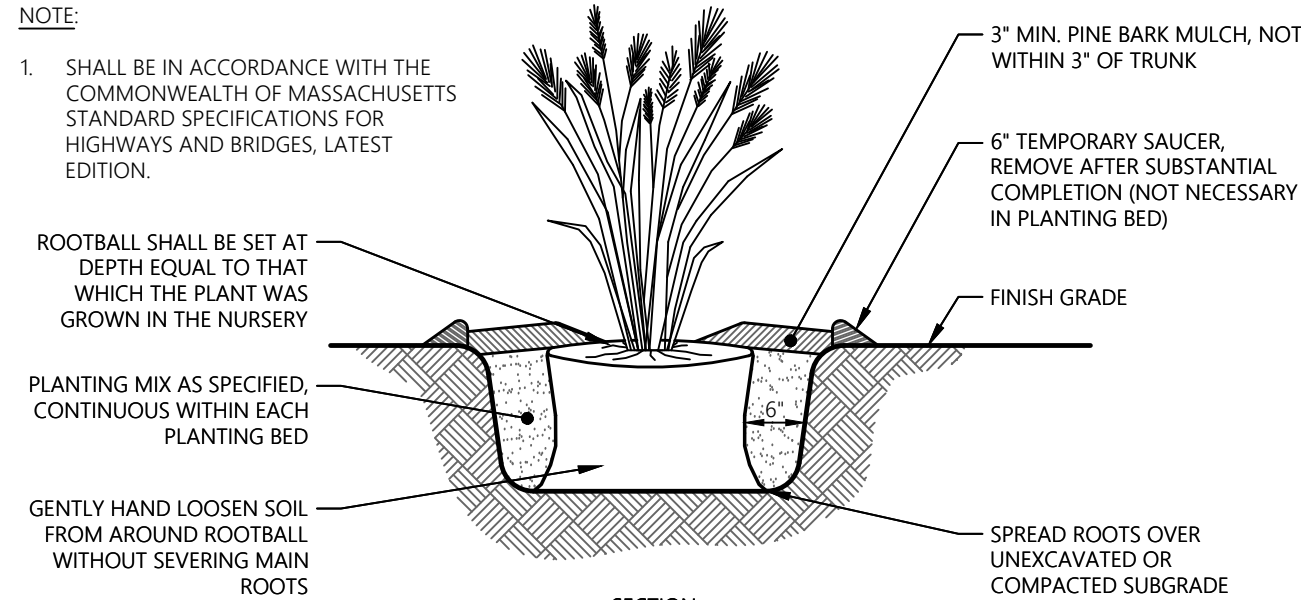
DECIDUOUS TREE PLANTING ON SLOPE
32 93 43-03 - TREE PLANTING - DECIDUOUS ON SLOPE
N.T.S.



LOAM AND SEED
N.T.S.
WDA, INC.



SHRUB PLANTING (BALL & BURLAP)
32 93 33-01 - SHRUB PLANTING - BALL & BURLAP
N.T.S.



ORNAMENTAL GRASS PLANTING
32 93 23-02 - ORNAMENTAL GRASS PLANTING
N.T.S.

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A		INITIAL ISSUE	

PREPARED BY:

**WDA
DESIGN
GROUP**

31 EAST MAIN STREET WESTBOROUGH, MA | 508.366.6552
WDA-DG.COM

OWNER:

**COMPTON PROPERTY
DEVELOPMENT LLC.**

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

PREPARED FOR:

**COMPTON PROPERTY
DEVELOPMENT LLC.**

699 Boylston St., 12th Floor
Boston, MA 02116
(Suffolk County)

TITLE:

**CONSTRUCTION
DETAILS**

WEDGEWOOD FARM

128, 141 & 142 Armsby Road
Sutton MA
(Worcester County)

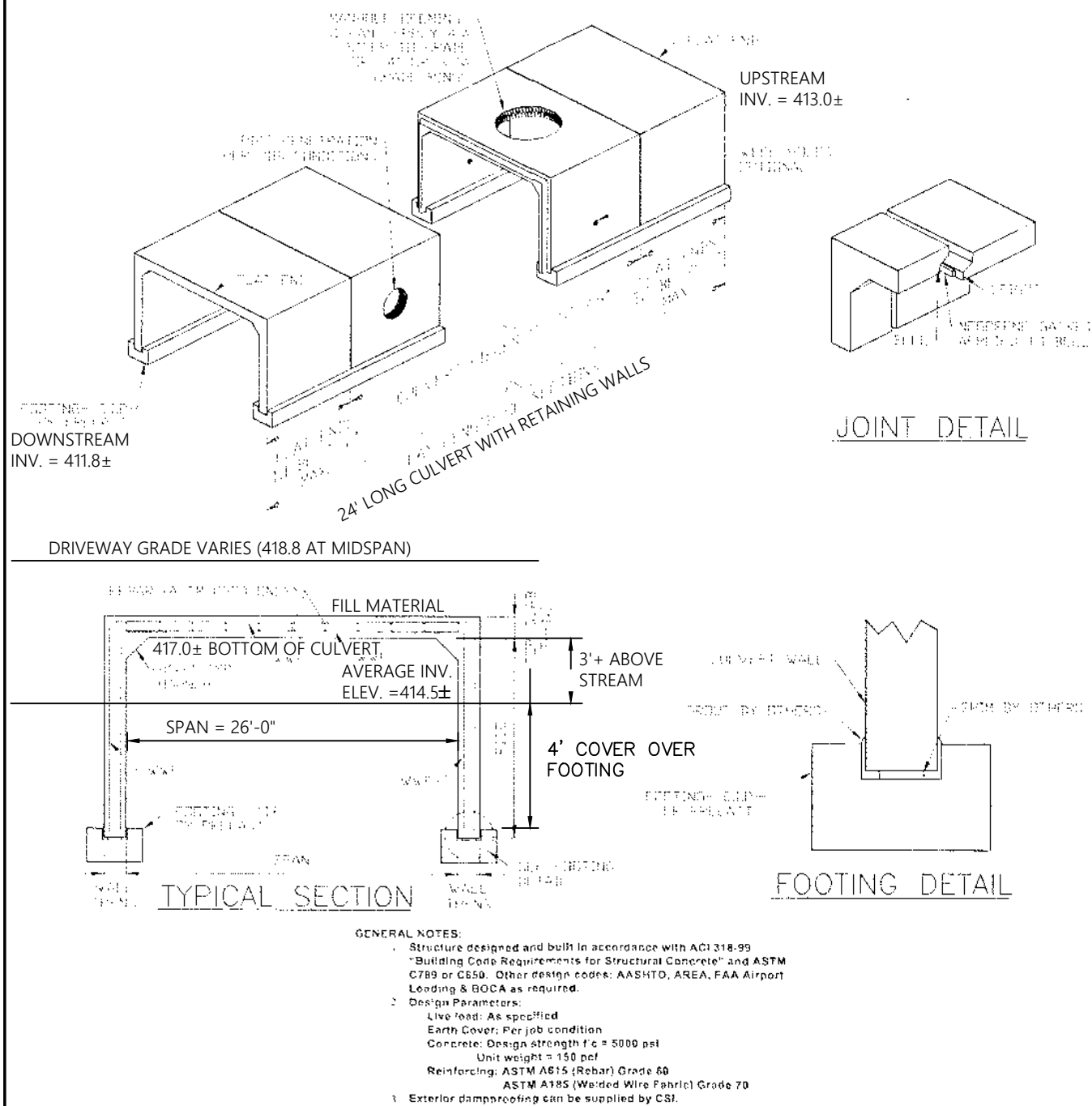
MUNICIPAL PERMITS

SCALE: AS SHOWN

JOB NO.:	0513	DATE:	03/11/19
DWN. BY:	CMP	SHEET:	C5.06
CHK'D BY:	PJB		

Anticipated construction sequence;

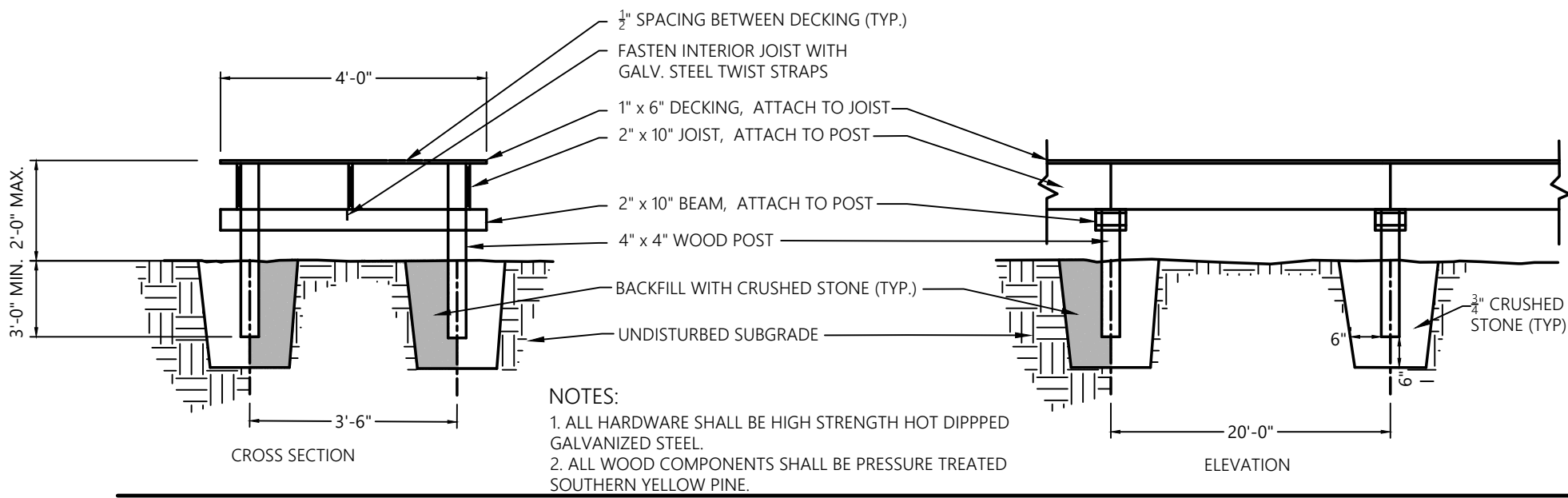
1. Install erosion control barriers per survey staked locations.
2. Install temporary steel plate crossing over stream.
3. Clean and remove organic debris (logs, branches, wood chips) resulting from US Forestry Service logging operation in area of wetland flags 244–245.
4. With wetland specialist supervision, cut to grade and remove soils from replication area, following replication area protocols (sheet 2).
5. Cut proposed driveway to rough elevation and grade.
6. Transfer organic wetland alteration soils and any wetland plants to replication area. Supplement soils per replication protocol (sheet 2).
7. Plant and seed wetland replication area per approved plan and protocol.
8. Begin dewatering of retaining wall footing areas (if required), by installing perforated PVC pipe encased in stone (temporary well) and pumps. Pumping shall be to stabilized upland area downstream of proposed culvert. Riprap or mats may be used as necessary.
9. Prepare subgrade for culvert footings, place and consolidate crushed stone base course and install precast concrete footings.
10. Remove temporary steel plate crossing, begin placement of precast concrete culvert, grout joints, backfill and compact.
11. Prepare subgrade for retaining walls, place and consolidate crushed stone base course, compact and install precast retaining wall sections, backfill.
12. Shape and grade stilling basins, place riprap stone within basins.
13. Place and compact gravel in access drive and on precast concrete culvert.
14. Remove dewatering pumps and temporary wells.
15. Loam and seed disturbed areas.
16. Remove erosion control measures only after disturbed areas have become stabilized by vegetation.



OPEN-BOTTOMED BOX CULVERT

N.T.S.

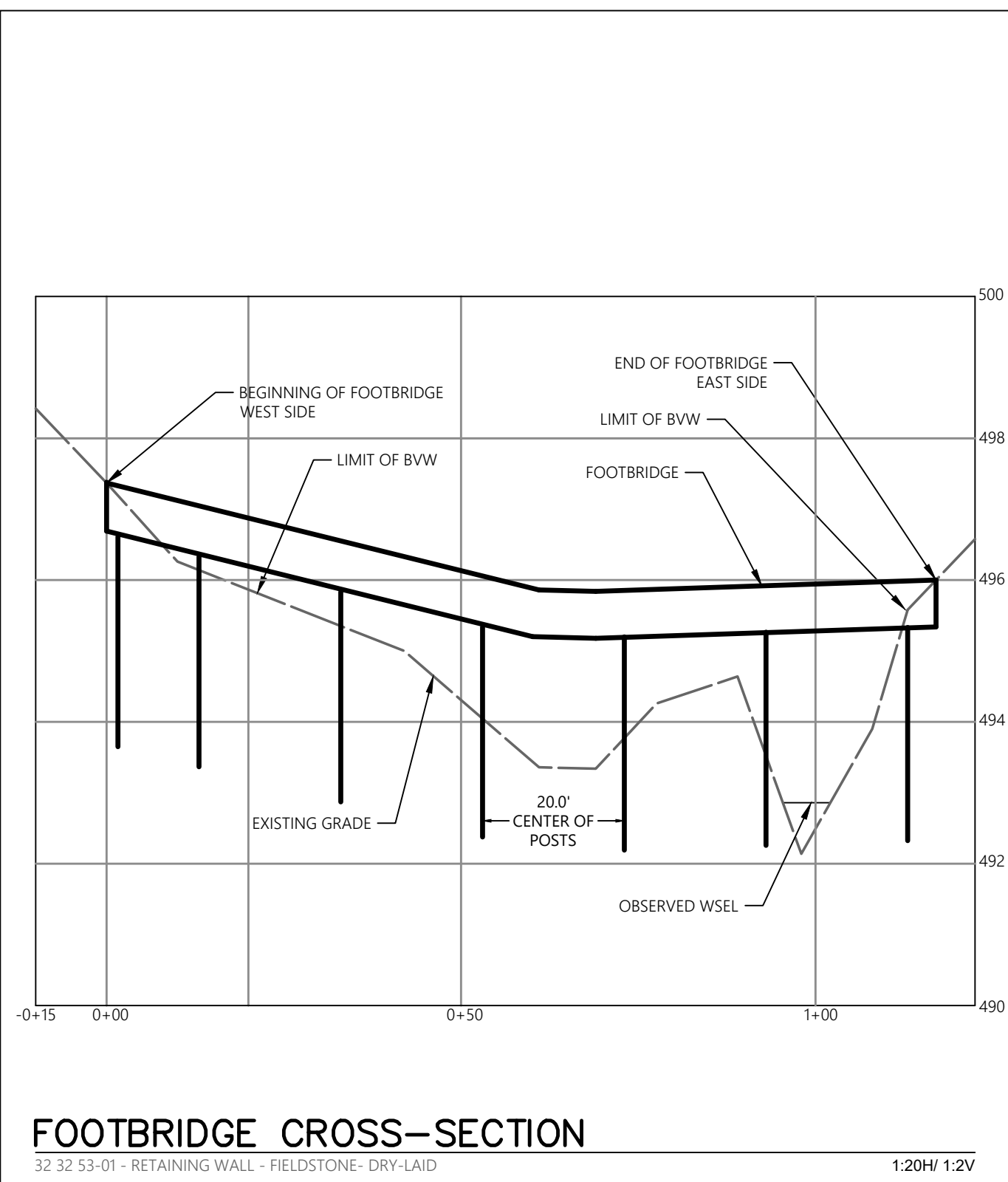
CONCRETE SYSTEMS, INC. HUDSON, NH 03051 PH: (603) 889-4163



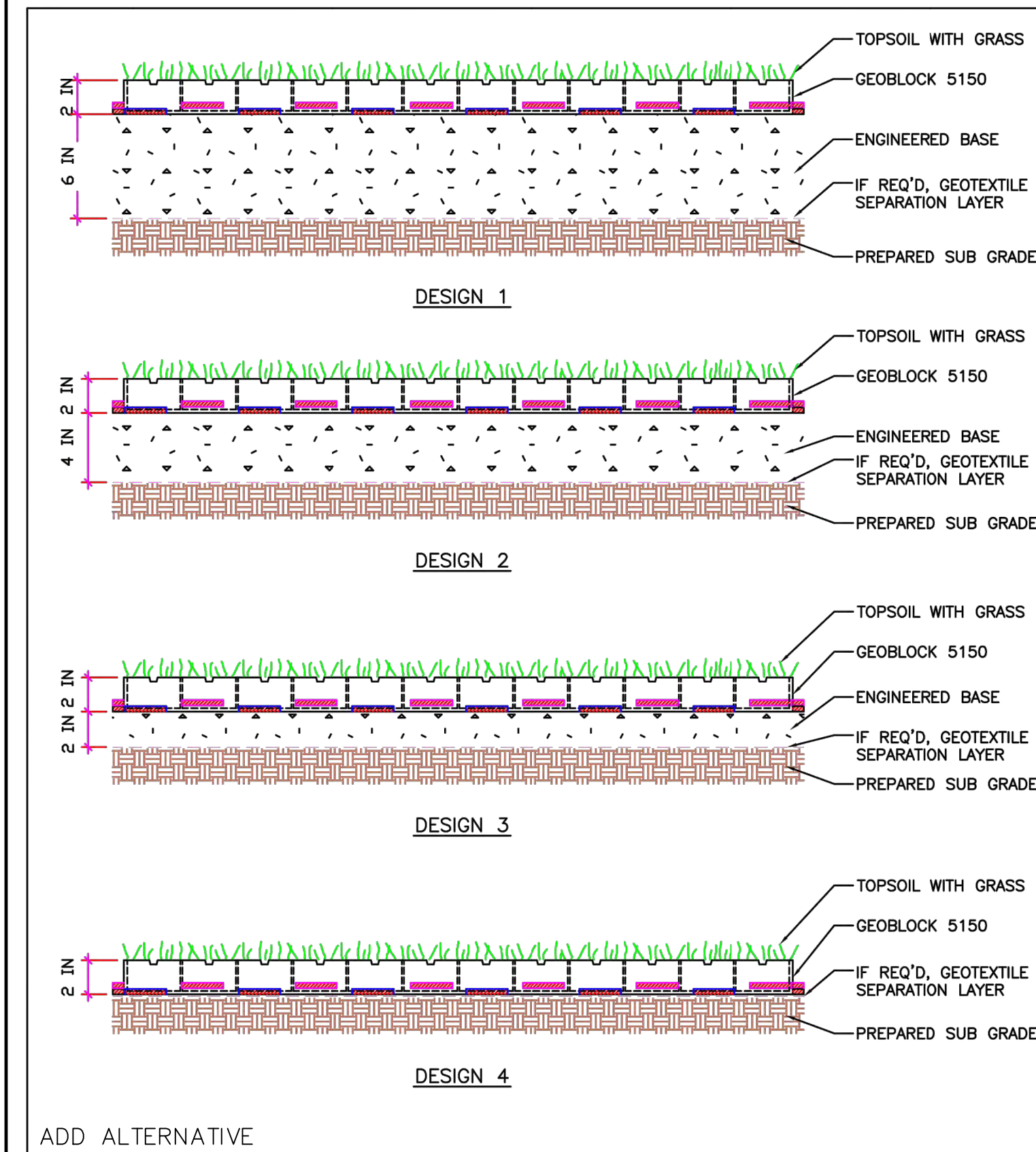
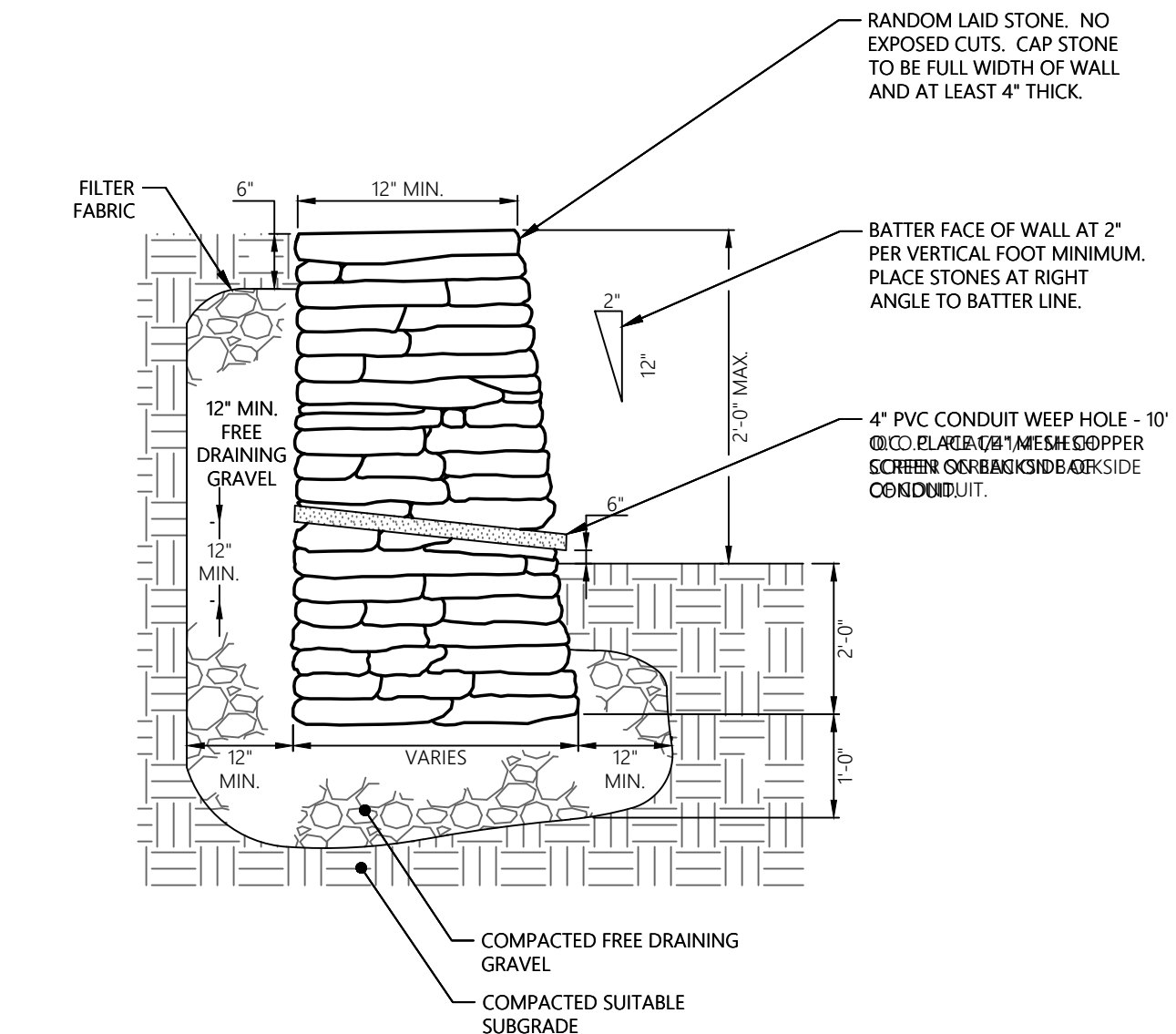
WOOD FOOTBRIDGE

N.T.S.

WDA, INC.



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 2. MORTAR STONES IN PLACE AND RAKE JOINTS BACK 2".
 3. PROVIDE FREE- DRAINING GRAVEL FILL BELOW AND BEHIND WALL.



DESIGN GUIDELINES		
LOAD DESCRIPTION	CBR 2 – 4%	CBR > 4%
Heavy Fire Truck Access & H/HS–20 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN), tandem axle loadings of 48 kips (220 kN). Gross vehicle weight of 80,000 lbs (36.3 MT). Infrequent passes.	Design 1 – 6" Base	Design 2 – 4" Base
Light Fire Truck Access & H/HS–15 loading. Typical 85 psi (586 kPa) tire pressure. Single axle loadings of 24 kips (110 kN). Gross vehicle loads of 60,000 lbs (27.2 MT). Infrequent passes.	Design 2 – 4" Base	Design 3 – 2" Base
Utility & Delivery Truck Access & H/HS–10 loading. Typical 60 psi (414 kPa) tire pressure. Single axle loadings of 16 kips (75 kN). Gross vehicle loads of 40,000 lbs (18.1 MT). Infrequent passes.	Design 3 – 2" Base	Design 3 – 2" Base
Cars & Pick-up Truck Access. Typical 45 psi (310 kPa) tire pressure. Single axle loadings of 4 kips (18 kN). Gross vehicle loads of 8,000 lbs (3.6 MT). Infrequent passes.	Design 4 – No Base	Design 4 – No Base
Trail Use. Loading for pedestrian, wheelchair, equestrian, bicycle, motorcycle and ATV traffic.	Design 4 – No Base	Design 4 – No Base

Notes:

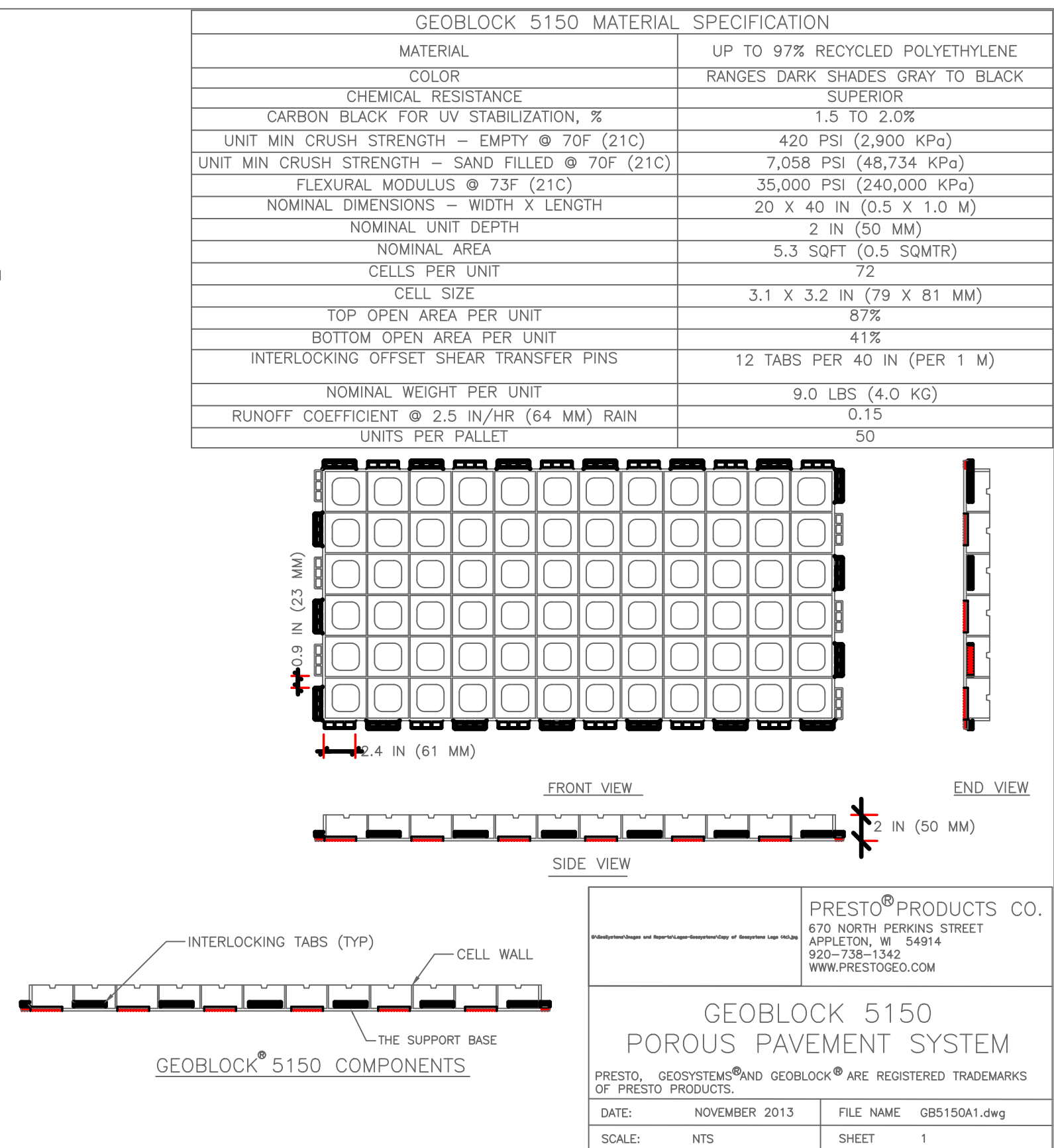
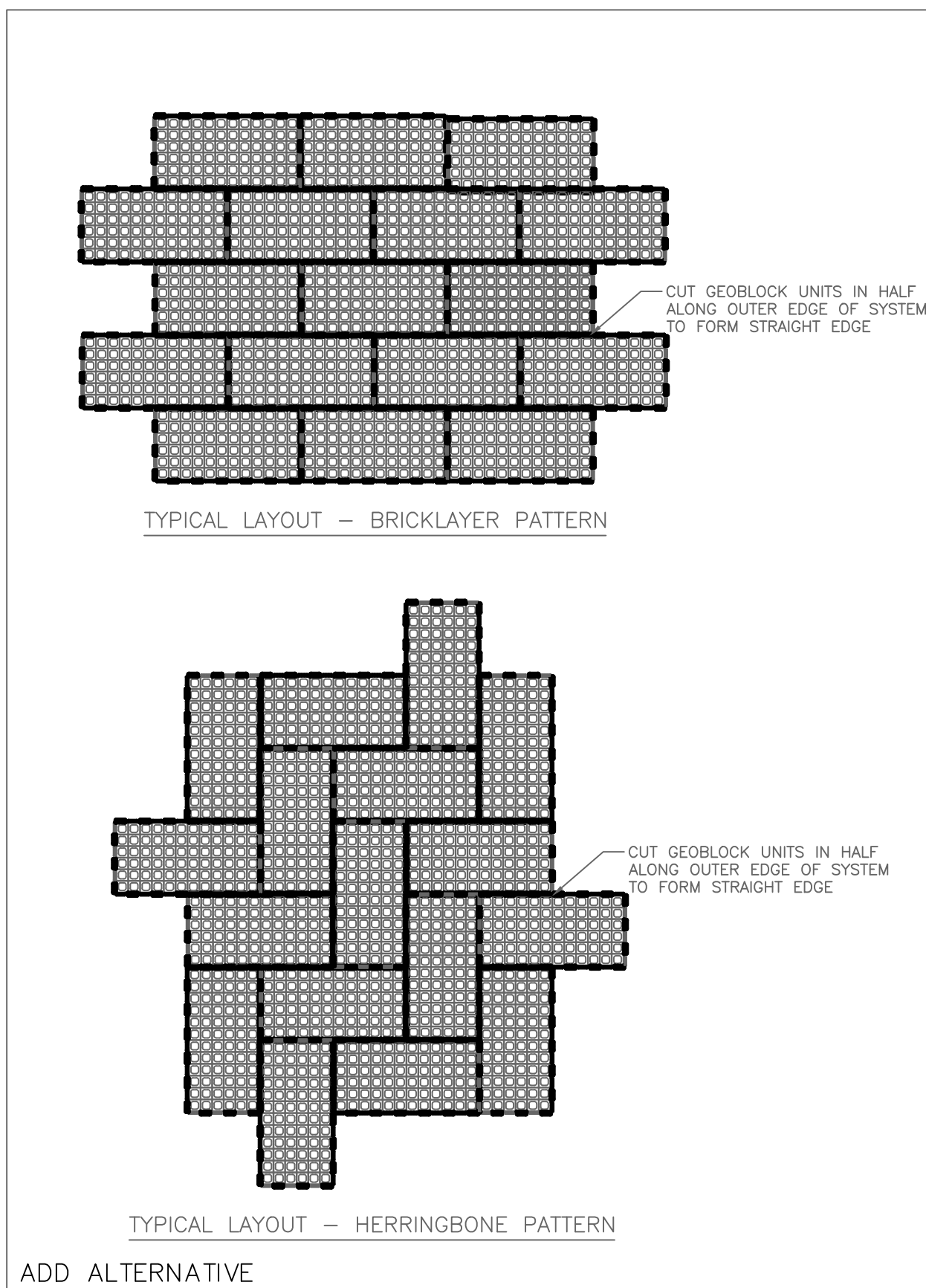
1. CBR means California Bearing Ratio.
2. Engineered base is a homogenous mixture consisting of crushed rock having an AASHTO # 5 or similar designation blended with pulverized topsoil and void component generally containing air and/or water. This homogenous mixture will promote vegetative growth and provide required structural support. The aggregate portion shall have a particle range from 9.5 mm to 25 mm (0.375 to 1.0 in) with a D50 of 13 mm (0.5 in). The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 25% +/- of the total volume and be added and blended to produce a homogenous mixture prior to placement or washed into the in-place compacted aggregate. Once placed, the mixture shall be compacted to 95% Standard Proctor Density.
3. Refer to the Geoblock 5150 Design and Construction Overview for a complete description of the design and construction methods.

PRESTO® PRODUCTS CO.
670 NORTH PERKINS STREET
APPLETON, WI 54914
920-738-1342
WWW.PRESTOCEO.COM

GEOBLOCK 5150
POROUS PAVEMENT SYSTEM

PRESTO, GEOSYSTEMS AND GEOBLOCK ARE REGISTERED TRADEMARKS OF PRESTO PRODUCTS.

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SCALE: NTS SHEET: 1



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